

CITY OF WATERTOWN, NEW YORK
AGENDA
Monday, May 16, 2016

This shall serve as notice that the next regularly scheduled meeting of the City Council will be held on Monday, May 16, 2016, at 7:00 p.m. in the City Council Chambers, 245 Washington Street, Watertown, New York.

MOMENT OF SILENCE

PLEDGE OF ALLEGIANCE

ROLL CALL

ADOPTION OF MINUTES

COMMUNICATIONS

PRESENTATION

Eagle Scout – Andrew Jay Vallance

PRIVILEGE OF THE FLOOR

RESOLUTIONS

- Resolution No. 1 - Approving Agreement for Public Benefit Services Between the City of Watertown and Alcohol and Substance Abuse Council of Jefferson County, Inc. d/b/a Pivot
- Resolution No. 2 - Approving the Lease of a Portion of 224 Massey Street to the Alcohol and Substance Abuse Council of Jefferson County, Inc., d/b/a Pivot
- Resolution No. 3 - Authorizing Change Order No. 1 for Thompson Park Elevated Water Storage Tank Rehabilitation Project, Amstar of WNY, Inc.
- Resolution No. 4 - Approving the Site Plan for the construction of a 27,500 square-foot building addition, a 43,500 square-foot asphalt storage area expansion and associated improvements located at 268 Bellew Avenue South, Parcel Number 9-43-105.000

Resolution No. 5 - Approving Franchise Agreement Between the City of Watertown and Top Shelf Hockey, LLC

ORDINANCES

Ordinance No. 1 - Changing the Approved Zoning Classification of the south section of 1552 State Street, Parcel Number 12-16-113.000, from Residence B to Neighborhood Business

LOCAL LAW

PUBLIC HEARING

7:30 p.m. 2016-2017 Operating Budgets

7:30 p.m. 2016-17 through 2020-21 Capital Budget

7:30 p.m. Local Law No. 1 of 2016 – A Local Law overriding the tax Levy limit established by New York General Municipal Law §3-c

OLD BUSINESS

STAFF REPORTS

1. NYS DEC MS4 Stormwater Coalition Annual Report
2. Naming Rights for the Municipal Arena
3. Tax sale certificates assignment request
4. GAR Associates LLC Housing Strategy Proposal
5. 2015-2016 Crow Management Program Report – Loomacres Wildlife Management

NEW BUSINESS

EXECUTIVE SESSION

To Discuss Collective Bargaining

WORK SESSION

ADJOURNMENT

NEXT REGULARLY SCHEDULED CITY COUNCIL MEETING IS MONDAY, JUNE 6, 2016.

Res Nos. 1 and 2

May 11, 2016

TO: The Honorable Mayor and City Council
FROM: Councilman Stephen A. Jennings
SUBJECT: Establishment of Community Garden at 224 South Massey Street

Mr. Paul L. Ward, 323 South Massey Street, a member of the Alliance for Better Communities, a county-wide drug prevention and rapid response coalition which I chair, has approached me about establishing a community garden on City property in the neighborhood he lives in.

The property of interest is the large green space behind the Watertown City Fire Department on Massey Street. I approached the City Manager and Director of Planning and Community Development to discuss this, and both were amenable pending the opinions of the Fire Chief and City Attorney. Chief Herman approved, and Mr. Slye approved contingent upon the City being protected from liabilities by being listed as an additional insured by another legal entity. The Alcohol and Substance Abuse Council of Jefferson County, now d/b/a Pivot, is the lead agency for the Alliance for Better Communities, and has agreed to fulfil the administrative and legal roles in establishing this garden.

A meeting has been held with Cornell Cooperative Extension of Jefferson County's Agriculture and Natural Resources Program, and they are able to assist with establishing this project. Watertown First and Jake's Lawn Care have also stepped forward to assist. The garden will be supported by members of the Mercy Point Church on South Massey Street across the street from the Fire Department, recovering individuals that live in the City, and other groups and individuals in the City that have indicated interest.

I am requesting City Council approval of this project via the attached resolutions, to be executed via an Agreement for Public Benefit Services, which will support the provision of City land and a water source to Pivot for establishment of the garden; and a Lease Agreement, whereby Pivot will pay the City \$1 for use of the land, as well as maintain commercial general liability insurance in the amount of \$1 million per occurrence, naming the City as an additional insured.

RESOLUTION

Page 1 of 1

Approving Agreement for Public Benefit Services Between the City of Watertown and Alcohol and Substance Abuse Council of Jefferson County, Inc. d/b/a Pivot

Council Member HORBACZ, Cody J.
 Council Member JENNINGS, Stephen A.
 Council Member MACALUSO, Teresa R.
 Council Member WALCZYK, Mark C.
 Mayor BUTLER, Jr., Joseph M.
 Total

YEA	NAY

Introduced by

WHEREAS the Alcohol and Substance Abuse Council of Jefferson County, Inc., d/b/a Pivot, provides health and education services to the citizens of the City, and

WHEREAS the services provided by Pivot promote public purposes, and

WHEREAS the services promote the education, charity, health, safety and welfare of citizens of the City of Watertown,

NOW THEREFORE BE IT RESOLVED that the City Council of the City of Watertown hereby approves the Agreement for Public Benefit Services between the City of Watertown and the Alcohol and Substance Abuse Council of Jefferson County, Inc., d/b/a Pivot, a copy of which is attached and made part of this resolution, and

BE IT FURTHER RESOLVED that City Manager Sharon Addison is hereby authorized and directed to execute this Agreement on behalf of the City of Watertown.

Seconded by

AGREEMENT FOR PUBLIC BENEFIT SERVICES

BETWEEN

THE CITY OF WATERTOWN, NEW YORK

and

**ALCOHOL AND SUBSTANCE ABUSE COUNCIL OF
JEFFERSON COUNTY, INC. d/b/a Pivot**

This Agreement made by and between the City of Watertown, New York the (the "City") and the Alcohol and Substance Abuse Council of Jefferson County, Inc. d/b/a Pivot ("Pivot").

WITNESSETH

For and in consideration of the mutual covenants and agreements hereinafter contained, the parties hereto for themselves, their successors and assigns, mutually agree as follows:

Article I DESCRIPTION OF SERVICES. Pivot provides services that are clearly for a public purpose. It is the goal of the City to support services which promote the education, charity, health, comfort, safety and general welfare of the citizens of the City of Watertown.

Article II ELIGIBLE ACTIVITIES. The City may support activities of Pivot and reimburse Pivot for activities that promote a public purpose. These reimbursable activities include those services of Pivot which:

- a. Assist individuals and families to enjoy the benefits of living free of the harmful effects of drugs, including alcohol;
- b. Assist individuals and families to attain an adequate education;
- c. Assist individuals and families to counteract addictive conditions; and
- d. Assist individuals and families to remove obstacles that block self-sufficiency.

Article III INELIGIBLE ACTIVITIES. Activities of Pivot which do not promote a public purpose shall be ineligible for reimbursement. Activities which are ineligible for reimbursement shall include, but not be limited to, land acquisition, salaries, utilities, fuel, insurance, interest, purchase of equipment, or program activities solely directed toward or restricted to organizational membership.

Article IV TERM OF THIS AGREEMENT. The term of this Agreement shall be from May 16, 2016, through October 31, 2016.

Article V MANNER OF PAYMENT. The City agrees to provide land for Pivot's creation of a community garden and to provide a water supply for the gardens;

Article VI PROVISIONS OF LAW. All provisions of law required to be made as part of this Agreement are hereby deemed incorporated in this Agreement. Performance of the terms and conditions of this Agreement shall be subject to and performance of all applicable laws.

Article VII TERMINATION OF AGREEMENT. This Agreement may be terminated by either party, at any time, by the delivery to the other party of a written notice of termination by the Agreement, stating in good faith and for good and valid reasons by such party is unable to comply with and carry out the terms and substantive obligations of the Agreement in a meaningful manner.

Article VIII EXTENT OF AGREEMENT. This Agreement represents the entire Agreement between the City and Pivot in connection with Pivot's services. This Agreement may be amended only by written instrument signed by both parties and such amendment shall be attached to this Agreement.

Article IX NOTICES. All notices required to be given under this Agreement shall be in writing and shall be deemed to have been duly given on the date mailed, if sent by certified mail, return receipt requested or delivered in person to:

THE CITY:

City Manager
City of Watertown
245 Washington Street
Suite 302
Watertown, New York 13601

ALCOHOL AND SUBSTANCE ABUSE COUNCIL OF JEFFERSON COUNTY, INC. d/b/a
Pivot:

Alcohol and Substance Abuse Council
of Jefferson County, Inc. d/b/a Pivot
167 Polk Street, Suite 320
Watertown, New York 13601

A party may change the address to which notices are to be sent by written notice actually received by the other party.

IN WITNESS WHEREOF, the City of Watertown and the Alcohol and Substance Abuse Council of Jefferson County, Inc. d/b/a Pivot have caused this Agreement to be executed by authorized agents to be effective as of the date heretofore written.

The City of Watertown

Alcohol and Substance Abuse Council
of Jefferson County, Inc. d/b/a Pivot

By: Sharon Addison, City Manager

By:

RESOLUTION

Page 1 of 1

Approving the Lease of a Portion of 224 Massey Street to the Alcohol and Substance Abuse Council of Jefferson County, Inc., d/b/a Pivot

Council Member HORBACZ, Cody J.
 Council Member JENNINGS, Stephen A.
 Council Member MACALUSO, Teresa R.
 Council Member WALCZYK, Mark C.
 Mayor BUTLER, Jr., Joseph M.
 Total

YEA	NAY

Introduced by

WHEREAS the City of Watertown and the Alcohol and Substance Abuse Council of Jefferson County Inc., d/b/a Pivot (“Pivot”) desire to enter into a certain Public Benefit Services Agreement for the provision of health and education services to citizens of the City, and

WHEREAS in furtherance of that Public Benefit Services Agreement, Pivot requires the use of certain City property to advance those educational and health services, and

WHEREAS the City desires to lease real property to Pivot for the period from May 16, 2016 through October 31, 2016 to advance Pivot’s programs,

NOW THEREFORE BE IT RESOLVED that the City Council of the City of Watertown hereby approves the lease of certain real property in the City to Pivot for the promotion of its health and educational services to City residents in furtherance of the Public Benefit Services Agreement between the City and Pivot in the form attached as Exhibit “A,” and

BE IT FURTHER RESOLVED that the lease shall be signed on behalf of the City by the City Manager, Sharon Addison.

Seconded by

LEASE OF REAL PROPERTY

This Agreement, effective the 16th day of May 2016, by and between the City of Watertown, New York, a New York municipal corporation with principal offices located at 245 Washington Street, Watertown, New York 13601 (“Watertown”) and the Alcohol and Substance Abuse Council of Jefferson County, Inc., d/b/a Pivot a New York municipal corporation with principal offices located at 167 Polk Street, Suite 320, Watertown, New York 13601 (“Pivot”).

RECITALS

WHEREAS, Watertown owns real property at 224 Massey Street, Watertown, New York 13601 a portion of which shall be called the “Premises”;

WHEREAS, the City and Pivot have entered into a certain Public Benefit Services Agreement, and

WHEREAS, Pivot desires to lease from Watertown, and Watertown desires to lease the Premises to Pivot, for purposes of obtaining the public benefits of such agreement, the parties agree as follows:

1. Watertown hereby leases a portion of the Premises to Pivot for the period from May 16, 2016 through October 31, 2016.
2. The lease payment from Pivot to Watertown, for the term of this Lease, shall be \$1.00, the receipt of which is hereby acknowledged.
3. For the term of this Lease Agreement, Pivot shall maintain commercial general liability insurance in the amount of \$1,000,000.00 per occurrence and naming the City as an additional insured. Pivot may not commence using the premises until Pivot provides the City with a Certificate of Insurance reflecting the required coverage.

WHEREFORE, the parties have signified their Agreement this ____ day of May, 2016.

ALCOHOL AND SUBSTANCE ABUSE
COUNCIL OF JEFFERSON COUNTY, INC.
d/b/a Pivot

By:

CITY OF WATERTOWN

By: Sharon Addison, City Manager

STATE OF NEW YORK)
) SS.:
COUNTY OF JEFFERSON)

On the ____ day of May 2016, before me, personally appeared _____, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity and that by his signature on the instrument, the individual or person upon whose behalf the individual acted, executed the instrument.

Notary Public

STATE OF NEW YORK)
) SS:
COUNTY OF JEFFERSON)

On the ____ day of May, 2016, before me, a notary public in and for said State, personally came SHARON ADDISON, to me known, who being by me duly sworn, did depose and say that she resides in Watertown, New York; and that she is the City Manager of the City of Watertown, New York, the municipal corporation described in and which executed the above instrument; and that she signed her name thereto by the authority of the Watertown City Council.

Notary Public

Res No. 3

May 6, 2016

To: The Honorable Mayor and City Council

From: Sharon Addison, City Manager

Subject: Authorizing Change Order No. 1 for Thompson Park Elevated Water Storage Tank Rehabilitation Project, Amstar of WNY, Inc.

On April 6, 2015, City Council accepted a bid in the amount of \$829,000 from Amstar of WNY, Inc. for the construction costs for the Thompson Park Elevated Water Storage Tank Rehabilitation Project.

As stated in the attached report of City Engineer Justin Wood, Amstar of WNY, Inc. has now submitted Change Order No. 1 in the decreased amount of \$3,300. This brings the total amount down to \$825,700 to finalize the contract.

Attached for City Council consideration is a Resolution authorizing Change Order No. 1.

RESOLUTION

Page 1 of 1

Authorizing Change Order No. 1 for Thompson Park Elevated Water Storage Tank Rehabilitation Project, Amstar of WNY, Inc.

Council Member HORBACZ, Cody J.
 Council Member JENNINGS, Stephen A.
 Council Member MACALUSO, Teresa R.
 Council Member WALCZYK, Mark C.
 Mayor BUTLER, Jr., Joseph M.

Total

YEA	NAY

Introduced by

WHEREAS on April 6, 2015, City Council accepted the bid from Amstar of WNY, Inc. in the amount of \$829,000 for the construction costs for the Thompson Park Elevated Water Storage Tank Rehabilitation Project, per our specifications, and

WHEREAS Amstar of WNY, Inc. has now submitted Change Order No. 1 in the decreased amount of \$3,300,

NOW THEREFORE BE IT RESOLVED by the City Council that it hereby accepts Change Order No. 1 submitted by Amstar of WNY, Inc. in the decreased amount of \$3,300 for the construction costs for the Thompson Park Elevated Water Storage Tank Rehabilitation Project, a copy of which is attached and made part of this resolution, bringing the total and final amount down to \$825,700, and

BE IT FURTHER RESOLVED that City Manager Sharon Addison is hereby authorized and directed to sign all documents necessary with accepting Change Order No. 1 on behalf of the City.

Seconded by

Change Order

No. 1

Date of Issuance: May 2, 2016 Effective Date: _____

Project: Thompson Park Water Tank Rehab	Owner: City of Watertown	Owner's Contract No.: 2015-03
Contract: General Construction		Date of Contract: 04/06/2015
Contractor: Amstar of Western NY		Engineer's Project No.: 2015-03

The Contract Documents are modified as follows upon execution of this Change Order:

Description:

Deduct for underruns in General Construction Allowance.

Attachments: (List documents supporting change):

Email from Contractor requesting decrease.

CHANGE IN CONTRACT PRICE:

Original Contract Price:
\$829,000.00

[Increase] [Decrease] from previously approved Change Orders No. NA to No. NA:
\$NA

Contract Price prior to this Change Order:
\$829,000.00

[Decrease] of this Change Order:
\$3,300.00

Contract Price incorporating this Change Order:
\$825,700.00

CHANGE IN CONTRACT TIMES:

Original Contract Times: Working days Calendar days
Substantial completion (days or date): _____
Ready for final payment (days or date): _____

[Increase] [Decrease] from previously approved Change Orders No. _____ to No. _____:
Substantial completion (days): _____
Ready for final payment (days): _____

Contract Times prior to this Change Order:
Substantial completion (days or date): _____
Ready for final payment (days or date): _____

[Increase] [Decrease] of this Change Order:
Substantial completion (days or date): _____
Ready for final payment (days or date): _____

Contract Times with all approved Change Orders:
Substantial completion (days or date): _____
Ready for final payment (days or date): _____

RECOMMENDED:

By: [Signature]
Engineer (Authorized Signature)

Date: 5/2/16

Approved by Funding Agency (if applicable): _____

ACCEPTED:

By: _____
Owner (Authorized Signature)

Date: _____

ACCEPTED:

By: [Signature]
Contractor (Authorized Signature)

Date: 5/2/14

Date: _____



CITY OF WATERTOWN
ENGINEERING DEPARTMENT
MEMORANDUM

DATE: 5 May 2016

TO: Sharon Addison, City Manager

FROM: Justin Wood, City Engineer

SUBJECT: Thompson Park Water Storage Tank Rehab, Change Order #1

Enclosed is a copy of Change Order #1 for the Thompson Park Water Storage Tank Rehab Project, from Amstar, for a *credit* of \$3,300.00. This will bring the final contract amount from \$829,000 to \$825,700. The change order provides the City with a credit for unused funds of the General Construction Allowance line item.

The purpose of the project was to rehabilitate the deteriorated exterior coating, and interior lining of the existing Water Storage Tank. Construction began in May 2015, and was substantially completed by the fall of 2015. Punch list items were recently completed and this change order will finalize the contract dollars to close it out.

A bond ordinance amendment is not required for approval of CO#1, as the original bond ordinance covers this amount.

Please prepare a resolution approving these change orders for City Council consideration.

Cc:
Mike Sligar, Superintendent of Water
Jim Mills, Comptroller
Brian Drake, Civil Engineer II
File



CITY OF WATERTOWN
ENGINEERING DEPARTMENT
MEMORANDUM

DATE: May 2, 2016

TO: Justin Wood, P.E., City Engineer

FROM: Brian Drake, P.E., Civil Engineer II

SUBJECT: Change Order #1 Thompson Park Water Tank Rehab

Enclosed is a copy of Change Order #1 for the Thompson Park Water Tank Rehabilitation Project to decrease the bid amount of the project by \$3,300.00. This will bring the final contract amount to \$825,700.00, and close out the project.

This change order zeros out the remaining lines in the contract with under-runs which were General Construction Allowance. The project is funded under the Water Fund. Work on the project is substantially complete.

Res No. 4

May 10, 2016

To: The Honorable Mayor and City Council

From: Michael A. Lumbis, Planning and Community Development Director

Subject: Approving the Site Plan for the construction of a 27,500 square-foot building addition, a 43,500 square-foot asphalt storage area expansion and associated site improvements located at 268 Bellew Avenue S, Parcel Number 9-43-105.000

A request has been submitted by Matthew R. Morgia of Aubertine and Currier, PLLC, on behalf of John Pezzi of Roth Industries for the above subject site plan approval.

The City Planning Board reviewed the request on May 3, 2016, and voted to recommend that the City Council approve the site plan subject to the 12 conditions listed in the resolution. Attached is an excerpt from their meeting minutes.

The Staff Report prepared for the Planning Board, the Site Plan application and drawings have all been previously sent to Council as part of the Planning Board agenda package. The complete application package can also be found in the online version of the City Council agenda.

The applicant has completed Part 1 of the Short Environmental Assessment Form (EAF), which is attached. As the Council will note, two of the conditions listed in the resolution respectively require the applicant to provide letters from the State Historic Preservation Office (SHPO) and Department of Environmental Conservation (DEC) that determine whether or not the proposed project has the potential to affect any archeological resources or endangered species. The applicant has provided the attached letters as required to aid the Council in completing Part 2 of the Short EAF.

The City Council must respond to the questions in Part 2 of the Short EAF before it may vote on the resolution. The resolution prepared for City Council consideration states that the project will not have a significant negative impact on the environment and approves the site plan submitted to the City Engineering Department on April 19, 2016, subject to the conditions recommended by the Planning Board.

RESOLUTION

Page 1 of 3

Approving the Site Plan for the construction of a 27,500 square-foot building addition, a 43,500 square-foot asphalt storage area expansion and associated improvements located at 268 Bellew Avenue South, Parcel Number 9-43-105.000

Council Member HORBACZ, Cody J.
 Council Member JENNINGS, Stephen A.
 Council Member MACALUSO, Teresa R.
 Council Member WALCZYK, Mark C.
 Mayor BUTLER, Jr., Joseph M.

Total

YEA	NAY

Introduced by

WHEREAS Matthew R. Morgia of Aubertine and Currier, PLLC, on behalf of John Pezzi of Roth Industries, has submitted an application for site plan approval for the construction of a 27,500 square-foot building addition, a 43,500 square-foot asphalt storage area expansion and associated site improvements located at 268 Bellew Avenue South, Parcel Number 9-43-105.000, and

WHEREAS the Planning Board of the City of Watertown reviewed the site plan at its meeting held on May 3, 2016, and voted to recommend that the City Council of the City of Watertown approve the site plan with the following conditions:

1. The applicant shall revise the parking requirements section in the "Planning Data" table to reflect the accurate calculations.
2. The applicant shall designate on the site plan the proposed un-striped parking area for parking and shall identify and label accessible parking spaces on the site plan.
3. The applicant shall submit a truck movement diagram that proves the need for the proposed additional driveways.
4. The applicant shall identify all existing and proposed rooms on the floor plan with square footage and uses.
5. The applicant shall provide a letter from SHPO that determines whether the proposed project has the potential to affect any archeological resources.

RESOLUTION

Page 2 of 3

Approving the Site Plan for the construction of a 27,500 square-foot building addition, a 43,500 square-foot asphalt storage area expansion and associated improvements located at 268 Bellew Avenue South, Parcel Number 9-43-105.000

Council Member HORBACZ, Cody J.
 Council Member JENNINGS, Stephen A.
 Council Member MACALUSO, Teresa R.
 Council Member WALCZYK, Mark C.
 Mayor BUTLER, Jr., Joseph M.

YEA	NAY

Total

6. The applicant shall provide a letter from DEC that determines whether the proposed project has the potential to affect any endangered or threatened species or their habitats.
7. The applicant shall perform a hydrant flow test and submit hydraulic water calculations to the City Engineering Department.
8. The applicant shall label all existing and proposed utilities with pipe sizes and materials.
9. The applicant shall identify a location where he proposes to relocate Canvas Building.
10. The applicant shall provide a second Knox Box for use by the Fire Department and other emergency services personnel.
11. The applicant must address all concerns listed in the "Other Engineering Comments" section of the April 28, 2016 Planning Office memorandum to the satisfaction of the City Engineering Department prior to the issuance of any permits.
12. The applicant must obtain the following permits, minimally, prior to demolition and construction: Building Permit, Fence Permit and General City Permit.

And,

WHEREAS the City Council has reviewed the Short Environmental Assessment Form, responding to each of the questions contained in Part 2, and has determined that the project, as submitted, is an Unlisted Action and will not have a significant impact on the environment,

NOW THEREFORE BE IT RESOLVED that the City Council of the City of Watertown declares that the proposed construction and site plan constitute an Unlisted Action for

RESOLUTION

Page 3 of 3

Approving the Site Plan for the construction of a 27,500 square-foot building addition, a 43,500 square-foot asphalt storage area expansion and associated improvements located at 268 Bellew Avenue South, Parcel Number 9-43-105.000

Council Member HORBACZ, Cody J.
 Council Member JENNINGS, Stephen A.
 Council Member MACALUSO, Teresa R.
 Council Member WALCZYK, Mark C.
 Mayor BUTLER, Jr., Joseph M.

Total

YEA	NAY

the purposes of SEQRA and hereby determines that the project, as proposed, will not have a significant impact on the environment, and

BE IT FURTHER RESOLVED that it is an express condition of this site plan approval that the applicant provide the City Engineer with a copy of any change in stamped plans forming the basis for this approval at the same time such plans are provided to the contractor. If plans are not provided as required by this condition of site plan approval, the City Code Enforcement Officer shall direct that work on the project site shall immediately cease until such time as the City Engineer is provided with the revised stamped plans. Additionally, any change in the approved plan, which, in the opinion of the City Engineer, would require Amended Site Plan approval, will result in immediate cessation of the affected portion of the project work until such time as the amended site plan is approved. The City Code Enforcement Officer is requested to periodically review on-site plans to determine whether the City Engineer has been provided with plans as required by this approval, and

BE IT FURTHER RESOLVED by the City Council of the City of Watertown that site plan approval is hereby granted to Matthew R. Morgia of Aubertine and Currier, PLLC and John Pezzi of Roth Industries for the construction of a 27,500 square-foot building addition, a 43,500 square-foot asphalt storage area expansion and associated site improvements located at 268 Bellew Avenue South, Parcel Number 9-43-105.000 as depicted on the site plan submitted to the City Engineer on April 19, 2016, contingent upon the applicant meeting the conditions listed above.

Seconded by:

SITE PLAN APPROVAL
268 BELLEW AVENUE SOUTH – PARCEL # 9-43-105.000

The Planning Board then considered a request for Site Plan Approval submitted by Matthew R. Morgia, P.E. of Aubertine and Currier, PLLC on behalf of John Pezzi of Roth Industries for the construction of a 27,500 square-foot building addition, a 43,500 square-foot asphalt storage area expansion and associated site improvements located at 268 Bellew Avenue S, Parcel Number 9-43-105.000.

Mr. Morgia was in attendance to represent the project.

Mr. Morgia began by saying that his team had received Staff's initial review comments and had prepared some draft responses. He then distributed written copies of the draft responses to the Planning Board and to Staff.

Mr. Coburn asked Mr. Morgia if he would like to run through the summary items. Mr. Morgia, answered in the affirmative, but said he would like first to give a brief overview of the project.

Mr. Morgia said that the proposal consisted of a 27,500 square-foot expansion to the existing industrial facility. He said that some would be manufacturing area and the rest would be storage. He then identified each area on the site plan. He added that the proposed expansion would be a westward continuation of the Roth building as it exists now.

Mr. Morgia then addressed the 43,500 square feet of proposed asphalt storage area expansion. He said that a new truck access drive was proposed for the western portion of the site. He added that this would be the new shipping end of the building and explained that as it exists now, shipping and receiving are together.

Mr. Morgia then discussed the proposed second driveway at the southeast corner of the site. He said that this request was for an expansion of the truck yard. He explained that tractor-trailers often parked in this area and that when there were two tractor-trailers present, it was almost impossible for them to maneuver. He then said that by adding the second driveway and creating a loop road, trucks would no longer need to turn into the Renzi Foodservice driveway across the street and back up as many do presently.

Mr. Morgia then addressed stormwater management. He said that new roof drains would be installed on the proposed addition and that both existing stormwater management areas on the site would be expanded. He said that his team had received previous plans from the City and that he acknowledged that he would need to prepare a Stormwater Pollution Prevention Plan (SWPPP).

Mr. Morgia then said that new lighting is proposed for the building, but not for the storage yard where some lighting already exists. He then addressed the summary items in Staff's memorandum.

Mr. Morgia said that the first summary item requested revisions to the “Planning Data” table on the site plan to accurately reflect parking requirements and calculations. He said that his team was trying to depict that there were over 80 spaces around the site and that they would likely use less than half that. He said that Staff had informed him that storage areas need not be counted towards the parking requirements and said that his team would revise the table.

Mr. Morgia said that the second summary item requested that proposed unstriped parking areas as well as accessible spaces both be labeled on the site plan. Mr. Morgia said that his team would do both.

Mr. Morgia then addressed the third summary item, which requested a truck movement diagram that proved the need for the additional driveways, and said that his team would submit one.

Mr. Morgia then said that the fourth summary item asked for proposed hours of operation and said that the facility would be open from 8 am to 4pm Monday through Friday.

Mr. Morgia then said that the fifth summary item requested that existing and proposed rooms be labeled on the floor plan with uses and square footage. Mr. Morgia said that this was not done because the floor plans that were submitted were preliminary, but that uses were labeled and broken down into office, manufacturing and storage. He said that was as specific as he could be at this time.

Mr. Morgia then addressed the sixth and seventh summary items, which requested letters from the State Historic Preservation Office (SHPO) and the Department of Environmental Conservation (DEC) that would determine, respectively, the project’s potential to impact archeological resources and endangered species. Mr. Morgia said that City Center Industrial Park had already undergone the SEQR process when it was built, and that letters from both entities should already exist. He said that his team will approach both SHPO and the DEC about obtaining this documentation.

Mr. Morgia then addressed the eighth summary item, which requested a hydrant flow test and said his team would perform one.

Mr. Morgia then addressed the ninth summary item, which requested that all existing and proposed utilities be labeled on the site plan with pipe sizes and materials. Mr. Morgia said that the pipe sizes could be depicted from as-built plans and he would label them based on these existing plans.

Mr. Morgia then addressed the 10th summary item, which requested that the applicant identify a location where the existing canvas building was proposed to be relocated. Mr. Morgia said that he was unsure if the owner intended to continue using this structure, but that if was to stay in use, that a proposed location for it would be added to the plans.

Mr. Morgia then skipped forward to address the 12th summary item, which identified all the permits that the applicant would need to obtain prior to demolition and

construction. Mr. Morgia acknowledged that his team would need to obtain all of the permits identified.

Mr. Morgia then went back and addressed the 11th summary item, which stated that the applicant must address all concerns listed in the “Other Engineering Comments” section of Staff’s memorandum to the satisfaction of the City Engineering Department before any permits would be issued.

Mr. Morgia acknowledged Staff’s request that City Center Industrial Park covenants and restrictions be added to the “Planning Data” table. Mr. Morgia said that the proposed project is in line with all covenants and restrictions that they would be added to the table. Mr. Morgia also addressed requests for a stamped boundary and topographic survey of the site, construction detail sheets and a SWPPP and said that all of these would be submitted along with a revised site plan once all revisions were complete.

Mr. Coburn then asked of any of his fellow Planning Board members had questions for the applicant. Ms. Capone stated for the record that she would be abstaining from this vote because she had a business relationship with the applicant’s client.

Mr. Lumbis then noted that the Planning Board could eliminate the fourth summary item since the applicant had identified the proposed hours of operation. Mr. Drake then said that the proposed hours led into the need for a Knox Box since the facility would not be in use on nights and weekends. Mr. Randall then confirmed that the building had become so large that a second Knox Box would be needed. Mr. Polkowski explained to the Planning Board that a Knox Box was a secure exterior safe that contained a set of building keys for emergency services personnel in the event of an emergency.

Mr. Drake suggested that the Planning Board add this provision as a new summary item. The Planning Board agreed.

Mr. Neddo then moved to recommend that City Council approve the request submitted by Matthew R. Morgia, P.E. of Aubertine and Currier, PLLC on behalf of Roth Industries for the construction of a 27,500 square-foot building addition, a 43,500 square-foot asphalt storage area expansion and associated site improvements located at 268 Bellew Avenue S, Parcel Number 9-43-105.000, contingent upon the following:

1. The applicant shall revise the parking requirements section in the “Planning Data” table to reflect the accurate calculations.
2. The applicant shall designate on the site plan the proposed un-striped parking area for parking and shall identify and label accessible parking spaces on the site plan.
3. The applicant shall submit a truck movement diagram that proves the need for the proposed additional driveways.

4. The applicant shall identify all existing and proposed rooms on the floor plan with square footage and uses.
5. The applicant shall provide a letter from SHPO that determines whether the proposed project has the potential to affect any archeological resources.
6. The applicant shall provide a letter from DEC that determines whether the proposed project has the potential to affect any endangered or threatened species or their habitats.
7. The applicant shall perform a hydrant flow test and submit hydraulic water calculations to the City Engineering Department.
8. The applicant shall label all existing and proposed utilities with pipe sizes and materials.
9. The applicant shall identify a location where he proposes to relocate Canvas Building.
10. The applicant shall provide a second Knox Box for use by the Fire Department and other emergency services personnel.
11. The applicant must address all concerns listed in the "Other Engineering Comments" section of the April 28, 2016 Planning Office memorandum to the satisfaction of the City Engineering Department prior to the issuance of any permits.
12. The applicant must obtain the following permits, minimally, prior to demolition and construction: Building Permit, Fence Permit and General City Permit.

Ms. Fields seconded the motion and the Planning Board voted 5-0 in favor, with the exception of Ms. Capone who abstained.

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Project: Proposed Building Addition Sponsor: Roth Industries, Inc			
Name of Action or Project: Proposed Building Addition			
Project Location (describe, and attach a location map): 268 Bellew Ave South, Watertown, NY			
Brief Description of Proposed Action: The project consists of a 27,500 SF building addition on the west side of the existing manufacturing facility and associated site improvements. Site improvements include a 43,500 SF asphalt storage area expansion west of the existing asphalt storage area, chain link fence to enclose the expanded storage area, an additional southern entrance drive from Rail Drive, to access the expanded storage yard and now shipping area loading dock, an additional truck access drive and expansion of the receiving area access, site lighting, grading and drainage. The proposed building addition will connect to the existing buildings utilities therefore no new utility services are required for the project. Two (2) existing stormwater treatment basins will be expanded to accommodate the increased runoff associated with the building addition and asphalt storage/parking area expansion.			
Name of Applicant or Sponsor: Roth Industries, Inc.		Telephone: 888-266-7684	
		E-Mail: johnp@roth-usa.com	
Address: 268 Bellew Ave South			
City/PO: Watertown		State: NY	Zip Code: 13601
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: City of Watertown Planning Board			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		8.86 acres	
b. Total acreage to be physically disturbed?		3.92 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		8.86 acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input checked="" type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

<p>18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)?</p> <p>If Yes, explain purpose and size: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?</p> <p>If Yes, describe: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?</p> <p>If Yes, describe: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p>		
<p>Applicant/sponsor name: <u>John C Pezzi</u></p>		<p>Date: <u>4/19/16</u></p>
<p>Signature: <u>[Signature]</u></p>		

Project:

Date:

**Short Environmental Assessment Form
Part 2 - Impact Assessment**

Part 2 is to be completed by the Lead Agency.

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:		
a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

Project: _____

Date: _____

Short Environmental Assessment Form Part 3 Determination of Significance

For every question in Part 2 that was answered “moderate to large impact may occur”, or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
- Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

Name of Lead Agency

Date

Print or Type Name of Responsible Officer in Lead Agency

Title of Responsible Officer

Signature of Responsible Officer in Lead Agency

Signature of Preparer (if different from Responsible Officer)

PRINT FORM



Parks, Recreation, and Historic Preservation

ANDREW M. CUOMO
Governor

ROSE HARVEY
Commissioner

May 05, 2016

Mr. Christopher Todd
Civil Design Engineer
Aubertine & Currier, PLLC
522 Badley Street
Watertown, NY 13601

Re: DEC
Roth Industries Building Addition
268 Bellew Avenue South, Watertown, NY 13601
16PR02524

Dear Mr. Todd:

Thank you for requesting the comments of the Office of Parks, Recreation and Historic Preservation (OPRHP). We have reviewed the project in accordance with the New York State Historic Preservation Act of 1980 (Section 14.09 of the New York Parks, Recreation and Historic Preservation Law). These comments are those of the OPRHP and relate only to Historic/Cultural resources. They do not include potential environmental impacts to New York State Parkland that may be involved in or near your project. Such impacts must be considered as part of the environmental review of the project pursuant to the State Environmental Quality Review Act (New York Environmental Conservation Law Article 8) and its implementing regulations (6 NYCRR Part 617).

Based upon this review, it is the New York State Office of Parks, Recreation and Historic Preservation's opinion that your project will have no impact on archaeological and/or historic resources listed in or eligible for the New York State and National Registers of Historic Places.

If further correspondence is required regarding this project, please be sure to refer to the OPRHP Project Review (PR) number noted above.

Sincerely,

Ruth L. Pierpont

Deputy Commissioner for Historic Preservation

Division for Historic Preservation

P.O. Box 189, Waterford, New York 12188-0189 • (518) 237-8643 • www.nysparks.com

NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION

Division of Environmental Permits, Region 6

Dulles State Office Building, 317 Washington Street, Watertown, NY 13601-3787

P: (315) 785-2245 | F: (315) 785-2242

www.dec.ny.gov

May 4, 2016

Christopher Todd

Aubertine and Currier Architects, Engineers & Land Surveyors, PLLC

522 Bradley Street

Watertown, NY 13601

RE: Roth Industries Building Addition
City Center Industrial Park
Watertown (C), Jefferson County

Dear Mr. Todd:

We have received your letter dated May 3, 2016 regarding the proposed expansion of the Roth Industries facility located on 268 Bellevue Avenue within the City Center Industrial Park. Your letter requested a review of the proposed project for impacts to state regulated resources, specifically wetlands and threatened or endangered species. We reviewed the information provided, including the Short Environmental Assessment Form (SEAF), and offer the following regarding the proposal:

NYS endangered Indiana bat (*Myotis lucifugus*) and threatened Northern long-eared bat (*Myotis septentrionalis*), are both known to utilize the area as roosting and foraging habitat. We reviewed the existing conditions and the activity proposed and have determined a project will not result in a take of occupied habitat under the 6 NYCRR Part 182 Threatened and Endangered Species regulations. There does not appear to be any roost trees proposed for removal as part of the site development. We encourage consideration of the bats use of the area as part of the site design. Incorporation of downward-facing area lights with full cut-offs to limit spill light, and directing the lighting away from the treed areas would limit the incidental impact of the project on these species.

A review of the NYS Natural Heritage program databases showed we have no other known occurrences of rare or State listed animals, plants, significant natural communities, or other significant habitats on or in the immediate vicinity of the project area. The absence of data does not necessarily mean that rare or state-listed species, natural communities or other significant habitats do not exist on or adjacent to the proposed site. Rather, our files currently do not contain information which indicates their presence. For most sites, comprehensive field surveys have not been conducted. We cannot provide a definitive statement on the presence or absence of all rare or state-listed species or significant natural communities. Depending on the nature of the project and the conditions at the project site, further information from on-site surveys or other sources may be required to fully assess impacts on biological resources.

There are no state regulated wetland resources on the parcel. NYS FWW S-4 is located to the west and south of Rail and Roundhouse Drives. The adjacent area for the state regulated wetland may approach the boundaries of the parcels; however, we do not believe the activity as currently proposed will necessitate a state wetlands permit. The National Wetland Inventory does show a potential federally regulated wetlands on the parcel. You may wish to contact the US Army Corp of Engineers at 716-879-4433 for further information.

April 19, 2016

City of Watertown
Attn: Justin Wood, City Engineer
Room 305, City Hall
245 Washington Street
Watertown, NY 13601

Re: **Site Plan Review Application**
Roth Industries, Inc. - Proposed Building Addition
City Center Industrial Park, Lots 2,3,4,5, (A&C Proj. #2016-033)
268 Bellew Ave South, Watertown, NY

Dear Mr. Wood:

Aubertine and Currier Architects, Engineers & Land Surveyors, PLLC on behalf of John Pezzi of Roth Industries, Inc is requesting to be included on the agenda for the May 3, 2016 City of Watertown Planning Board meeting for a proposed 27,500 sf building addition and associated site improvements located at 268 Bellew Ave South, on Tax Parcel 9-43-105.000. Included with this submission is sixteen (16) copies of the Cover Letter, Site Plan Application, Short SEQR Environmental Assessment Form, and three (3) copies of the Engineering Report. Also attached are three (3) full size and thirteen (13) 11"x17" copies of the Site Development Plan, Preliminary Survey, and Preliminary Architectural Plans. A check for \$50.00 is also included for the review fee.

The project consists of a 27,500 SF building addition on the west side of the existing manufacturing facility and associated site improvements. Site improvements include a 43,500 SF asphalt storage area expansion west of the existing asphalt storage area, chain link fence to enclose the expanded storage area, an additional southern entrance drive from Rail Drive, to access the expanded storage yard and now shipping area loading dock, an additional truck access drive and expansion of the receiving area access, site lighting, grading and drainage. The proposed building addition will connect to the existing buildings utilities therefore no new utility services are required for the project. Two (2) existing stormwater treatment basins will be expanded to accommodate the increased runoff associated with the building addition and asphalt storage/parking area expansion.

Roth Industries intends to begin construction this summer as soon as approvals are granted. If there are any questions, please feel free to contact our office at your earliest convenience.

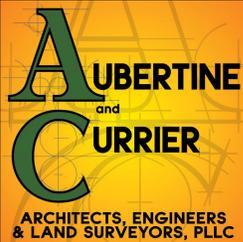
Sincerely,
Aubertine and Currier Architects, Engineers & Land Surveyors, PLLC



Matthew R. Morgia, P.E.
Civil Engineer

Attachments

Cc: John Pezzi – Roth Industries
Mike Aubertine – Aubertine & Currier



AUBERTINE
and
CURRIER
ARCHITECTS, ENGINEERS
& LAND SURVEYORS, PLLC

NYS WBE/DBE Certified
SBA Woman Owned
Small Business (WOSB)

aubertinecurrier.com

522 Bradley Street
Watertown, New York 13601

Phone: 315.782.2005
Fax: 315.782.1472

Managing Partner
Annette M. Mason, P.E.
Structural Engineer

Partners
Michael L. Aubertine, R.A.
Architect

Patrick J. Currier, R.A.
Architect

Brian A. Jones, AIA.,
LEED AP BD+C
Architect

Matthew R. Morgia, P.E.
Civil Engineer

Jayson J. Jones, P.L.S.
Land Surveyor



1869

CITY OF WATERTOWN SITE PLAN APPLICATION

** Provide responses for all sections. INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED. Failure to submit required information by the submittal deadline will result in **not** making the agenda for the upcoming Planning Board meeting.

PROPERTY LOCATION

Proposed Project Name: Roth Industries Building Addition

Tax Parcel Number: 9-43-105.000

Property Address: 268 Bellew Ave South, Watertown, NY 13601

Existing Zoning Classification: Light Industry

OWNER OF PROPERTY

Name: Roth Industries, Inc.

Address: 268 Bellew Ave South
Watertown, NY 13601

Telephone Number: 888-266-7684

Fax Number: (315) 475-0200

APPLICANT

Name: Roth Industries, Inc.

Address: 268 Bellew Ave South
Watertown, NY 13601

Telephone Number: (888) 266-7684

Fax Number: (315) 475-0200

Email Address: johnp@roth-usa.com

ENGINEER/ARCHITECT/SURVEYOR

Name: Aubertine and Currier, Architects, Engineers & Land Surveyors, PLLC

Address: 522 Bradley Street
Watertown, NY 13601

Telephone Number: (315) 782-2005

Fax Number: (315) 782-1472

Email Address: mrm@aubertinecurrier.com

OPTIONAL MATERIALS:

- PROVIDE AN ELECTRONIC (.DWG) COPY OF THE SITE PLAN WITH AS-BUILT REVISIONS. This will assist the City in keeping our GIS mapping up-to-date.**

REQUIRED MATERIALS:

- ** The following drawings with the listed information **ARE REQUIRED, NOT OPTIONAL**. If the required information is not included and/or addressed, the Site Plan Application will **not** be processed.
- COMPLETED ENVIRONMENTAL ASSESSMENT FORM** (Contact us if you need help choosing between the Short EAF and the Full EAF). The Complete EAF is available online at: <http://www.dec.ny.gov/permits/6191.html>
 - ELECTRONIC COPY OF ENTIRE SUBMISSION (PDF)** A single, combined PDF of the entire application, including cover letter, plans, reports, and all submitted material.
 - BOUNDARY and TOPOGRAPHIC SURVEY**
(Depict existing features as of the date of the Site Plan Application. This Survey and Map must be performed and created by a Professional Land Surveyor licensed and currently registered to practice in the State of New York. This Survey and Map must be stamped and signed with an original seal and signature on at least one copy, the rest may be copies thereof.
 - All elevations are National Geodetic Vertical Datum of 1929 (NGVD29).
 - 1' contours are shown and labeled with appropriate spot elevations.
 - All existing features on and within 50 feet of the subject property are shown and labeled.
 - All existing utilities on and within 50 feet of the subject property are shown and labeled.
 - All existing easements and/or right-of-ways are shown and labeled.
 - Existing property lines (bearings and distances), margins, acreage, zoning, existing land use, reputed owner, adjacent reputed owners and tax parcel numbers are shown and labeled.
 - The north arrow and graphic scale are shown.

DEMOLITION PLAN (If Applicable)

All existing features on and within 50 feet of the subject property are shown and labeled.

All items to be removed are labeled in darker text.

SITE PLAN

Include a reference to the coordinate system used(NYS NAD83-CF preferred).

All proposed above ground features are depicted and clearly labeled.

All proposed features are clearly labeled "proposed".

N/A All proposed easements and right-of-ways are shown and labeled.

Land use, zoning, and tax parcel number are shown.

The Plan is adequately dimensioned including radii.

The line work and text for all proposed features is shown darker than existing features.

All vehicular and pedestrian traffic circulation is shown including a delivery or refuse vehicle entering and exiting the property.

Proposed parking and loading spaces including ADA accessible spaces are shown and labeled.

N/A Sidewalks within the City Right-of-Way meet Public-Right-of-Way (PROWAG) standards.

Refuse Enclosure Area (Dumpster), if applicable, is shown. Section 161-19.1 of the Zoning Ordinance states, "No refuse vehicle or refuse container shall be parked or placed within 15 feet of a party line without the written consent of the adjoining owner, if the owner occupies any part of the adjoining property".

Proposed snow storage areas are shown on the plans.

The north arrow and graphic scale are shown.

GRADING PLAN

All proposed below ground features including elevations and inverts are shown and labeled.

All proposed above ground features are shown and labeled.

The line work and text for all proposed features is shown darker than existing features.

N/A All proposed easements and right-of-ways are shown and labeled.

1' existing contours are shown dashed and labeled with appropriate spot elevations.

1' proposed contours are shown and labeled with appropriate spot elevations.

All elevations are North American Vertical Datum of 1988 (NAVD88).

**Preliminary Plan will be shown on Final Submission

Sediment and Erosion control are shown and labeled on the grading plan unless separate drawings have been provided as part of a Stormwater Pollution Prevention Plan (SWPPP).

UTILITY PLAN

All proposed above and below ground features are shown and labeled.

All existing above and below ground utilities including sanitary, storm water, water, electric, gas, telephone, cable, fiber optic, etc. are shown and labeled.

N/A All proposed easements and right-of-ways are shown and labeled.

The Plan is adequately dimensioned including radii.

The line work and text for all proposed features is shown darker than existing features.

N/A The following note has been added to the drawings stating, "All water main and service work must be coordinated with the City of Watertown Water Department. The Water Department requirements supersede all other plans and specifications provided."

LANDSCAPING PLAN

All proposed above ground features are shown and labeled.

All proposed trees, shrubs, and other plantings are shown and labeled.

All proposed landscaping and text are shown darker than existing features.

All proposed landscaping is clearly depicted, labeled and keyed to a plant schedule that includes the scientific name, common name, size, quantity, etc.

For additional landscaping requirements where nonresidential districts and land uses abut land in any residential district, please refer to Section 310-59, Landscaping of the City's Zoning Ordinance.

Site Plan complies with and meets acceptable guidelines set forth in Appendix A - Landscaping and Buffer Zone Guidelines (August 7, 2007).

PHOTOMETRIC PLAN (If Applicable)

All proposed above ground features are shown.

Photometric spot elevations or labeled photometric contours of the property are clearly depicted. Light spillage across all property lines shall not exceed 0.5 foot-candles.

CONSTRUCTION DETAILS and NOTES

Preliminary Site Plan,
Details will be submitted
next Submission

All details and notes necessary to adequately complete the project including, but not limited to, landscaping, curbing, catch basins, manholes, water line, pavement, sidewalks, trench, lighting, trash enclosure, etc. are provided.

N/A Maintenance and protection and traffic plans and notes for all required work within City streets including driveways, water laterals, sanitary laterals, storm connections, etc. are provided.

N/A The following note must be added to the drawings stating:
"All work to be performed within the City of Watertown margin will require sign-off from a Professional Engineer, licensed and currently registered to practice in the State of New York, that the work was built according to the approved site plan and applicable City of Watertown standards. Compaction testing will be required for all work to be performed within the City of Watertown margin and must be submitted to the City of Watertown Codes Department."

PRELIMINARY ARCHITECTURAL PLANS (If Applicable)

Floor plan drawings, including finished floor elevations, for all buildings to be constructed are provided.

Exterior elevations including exterior materials and colors for all buildings to be constructed are provided.

Roof outline depicting shape, slope and direction is provided.

ENGINEERING REPORT

**** The engineering report at a minimum includes the following:**

- Project location
- Project description
- Existing and proposed sanitary sewer flows and summary
- Water flows and pressure
- Storm Water Pre and Post Construction calculations and summary
- Traffic impacts
- Lighting summary
- Landscaping summary

GENERAL INFORMATION

Preliminary Site Plan,
Details will be submitted
next Submission

- ALL** ITEMS ARE STAMPED AND SIGNED WITH AN ORIGINAL SIGNATURE BY A PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, OR SURVEYOR LICENSED AND CURRENTLY REGISTERED TO PRACTICE IN THE STATE OF NEW YORK.

Preliminary Site Plan,
SWPPP will be submitted
next Submission

- If required, a copy of the Stormwater Pollution Prevention Plan (SWPPP) submitted to the NYSDEC will also be sent to the City of Watertown Engineering Department.

N/A ** If required, a copy of all submittals sent to the New York State Department of Environmental Conservation (NYSDEC) for the sanitary sewer extension permit will also be sent to the City of Watertown Engineering Department.

N/A ** If required, a copy of all submittals sent to the New York State Department of Health (NYSDOH) will also be sent to the City of Watertown Engineering Department.

** When NYSDEC or NYSDOH permitting is required, the property owner/applicant shall retain a licensed Professional Engineer to perform inspections of the proposed utility work and to certify the completed works were constructed in substantial conformance with the approved plans and specifications.

N/A Signage will not be approved as part of this submission. It requires a sign permit from the City Code Enforcement Bureau. See Section 310-52.2 of the Zoning Ordinance.

Plans have been collated and properly folded.

- N/A If an applicant proposes a site plan with multiple buildings and any of those buildings front on a private drive, the City Council will name the private drive by resolution and the building(s) will be given an address number on that private drive by City staff. The applicant may propose a name for the private drive for the City Council's consideration.

Proposed Street Name: _____

- For non-residential uses, the proposed Hours of Operation shall be indicated.
- Signature Authorization form or letter signed by the owner is submitted allowing the applicant to apply on behalf of the owner if the applicant is not the property owner.
- Explanation for any item not checked in the Site Plan Checklist.

The following site plan application is a preliminary submission. Further developed site plans, detail sheets, engineering report and SWPPP will be submitted with the next site plan submission

Short Environmental Assessment Form

Part 1 - Project Information

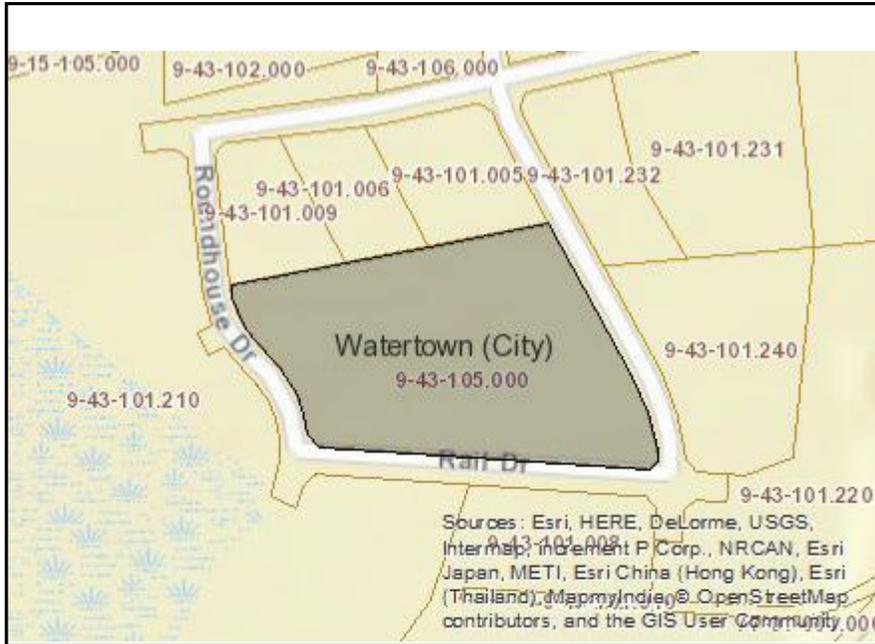
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Name of Action or Project: Proposed Building Addition			
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Name of Applicant or Sponsor: Roth Industries, Inc.		Telephone: 888-266-7684	
		E-Mail: johnp@roth-usa.com	
Address: 268 Bellew Ave South			
City/PO: Watertown		State: NY	Zip Code: 13601
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO	YES
		<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: City of Watertown Planning Board		NO	YES
		<input type="checkbox"/>	<input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		_____ 8.86 acres	
b. Total acreage to be physically disturbed?		_____ 3.92 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ 8.86 acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input checked="" type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

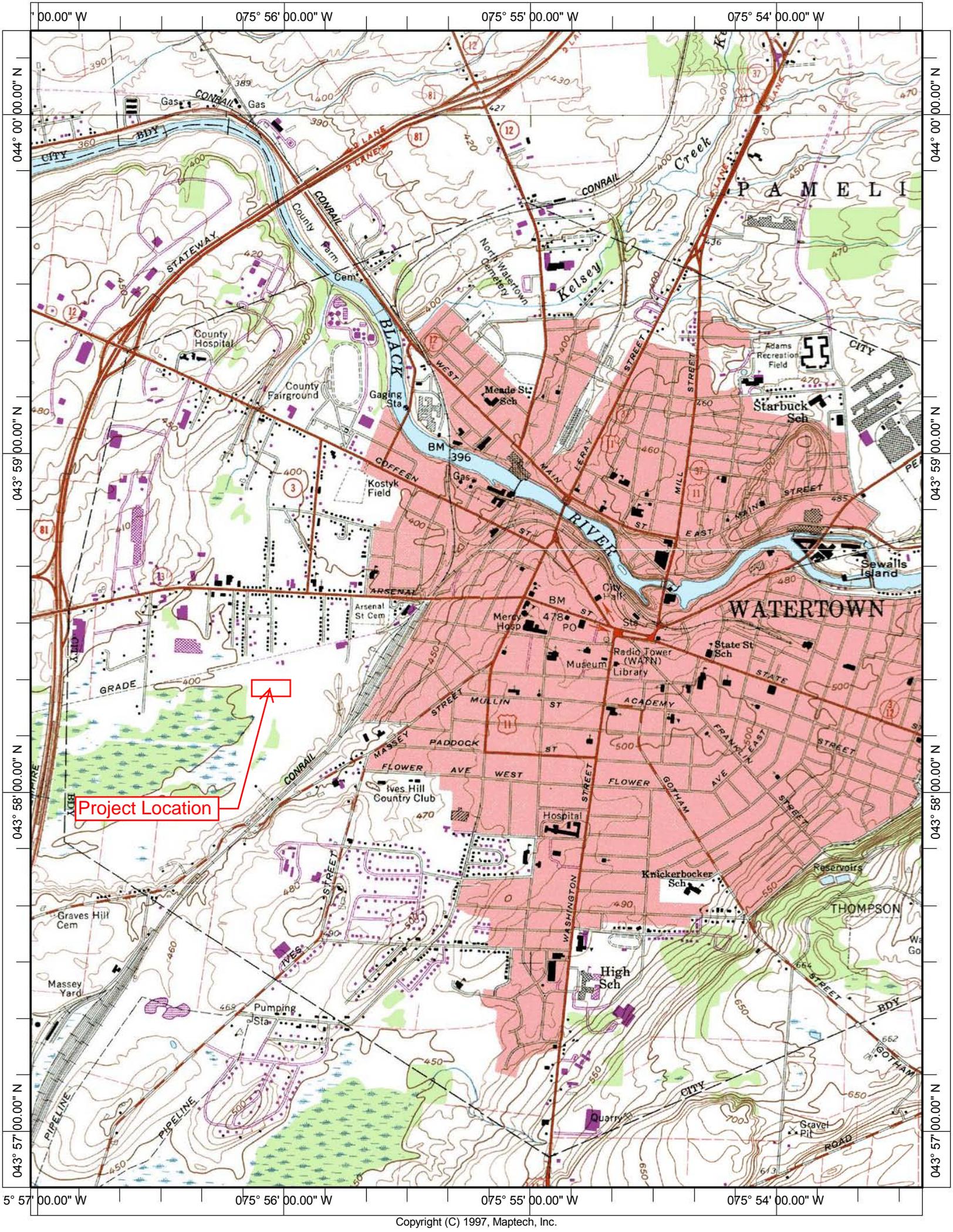
<p>18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)?</p> <p>If Yes, explain purpose and size: _____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?</p> <p>If Yes, describe: _____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?</p> <p>If Yes, describe: _____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p> <p>Applicant/sponsor name: <u>John C. Pezzi</u> Date: <u>4/19/10</u></p> <p>Signature: <u><i>JCP</i></u></p>		



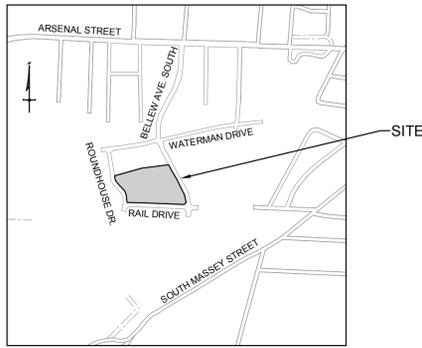
Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National Register of Historic Places]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 16 [100 Year Flood Plain]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
Part 1 / Question 20 [Remediation Site]	No



Project Location



LOCATION MAP
NOT TO SCALE

LEGEND

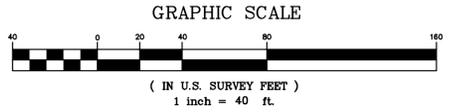
	CONTROL POINT		FIRE HYDRANT
	BENCHMARK		WATER VALVE
	CITY MONUMENT		SANITARY SEWER MANHOLE
	MAJOR CONTOUR		STORM DRAINAGE MANHOLE
	MINOR CONTOUR		CATCHBASIN
	PROPERTY LINE		DRAINAGE CULVERT END
	ASSUMED STREET MARGIN		DRAINAGE END SECTION
	EASEMENT LINE		LIGHT POLE
	SETBACK LINE		ELECTRIC HANDHOLE
	EDGE OF GRAVEL		TRANSFORMER
	CURB LINE		TELEPHONE PEDESTAL
	CURB CUT LINE		SIGN
	CHAIN LINK FENCELINE		BOLLARD
	WATER LINE		POST
	SANITARY SEWER LINE		RIPRAP
	STORM CULVERT LINE		TREES
	NATURAL GAS LINE		
	UNDERGROUND POWER LINE		
	TELEPHONE LINE		
	BUILDING FOUNDATION		

Allen Bakery, Inc.
to
Jefferson County Industrial Development Agency
Liber 1654 of Deeds, Page 310
Recorded December 29, 1998
Tax Map Parcel No. 9-43-101.005

City of Watertown
to
J.E.T. Warehouse Rentals, Inc.
Instrument No. 2003-0007088
Recorded May 08, 2003
Tax Map Parcel No. 9-43-101.006

Local development Corporation of the
City of Watertown, New York
to
Blue Mountain Spring Water, Inc.
Instrument No. 2004-00012402
Recorded August 18, 2004
Tax Map Parcel No. 9-43-101.009

DEED REFERENCE:
Jefferson County Industrial Development Agency
to
Jefferson County Industrial Development Agency
Instrument No. 2006-00021552
Recorded December 26, 2006
Tax Map Parcel No. 9-43-105
Area = 8.86 Acres

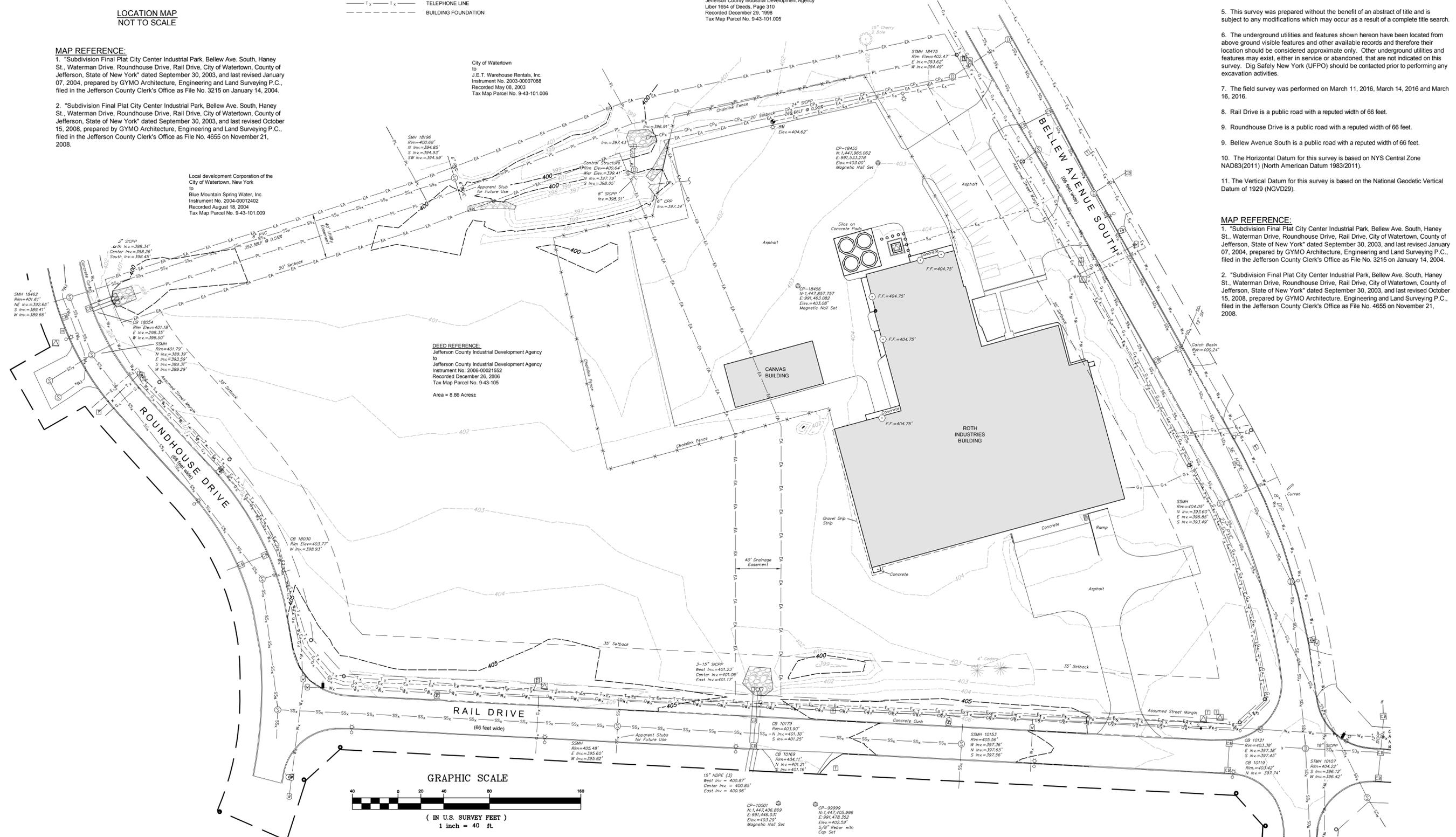


- STANDARD NOTES:**
1. Unauthorized alteration or addition to a survey map bearing a licensed land surveyor's seal is a violation of section 7209, sub-division 2, of the New York State Education Law.
 2. Only boundary survey maps with the surveyor's embossed seal or red ink seal are genuine true and correct copies of the surveyor's original work and opinion.
 3. Certifications on this boundary survey map signify that the map was prepared in accordance with the current existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors, Inc. The certification is limited to persons for whom the boundary survey map is prepared, to the title company, to the governmental agency, and to the lending institution listed on this boundary survey map.
 4. The certifications hereon are not transferable.
 5. The location of underground improvements or encroachments are not always known and often must be estimated. If any, underground improvements or encroachments are not covered by this certificate.

- GENERAL NOTES:**
1. The subject parcel is Jefferson County Real Property Tax Parcel No. 9-43-105
 2. The subject parcel is a portion of the City of Watertown City Center Industrial Park. Zoning is per the City Center Industrial Park Declaration of Covenants and Restrictions, filed in the Jefferson County Clerk's Office as Instrument No. 2004-0000289 on January 8, 2004.
- Article 2 - Site Requirements
- Minimum Setback Requirements:
Front Yard Setback = 35 feet
Rear Yard Setbacks = 20 feet
Side Yard Setback = 20 feet
- Minimum Lot Dimensions:
Width = 150 feet
Area = 44,000 sq. feet
- Maximum Building Height = 40 feet
Maximum Lot Coverage by Buildings = 35%

3. All adjoining are per the City of Watertown Real Property Office.
4. Adjoining property lines should be considered approximate and are shown for reference only.
5. This survey was prepared without the benefit of an abstract of title and is subject to any modifications which may occur as a result of a complete title search.
6. The underground utilities and features shown hereon have been located from above ground visible features and other available records and therefore their location should be considered approximate only. Other underground utilities and features may exist, either in service or abandoned, that are not indicated on this survey. Dig Safely New York (UFPO) should be contacted prior to performing any excavation activities.
7. The field survey was performed on March 11, 2016, March 14, 2016 and March 16, 2016.
8. Rail Drive is a public road with a reputed width of 66 feet.
9. Roundhouse Drive is a public road with a reputed width of 66 feet.
9. Bellevue Avenue South is a public road with a reputed width of 66 feet.
10. The Horizontal Datum for this survey is based on NYS Central Zone NAD83(2011) (North American Datum 1983/2011).
11. The Vertical Datum for this survey is based on the National Geodetic Vertical Datum of 1929 (NGVD29).

- MAP REFERENCE:**
1. "Subdivision Final Plat City Center Industrial Park, Bellevue Ave. South, Hanev St., Waterman Drive, Roundhouse Drive, Rail Drive, City of Watertown, County of Jefferson, State of New York" dated September 30, 2003, and last revised January 07, 2004, prepared by GYMO Architecture, Engineering and Land Surveying P.C., filed in the Jefferson County Clerk's Office as File No. 3215 on January 14, 2004.
 2. "Subdivision Final Plat City Center Industrial Park, Bellevue Ave. South, Hanev St., Waterman Drive, Roundhouse Drive, Rail Drive, City of Watertown, County of Jefferson, State of New York" dated September 30, 2003, and last revised October 15, 2008, prepared by GYMO Architecture, Engineering and Land Surveying P.C., filed in the Jefferson County Clerk's Office as File No. 4655 on November 21, 2008.



PRELIMINARY

TOPOGRAPHIC SURVEY MAP of the LANDS of
JEFFERSON COUNTY INDUSTRIAL DEVELOPMENT AGENCY
268 BELLEVUE AVENUE SOUTH
CITY OF WATERTOWN
JEFFERSON COUNTY, NEW YORK

PROJECT NO:	2016-033
SCALE:	1"=40'
DRAWN BY:	JDB, ODL
CHECKED BY:	JJU
ISSUE DATES:	April 19, 2016

2016-033 ROTH-VF-SB001.dwg

VF-101

LEGEND	EXISTING	PROPOSED
5' CONTOUR		
1' CONTOUR		
PROPERTY LINE		
RIGHT OF WAY		
SETBACK		
BUILDING		
ASPHALT PAVEMENT		
CURB		
SIDEWALK		
EDGE OF GRAVEL		
FENCE		
WATERLINE		
SANITARY SEWER		
STORM SEWER		
OVERHEAD UTILITIES		
UNDERGROUND ELECTRIC		
GAS		
FIRE HYDRANT		
WATER VALVE		
SANITARY MANHOLE		
STORM MANHOLE		
CATCH BASIN		
UTILITY POLE AND GUY		
LIGHT POLE		

PLANNING DATA		
ZONING: LIGHT INDUSTRY USE: INDUSTRIAL BUILDING (26,800 SF BUILDING ADDITION)		
ITEM	REQUIRED	AS PROVIDED
MIN. LOT AREA	-	386,092 SQ. FT. (8.86 ACRES)
MIN. FRONTAGE	-	648'
MIN. FRONT SETBACK	0'	0'
MIN. REAR YARD SETBACK	0'	168'
MIN. SIDE YARD SETBACK	0'	N/A
PARKING REQUIREMENTS - LIGHT INDUSTRIAL = 86,000 SF OF FLOOR AREA OFFICE SPACE = 2,500 SF OF FLOOR AREA	80 SPACES = 16,000 SF OF PARKING AREA	100 SPACES PLUS 100,000 SF OF PARKING AREA
LIMITS OF DISTURBANCE	±3.92 ACRES	

TRAFFIC INFORMATION (ITE TRAFFIC GENERATION, 7TH EDITION)			
WEEKDAY, AM	ENTERING	22	
	EXITING	5	
WEEKDAY, PM	ENTERING	13	
	EXITING	16	
SATURDAY	ENTERING	6	
	EXITING	5	

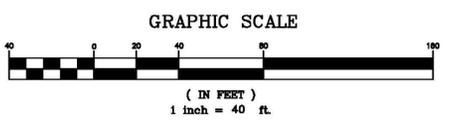
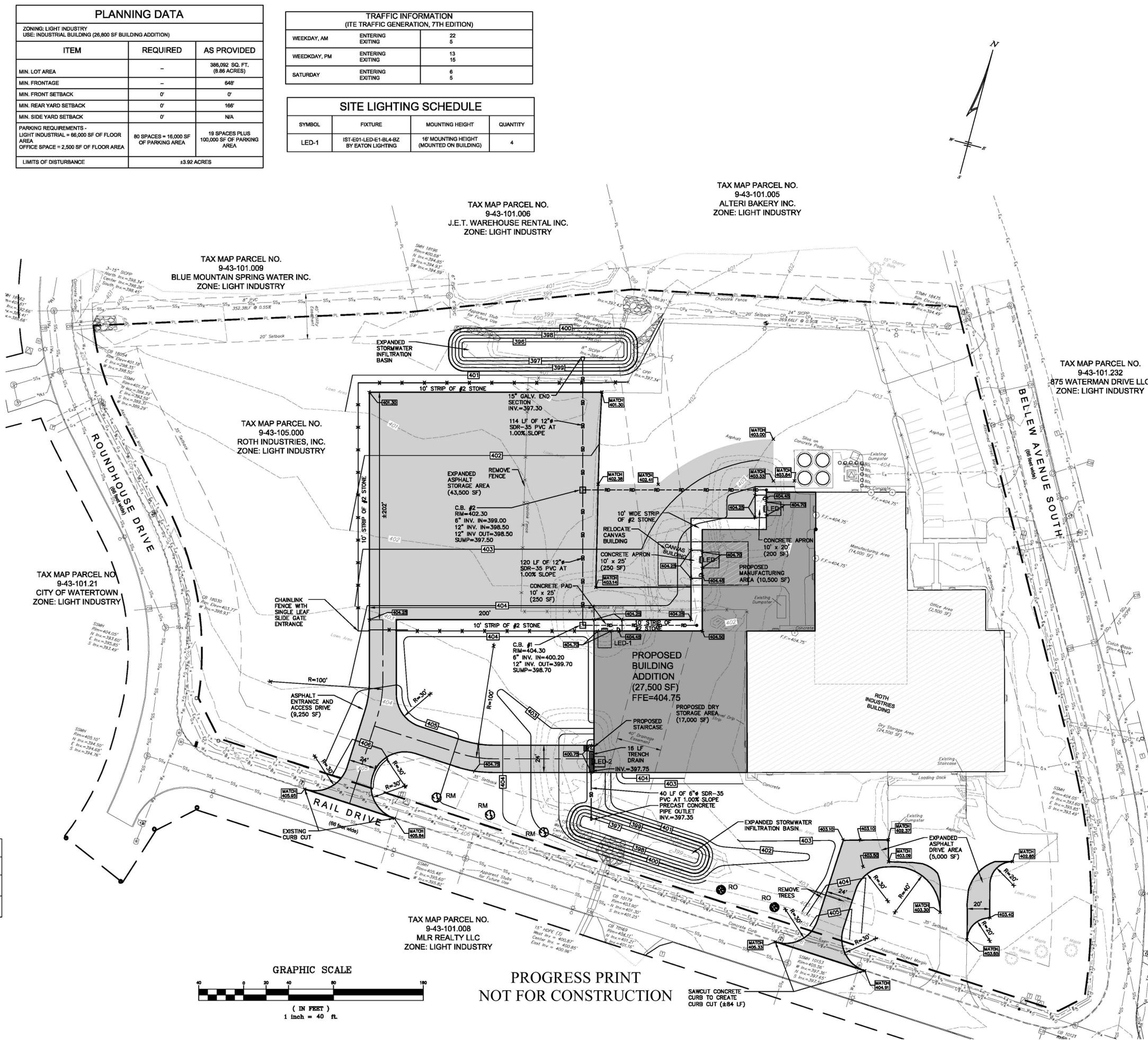
SITE LIGHTING SCHEDULE			
SYMBOL	FIXTURE	MOUNTING HEIGHT	QUANTITY
LED-1	1ST-E01-LED-E1-BL-8Z BY EATON LIGHTING	16' MOUNTING HEIGHT (MOUNTED ON BUILDING)	4

GENERAL NOTES:

- UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN. PRIOR TO CONSTRUCTION CONTACT UNDERGROUND UTILITIES CALL CENTER OF NEW YORK FOR EXACT LOCATION OF ALL UNDERGROUND UTILITIES. (1-800-982-7822). CONTRACTOR IS RESPONSIBLE FOR LOCATING AND WORKING WITH THE APPROPRIATE UTILITY COMPANIES PRIOR TO CONSTRUCTION.
- THE ON-SITE TOPOGRAPHIC, UTILITY, AND PLANIMETRIC SURVEY FOR THE PROJECT AREA WAS CONDUCTED BY AUBERTINE AND CURRIER, PLLC ON 03/11/2016, 03/14/2016, 03/16/2016, 04/02/2016, 04/14/2016. UTILITY LOCATIONS WERE PLOTTED FROM VISUAL SURVEY AND RECORD DRAWINGS PROVIDED BY THE CITY OF WATERTOWN ENGINEERING DEPARTMENT. VERTICAL DATUM IS BASED ON NAVD83 DATUM AND THE HORIZONTAL DATUM IS BASED ON NAD83(98).
- ALL CUT-OF-SCOPE AREAS DISTURBED BY THE CONTRACTOR'S OPERATIONS WILL BE RESTORED TO CONDITIONS EQUAL TO OR BETTER THAN THAT PRIOR TO CONSTRUCTION. OUTSIDE OF PROPERTY BOUNDARIES AND EASEMENT AREAS THE CONTRACTOR IS REMINDED THAT HE MUST OBTAIN WRITTEN AUTHORIZATION TO USE PRIVATE PROPERTY AND ASSUMES ALL LIABILITY HIMSELF.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE CHARACTERISTICS AND EXTENT OF SUBSURFACE SOILS, ROCK, WATER TABLE LEVELS, ETC., PRIOR TO BIDDING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND BONDS NECESSARY TO OBTAIN SAID PERMITS WHERE APPLICABLE.
- SITE CONTRACTOR TO PROVIDE EROSION AND DUST CONTROL AS REQUIRED.
- A LICENSED LAND SURVEYOR SHALL BE RETAINED FOR ALL UTILITY AND FIELD STAKEOUT AT THE CONTRACTOR'S EXPENSE.
- PAVED AREAS WILL BE SAWCUT PRIOR TO EXCAVATION AND PAVING OPERATIONS. SAW CUT AREAS WILL BE TACK COATED PRIOR TO PAVING. TACK COAT SHALL MEET THE REQUIREMENTS OF ASPHALT OF ASPHALT EMULSION FOR TACK COAT, NYSDOT TABLE 702-9.
- CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION UNTIL ESTABLISHMENT OF VEGETATIVE COVER. RUN-OFF CONTAINING SEDIMENTS FROM DISTURBED AREAS OF THE SITE SHALL NOT BE ALLOWED DIRECTLY INTO NATURAL STREAM CHANNELS.
- ALL TREES AND WETLANDS TO REMAIN SHALL BE PROTECTED BY THE CONTRACTOR. CONSTRUCTION ACTIVITIES ADJACENT TO TREES SHALL BE CONDUCTED TO REDUCE THE IMPACT TO TREES TO THE MAXIMUM EXTENT PRACTICAL. ANY DAMAGE TO EXISTING TREES SHALL BE REPAIRED OR THE TREE REPLACED, AS DIRECTED BY THE OWNER AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL PERFORM ALL ROADWAY CONNECTION WORK IN ACCORDANCE WITH NYSDOT SPECIFICATIONS. ALL ROADWAY WORK SHALL BE IN ACCORDANCE WITH NYSDOT MAINTENANCE AND PROTECTION OF TRAFFIC REGULATIONS, INCLUDING FLAGMEN, BARRICADES, WARNING SIGNS, LIGHTS, ETC., WHERE WARRANTED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND PROPER DISPOSAL, AT A NYSDOT ACCEPTABLE LOCATION, OF ALL MATERIALS NOT REUSED AS TRENCH BACKFILL.
- EXCAVATIONS SHALL BE TO DEPTHS SHOWN ON DRAWINGS. ALL UNSTABLE OR UNSUITABLE MATERIALS SHALL BE EXCAVATED AND REMOVED TO SUCH DEPTHS AS REQUIRED TO PROVIDE SUFFICIENT BEARING CAPACITY. OVEREXCAVATED AREAS SHALL BE BACKFILLED WITH SUITABLE MATERIAL.
- COMPACTION OF PIPE BEDDING AND BACKFILL MATERIAL SHALL BE BY MEANS OF HAND-GUIDED POWER DRIVEN OR DRUM-TYPE OR PLATE TAMPERS. BACKFILLING SHOULD PROCEED IN ACCORDANCE WITH LIFT THICKNESSES AND COMPACTION REQUIREMENTS AS SHOWN ON THE DRAWINGS. UNLESS OTHERWISE NOTED ON THE DRAWINGS, COMPACTION REQUIREMENTS REFER TO PERCENT OF MAXIMUM DRY DENSITY AS DETERMINED IN ACCORDANCE WITH ASTM STANDARD D1557 METHOD "C". CARE SHOULD BE TAKEN TO SHAPE PIPE BEDDING TO FIT THE LOWER PART OF THE PIPE. BACKFILLING AND COMPACTION SHOULD PROGRESS EVENLY ALONG THE PIPE SIDEWALLS AND TO THE TOP OF PIPE BEDDING.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES OF DIMENSIONS, ELEVATIONS AND LOCATIONS DURING PRECONSTRUCTION FIELD VERIFICATION. SUCH INFORMATION SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR VERIFICATION OR MODIFICATION OF THE PLANS.
- THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORD DRAWINGS INCLUDING, AS A MINIMUM, THE FOLLOWING INFORMATION AS WELL AS ALL REQUIREMENTS OF THE SPECIFICATION:
 - RECORD OF ALL UTILITIES ENCOUNTERED IN TRENCH EXCAVATION. INFORMATION SHALL INCLUDE DIAMETER OF UTILITY, DEPTH OF BURIAL AND LOCATION WITH REFERENCE TO NEAREST STRUCTURE SHOWN ON DRAWINGS. THIS INFORMATION SHALL BE KEPT CURRENT ON A WEEKLY BASIS. FAILURE TO DO SO MAY RESULT IN WITHHOLDING OF PAYMENTS.
 - DISTANCE TIES TO ALL MANHOLES, CLEANOUTS, BENDS AND CORPORATION STOPS.
 - UTILITY REPAIRS, SIDEWALK AND DRIVEWAY ALIGNMENTS CENTERLINE.
 - STATIONS OF BENDS, CLEANOUTS, VALVES AND CORPORATION STOPS.
 - DENOTE BENCH MARK REFERENCE USED.
 - PERIODIC OFFSETS.
 - RECORD DETAILS NOT SHOWN ON THE ORIGINAL CONTRACT DOCUMENTS. ANY FIELD CHANGES OF DIMENSIONS AND DETAILS AND ANY CHANGES MADE BY CHANGE ORDER OR FIELD ORDER.
 - CERTIFICATE OF SUBSTANTIAL COMPLETION SHALL NOT BE ISSUED UNTIL AS-BUILT INFORMATION IS ACCEPTABLE.
 - PROVIDE TWO (2) SETS OF FINAL COMPLETE RECORD DRAWINGS. CONTRACTOR SHALL FURNISH AS-BUILT DATA ON PLAN SHEETS.
- ALL WORK TO BE PERFORMED WITHIN THE CITY OF WATERTOWN MARGIN WILL REQUIRE SIGN-OFF FROM AN ENGINEER LICENSED IN THE STATE OF NEW YORK THAT THE WORK WAS BUILT ACCORDING TO THE APPROVED SITE PLAN AND APPLICABLE CITY OF WATERTOWN STANDARDS. COMPACTION TESTING WILL BE REQUIRED FOR ALL WORK TO BE PERFORMED WITHIN THE CITY OF WATERTOWN MARGIN AND MUST BE SUBMITTED TO THE CITY OF WATERTOWN CODES DEPARTMENT.
- UPON COMPLETION OF STORM SEWER FACILITIES AND ESTABLISHMENT OF VEGETATION, THE NEW AND EXISTING STORM SEWER SYSTEMS RECEIVING RUNOFF FROM THIS SITE SHALL BE CLEANED OF DEBRIS. ONLY AT THIS TIME SHALL THE EROSION AND SEDIMENTATION CONTROL MEASURES BE REMOVED.

PLANTING SCHEDULE					
SYM	COMMON NAME	ABBREVIATION	BOTANICAL NAME	SIZE	QUANTITY
	RED MAPLE	RM	ACER RUBRUM	2" CALIPER	3
	NORTHERN RED OAK	RO	QUERCUS RUBRA	2" CALIPER	2

- LANDSCAPING NOTE:**
- PLANT SPECIES WERE SELECTED BASED ON ABILITY TO GROW IN EXISTING SOIL CONDITIONS. PLANT SPECIFIED WERE ALSO CHOSEN BASED ON SIZE, SHAPE, COLOR AND GROWTH HABIT. ANY SUBSTITUTIONS SHALL BE APPROVED BY THE ARCHITECT.
 - ALL PLANTINGS SHALL ARRIVE ON-SITE BEARING THE ORIGINAL IDENTIFICATION TAGS SHOWING THEIR BOTANICAL NAME, COMMON NAME AND SIZE.
 - ALL TREES SHALL HAVE A 4" DIA. SHREDDED HARDWOOD MULCH RING AROUND THE BASE OF THE TREE.
 - ALL LANDSCAPED AREAS SHALL HAVE A WEED BARRIER FABRIC AND A MIN. OF 3" DEEP SHREDDED HARDWOOD MULCH.
 - ALL PLANTINGS SHALL BE THOROUGHLY WATERED AT THE TIME OF PLANTING.



PROGRESS PRINT
NOT FOR CONSTRUCTION

SAWCUT CONCRETE CURB TO CREATE CURB CUT (±84 LF)



522 Bradley Street
Watertown, New York 13601

aubertinecurrier.com

Phone: (315)782-2005
Fax: (315)782-1472

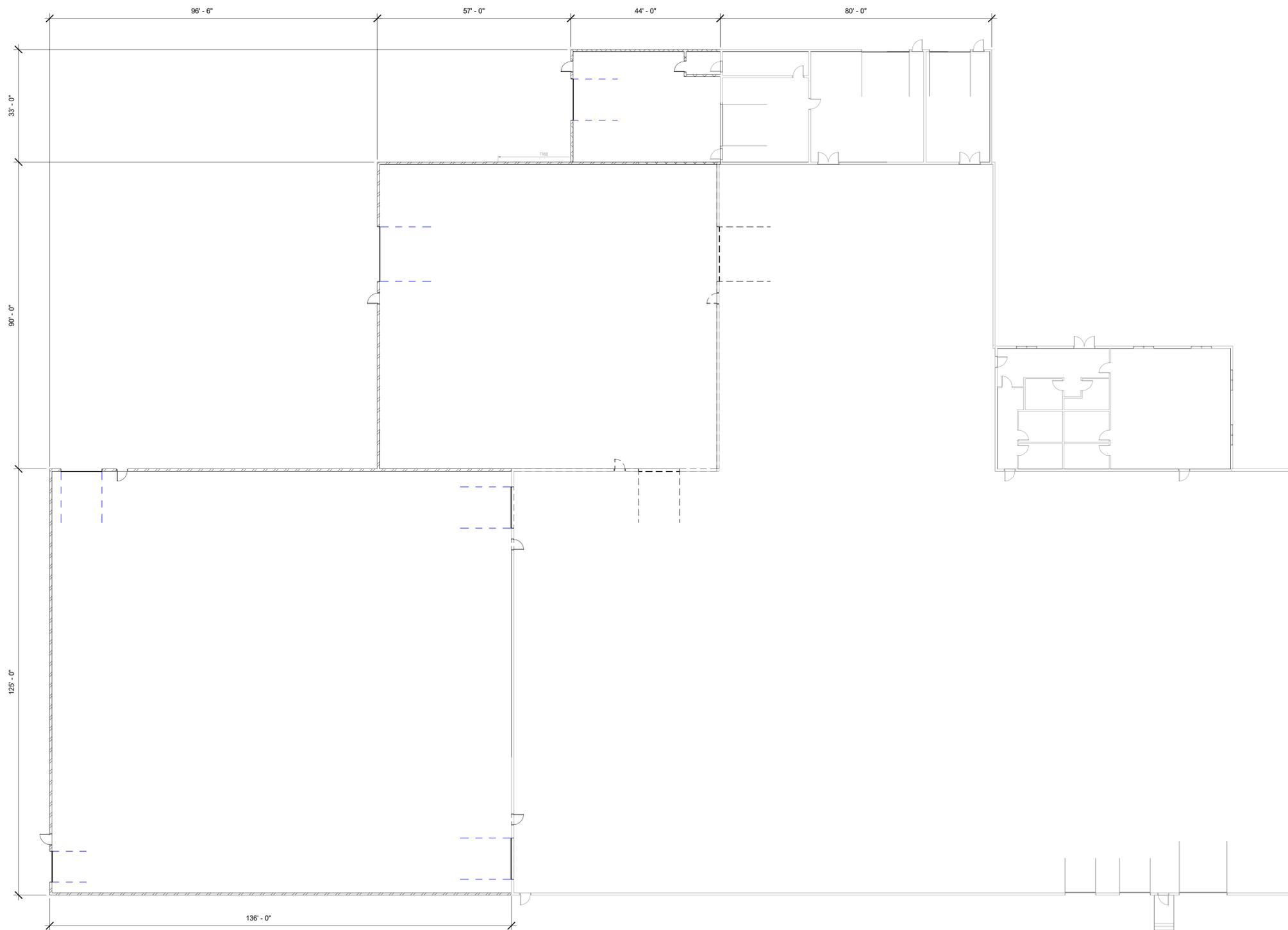
The above Architect, Engineer or Land Surveyor states that to the best of his or her knowledge, information and belief, the plans and specifications are in accordance with applicable requirements of New York State. It is a violation of New York State Law for any person, unless acting under the direct supervision of a Registered Architect, Licensed Professional Engineer or Licensed Land Surveyor to alter this document in any way. If altered, such licensee shall affix his or her seal and the modification is dated by his or her signature, date and a specific description of the alteration.
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AUBERTINE and CURRIER ARCHITECTS, ENGINEERS & LAND SURVEYORS, PLLC

ADDITION FOR ROTH INDUSTRIES
AND ROTH GLOBAL PLASTICS
268 BELLEVUE AVE SOUTH
WATERTOWN, NEW YORK 13601
JEFFERSON COUNTY

PROJECT NO.: 2016-033
SCALE: 1"=40'
DRAWN BY: CWT
CHECKED BY: MRM
ISSUE DATES:
04/19/2016

CONCEPTUAL SITE PLAN

C-100



① FIRST FLOOR KEY PLAN
1/16" = 1'-0"



522 Bradley Street
Watertown, New York 13601

aubertinecurrier.com

Phone: (315)782-2005
Fax: (315)782-1472

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**ADDITION FOR ROTH INDUSTRIES
AND GLOBAL PLASTICS**
268 BELLEW AVE SOUTH
WATERTOWN, NEW YORK 13601
JEFFERSON COUNTY

PROJECT NO.	2016-033
SCALE	1/16" = 1'-0"
DRAWN BY:	MLA
CHECKED BY:	MLA
ISSUE DATES:	APRIL 18, 2016

FIRST FLOOR KEY PLAN

A100

The above Architect, Engineer or Land Surveyor states that to the best of his or her knowledge, information and belief, the plans and specifications are in accordance with applicable requirements of New York State. It is a violation of New York State Law for any person, unless acting under the direct supervision of a Registered Architect, Licensed Professional Engineer or Licensed Land Surveyor to alter this document in any way. If altered, such licensee shall affix his or her seal and the modification "altered by" followed by his or signature, date and a specific description of the alteration.
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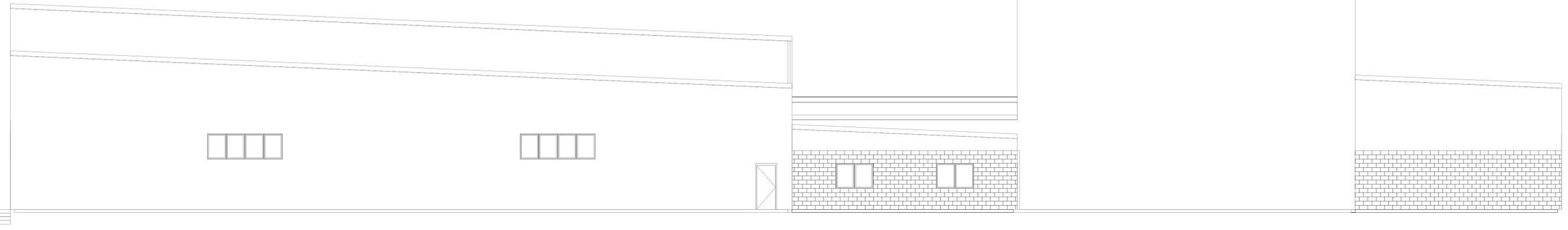


**ADDITION FOR ROTH INDUSTRIES
AND GLOBAL PLASTICS**
268 BELLEW AVE SOUTH
WATERTOWN, NEW YORK 13601
JEFFERSON COUNTY

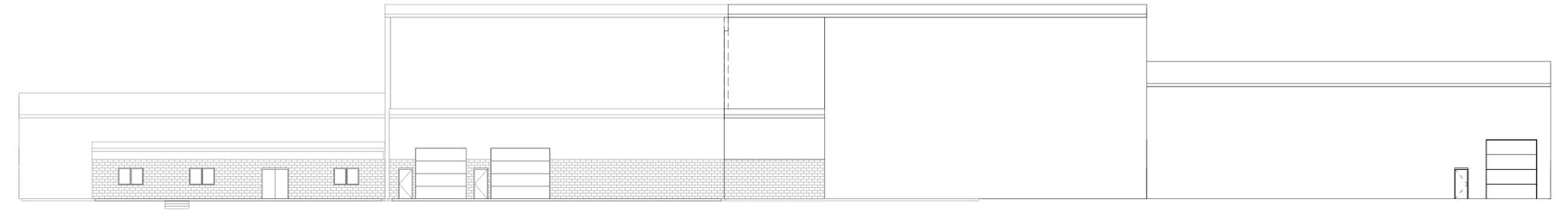
PROJECT NO.	2016-033
SCALE	As Indicated
DRAWN BY	Author
CHECKED BY	Checker
ISSUE DATES	Issue Date

EXTERIOR ELEVATIONS

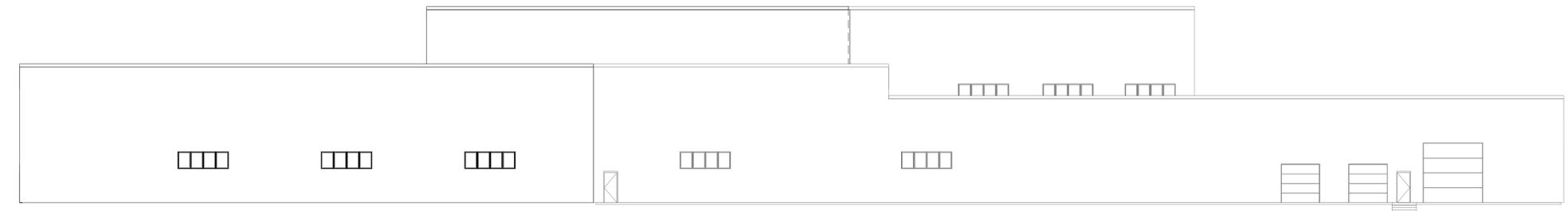
A200



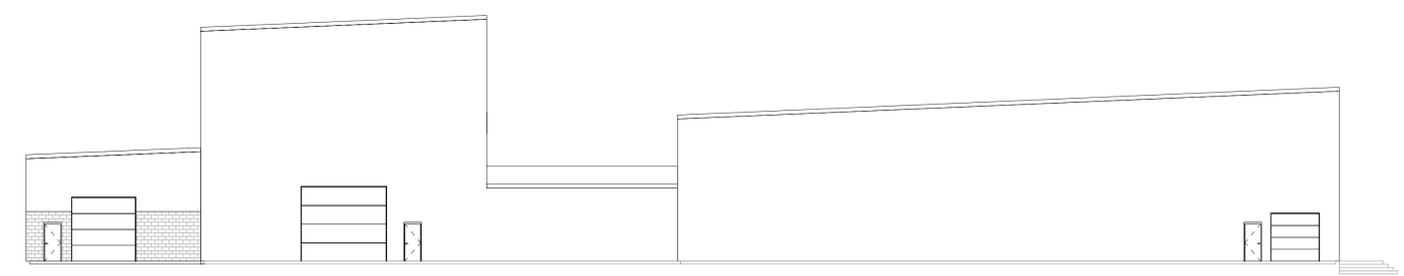
① EAST ELEVATION
1/8" = 1'-0"



② NORTH ELEVATION
1/16" = 1'-0"



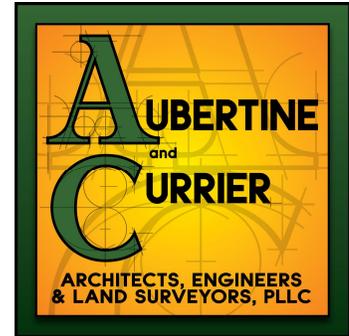
③ SOUTH ELEVATION
1/16" = 1'-0"



④ WEST ELEVATION
1/16" = 1'-0"

PRELIMINARY ENGINEERING REPORT

**ROTH INDUSTRIES, INC
PROPOSED BUILDING ADDITION
CITY CENTER INDUSTRIAL PARK, Lots 2,3,4,5
268 BELLEW AVE SOUTH
CITY OF WATERTOWN
JEFFERSON COUNTY, NEW YORK**



**Owner: Roth Industries, Inc.
268 Bellew Ave South
Watertown, NY 13601**

April 19, 2016

**Matthew R. Morgia, P.E.
Civil Engineer**

The above Engineer states that to the best of his knowledge, information and belief, the plans and specifications are in accordance with applicable requirements of New York State. It is a violation of New York State Law for any person, unless acting under the direction of a licensed professional engineer to alter this document in any way. If altered, such licensee shall affix his or her seal and the notation "altered by" followed by his or her signature, date, and a specific description of alteration.

Aubertine and Currier Architects, Engineers & Land Surveyors, PLLC
522 Bradley Street Watertown, New York 13601 TELE: (315) 782-2005 FAX: (315) 782-1472

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 - 1.2 Project Description
 - 1.3 Site Topography
 - 1.4 Soil Classification

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 - 2.2 Proposed Water Facilities
 - 2.3 Water Demand

- 3.0 Sanitary Sewer Facilities
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 - 3.2 Proposed Sanitary Sewer Facilities
 - 3.3 Sewer Flows

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- 5.0 Roads/Parking/Traffic
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 - 8.1 Existing Landscaping
 - 8.2 Proposed Landscaping

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 - City of Watertown Zoning Map
 - City of Watertown GIS Floodplain & Wetlands Map
 - Soils Map
 - Soils Description
- Appendix 2: Sanitary Sewer Design Calculations
- Appendix 3: Hydrologic and Hydraulic Analysis
- Appendix 4: Parking and Traffic Calculations

1.0 SITE AND PROJECT DESCRIPTIONS

1.1 Location

The project is located at 268 Bellew Ave South on an industrial property within the City of Watertown's City Center Industrial Park. Roth Industries currently owns and operates the 8.86 acre facility located on Lots 2, 3, 4 & 5 of the Industrial park. The Industrial park Lots and associated infrastructure was developed by the City in 2001. The existing property contains a 41,000 SF building, 60,000 SF asphalt parking and storage area, and an 11,500 SF asphalt entrance drive and loading dock. The 41,000 SF building contains space for manufacturing, storage, and office area. The property is located on Tax Map Parcel No. 9-43-105.000. This parcel is zoned LI –Light Industry.

1.2 Project Description

The project consists of a 27,500 SF building addition on the west side of the existing manufacturing facility and associated site improvements. Site improvements include a 43,500 SF asphalt storage area expansion west of the existing asphalt storage area, chain link fence to enclose the expanded storage area, an additional southern entrance drive from Rail Drive, to access the expanded storage yard shipping area loading dock, an additional truck access drive and expansion of the receiving area access, site lighting, grading and drainage.

1.3 Site Topography

The existing 8.86 acre site is comprised of a 41,000 SF manufacturing facility and 60,000 SF parking and storage area on the eastern portion of the property and vegetated land on the western portion of the property. A chain link fence runs along the perimeter of the asphalt storage yard, separating the developed portion of the property from the undeveloped vegetated lawn area to the east.

The existing manufacturing facility, asphalt parking and storage area, and undeveloped vegetated lawn area all slope north at a slope varying between 1% and 2% via sheet flow to an existing stormwater detention basin located at the northwest corner of the storage yard. Runoff that enters the northern stormwater detention basin either infiltrates into the existing sandy soils or overflows and discharges east into a 24" SICPP storm pipe that connects to the Bellew Avenue South municipal storm sewer. The southeast truck access drive that permits access to the receiving area loading dock on the south side of the building drains south to a separate storm water detention basin where runoff either infiltrates into the existing sandy soils or overflows and discharges south into the city municipal storm sewer that crosses under Rail Drive. The detention basins were constructed as part of the 2006 Roth Industries Building Addition project.

The developed area of the project is not located within a 100 year flood plain.

1.4 Soil Classification

The project site is located in the City of Watertown, which is an urban environment and consists primarily of previously developed area. According to the USDA Web Soil Survey for Jefferson County, New York, the project area includes soils classified as silt loam of Hydrologic Group C/D to the east and sands of Hydrologic Group A to the west.

<u>Soil Symbol</u>	<u>Soil Name</u>	<u>Hydrologic Group</u>
CnB	Collamer Silt Loam	C/D
PoB	Plainfield Sand	A
Sc	Scarboro Mucky Loam Fine Sand	A/D
Ur	Urban Land	A

2.0 WATER FACILITIES

2.1 Existing Water Facilities

There are existing 8" municipal water mains located at the west, south, and east road frontage of the lot, along Roundhouse Drive, Rail Drive and Bellew Avenue South. An 8" water service extends from the Bellew Avenue south water main to the southeastern corner of the building. There are five (5) hydrants located within the Bellew Avenue South, Rail Drive and Roundhouse Drive City rights of ways that provide fire protection for the property.

2.2 Proposed Water Facilities

No additional water utilities are proposed for this project. The proposed building addition's plumbing will be connected to the existing building's plumbing.

2.3 Water Demand

The projected peak domestic water usage by the Roth Industries Facility is 225 GPD. This is based upon the projected flow of 15 GPD for each of the 15 employees expected to use the office.

3.0 SANITARY SEWER FACILITIES

3.1 Existing Sanitary Sewer Facilities

There are municipal sanitary sewer mains located within the Roundhouse Drive, Rail Drive, and Bellew Avenue South road right of ways that service the Industrial

Aubertine and Currier Architects, Engineers & Land Surveyors, PLLC

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park. The Roth Industries facility is served by an existing 6" sanitary sewer lateral that exits the east side of the building and connects to the Bellew Avenue south sanitary sewer main.

3.2 Proposed Sanitary Sewer Facilities

No additional sanitary sewer utilities are proposed for this project. The proposed building addition's plumbing will be connected to the existing buildings plumbing.

3.3 Sewer Flows

The projected design flows generated by the Roth Industries Facility is 225 GPD. Sewer flows are based upon the NYS DEC 2014 Design Standards for Wastewater Treatment Works projected flow rates of 15 GPD per employee. The expanded facility will have 15 employees.

4.0 STORMWATER FACILITIES

4.1 Existing Drainage

The existing manufacturing facility, asphalt parking and storage yard, and undeveloped vegetated lawn area all slope north to an existing stormwater detention basin located at the northwest corner of the storage yard. Runoff that enters the northern stormwater detention basin either infiltrates into the existing sandy soils or overflows and discharges east into a 24" SICPP storm pipe that connects to the Bellew Ave South municipal storm sewer. The southern receiving area truck access to the loading dock on the south side of the building drains south to a separate storm water detention basin where runoff either infiltrates into the existing sandy soils or overflows and discharges south into the city municipal storm sewer that crosses under Rail Drive. The detention basins were constructed as part of the 2006 Roth Industries Building Addition project.

The existing site drainage and runoff conditions were analyzed utilizing the SCS. HydroCAD calculations can be found in Appendix #2. Runoff calculations were completed for the 1, 10, and 100 year, 24 hour storm events. Peak discharge from the 10 year, 24 hour, storm event has been utilized for design and discussion purposes. The existing condition 10 year site discharge is 0.61 CFS.

4.2 Proposed Drainage

The proposed building addition project will entail approximately 3.92 acres of soil disturbance, therefore a stormwater pollution prevention plan (SWPPP) is required for the project per NYS DEC regulations. Stormwater treatment measures will be sized to provide the required Runoff Reduction (RRv), Water Quality (WQv) (90%), Channel Protection (CPv) (one year storm), Over Bank Flood (Qp) (10- year storm), and Extreme Storm (Qf) (100-year storm) treatment.

Preliminary hydrologic calculations have been performed for the project. The proposed conditions 10 year, 24 hour storm, peak discharge is 4.23 CFS. The increase in stormwater runoff from existing to proposed conditions is attributed to an approximate 1.86 acres of additional impervious area being constructed as part of the proposed building addition. Further design will be completed to provide the required Stormwater treatment.

The two existing stormwater detention basins will be regraded and reconfigured as infiltration basins to provide water quality and peak flow quantity storage and attenuation of the 1, 10, and 100 year storm events for Drainage Area's DA 1 and DA 2, to less than that of the existing condition.

5.0 ROADS / DRIVEWAYS

5.1 Existing Roads / Driveways

The project site is accessed from two (2) access drives, the Bellew Avenue South drive to the east and Rail Drive drive to the south. The Bellew Avenue South access drive is used by workers and visitors to the office. The asphalt storage yard and shipping area is also accessed thru the Bellew Avenue South drive. The drive connection to Rail Drive is utilized by delivery trucks to access the shipping and receiving area loading docks.

5.2 Proposed Roads / Driveways

The proposed project includes the addition of a new 24' wide driveway to allow access to the western asphalt storage yard expansion and shipping area loading dock from Rail Street. An additional access drive will also be constructed to improve truck access to the receiving area loading docks.

5.3 Traffic and Parking

Per the City of Watertown Zoning Laws (Section 310-47 and 310-48), one (1) parking space is required for every 1,000 SF of floor area for Light Industry uses and five (5) parking spaces are required for every 1,000 SF of floor area for Office Space. The existing Roth Industries facility has approximately 38,500 SF of floor space dedicated to manufacturing and dry storage area and 2,500 SF of floor area dedicated to office space. The proposed addition has an additional 27,500 SF of floor space dedicated to manufacturing and dry storage area. The resulting total floor space area after expansion is 66,000 SF of floor area dedicated to Light Industrial Uses and 2,500 SF of floor area dedicated to office space, equating to 80 required parking spaces (Light Industrial Floor Area = 67 Parking Spaces, Office Space Floor Area = 13 Parking Spaces). The proposed site has an existing parking lot with twenty (20) parking spaces and an approximately 100,000 SF asphalt storage yard. The existing parking lot contains nineteen (19) parking spaces which is more than the required thirteen (13) parking spaces for the office

area. The 67 parking spaces required for the industrial uses within the Roth Industries facility equates to 13,400 SF (67 spaces x 200 SF/parking space) of parking area. The proposed site contains approximately 100,000 SF of asphalt storage/parking area, far exceeding the required 13,400 SF of asphalt parking area for the facilities industrial floor area.

Trip generation calculations were performed utilizing data from the ITE Trip Generation Manual, 7th Edition. The resulting anticipated trips to the existing building and also the building post-construction (includes proposed building addition). The Weekday AM Peak Hour for the existing building generates approximately 13 trips/hour entering and 3 trips/hour exiting while the post-construction building generates approximately 22 trips/hour entering and 5 trips/hour exiting. The Weekday PM Peak Hour for the existing building generates approximately 8 trips/hour entering and 9 trips/hour exiting while the post-construction building generates approximately 13 trips/hour entering and 15 trips/hour exiting. The Saturday Peak Hour for the existing building generates approximately 4 trips/hour entering and 3 trips/hour exiting while the post-construction building generates approximately 6 trips/hour entering and 5 trips/hour exiting. See Appendix D for calculations.

6.0 PRIVATE UTILITIES

6.1 Gas, Electric, Telephone and Cable

Existing gas, electric and communication services are connected to the facility from Bellew Avenue South. No new private utility connections are proposed.

7.0 LIGHTING

7.1 Existing Site Lighting

The existing site lighting is provided by two (2) pole mounted lights located along the northern and eastern edge of the asphalt parking lot, and one (1) pole located north of the existing storage yard. Thirteen (13) building mounted lights located around the existing building. Multiple street lights on existing utility poles are located along Roundhouse Drive and Bellew Avenue South.

7.2 Proposed Site Lighting

Four (4) proposed building mounted LED wall pack cutoff light fixtures will be installed on the proposed building addition.

8.0 LANDSCAPING

8.1 Existing Landscaping

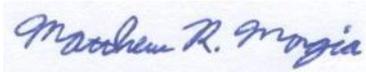
Existing landscape trees and shrubs are located along the eastern frontage between the parking lot/office and the Bellew Avenue South. The asphalt storage area is enclosed by a chain link fence, with screens slats along the northern and eastern sides.

Landscape trees are also located east of the building along Bellew Avenue South, and three (3) maple trees near the Bellew Avenue south and Rail Drive intersection. Two (2) cedar trees are located in the lawn area south of the building

8.2 Proposed Landscaping

No additional landscaping is proposed for this project. Each surrounding property is zoned Light Industry.

Sincerely,
Aubertine and Currier Architects, Engineers & Land Surveyors, P.L.L.C.



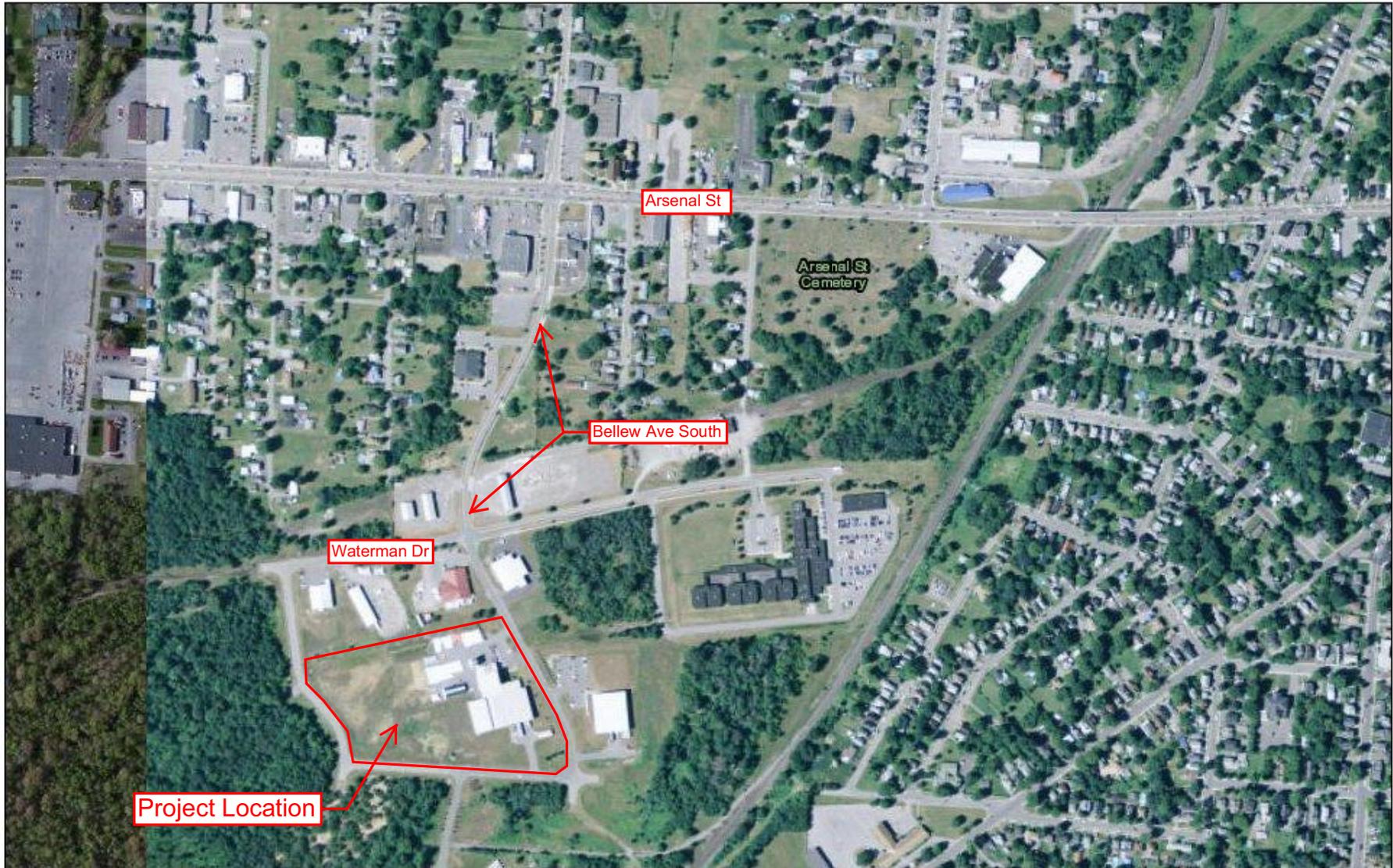
Matthew R. Morgia, P.E.
Civil Engineer

APPENDIX #1

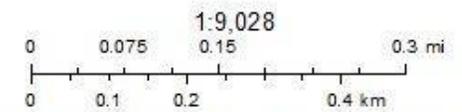
**LOCATION MAP
CITY OF WATERTOWN ZONING MAP
CITY OF WATERTOWN GIS FLOODPLAIN & WETLANDS MAP
SOILS MAP
SOILS DESCRIPTION**

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Roth Industries Location Map



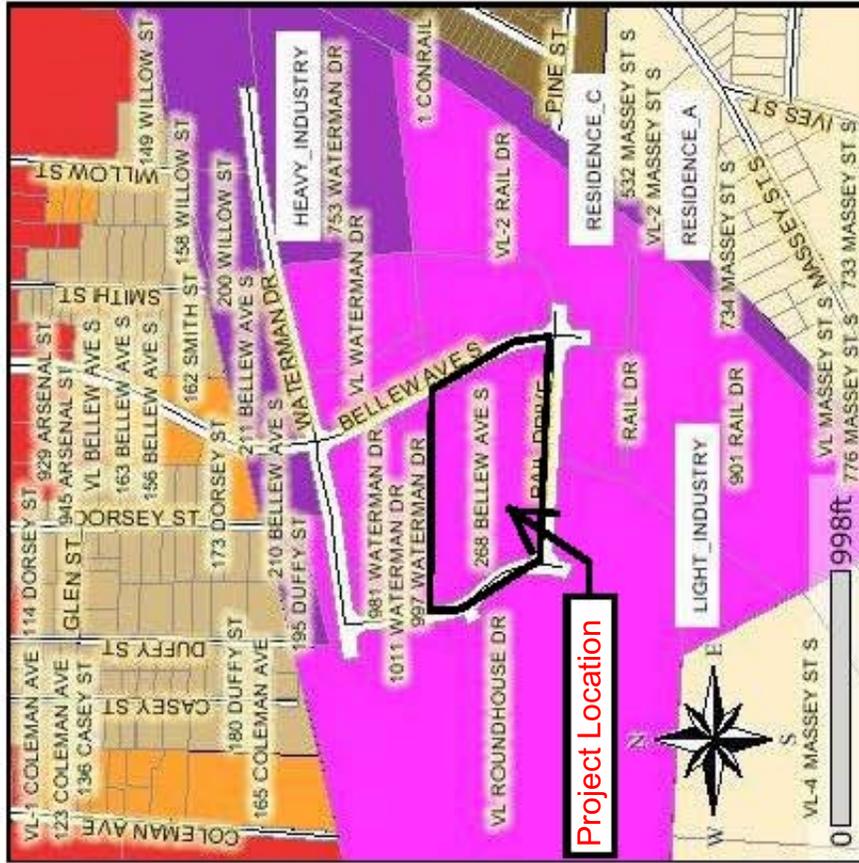
April 13, 2016



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AEX, Getmapping, Aerogrid, IGN, IGP, swisstopo, and the

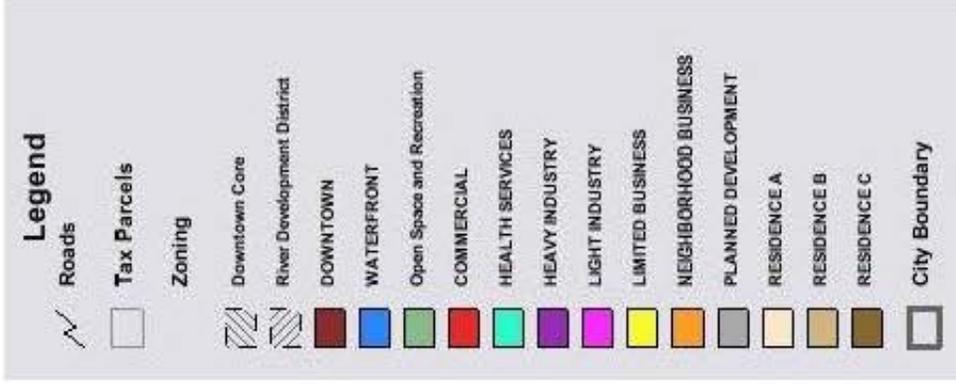
CWT
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Roth Industries Zoning Map

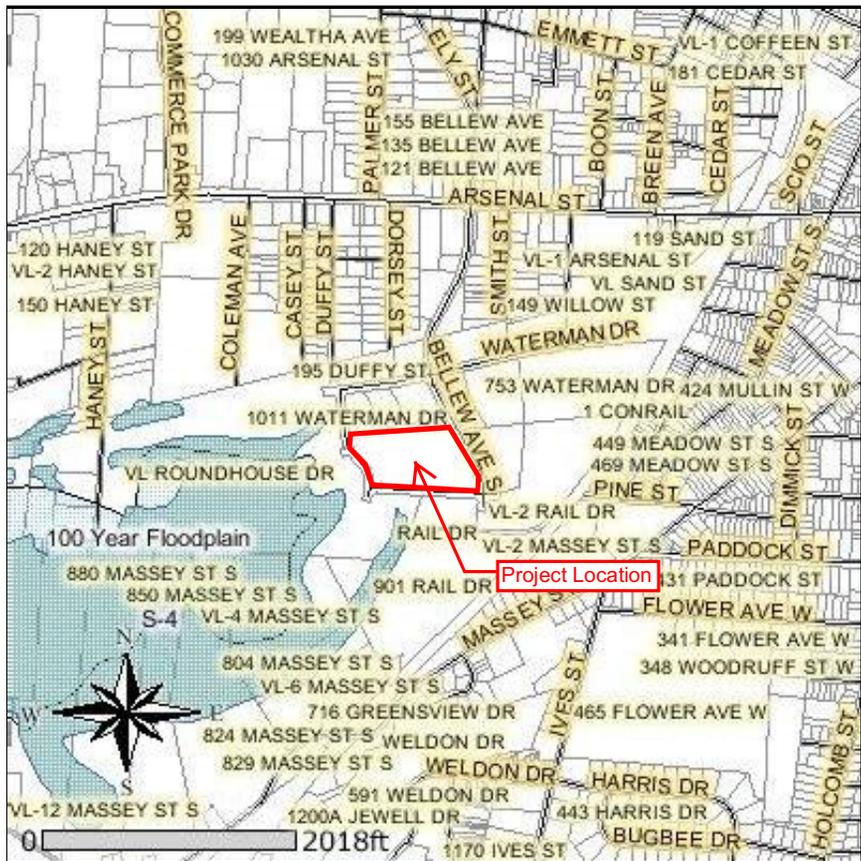


April 13, 2016

Disclaimer: This map was prepared by the City of Waterbury Internet Mapping Application. The information was compiled using the most current data available. It is deemed accurate, but is not guaranteed.



Roth Industries Flood and Wetlands Map



Legend

- Roads
- Wetlands
- Floodplains**
 - 100 Year Floodplain
 - 500 Year Floodplain
- Tax Parcels
- City Boundary

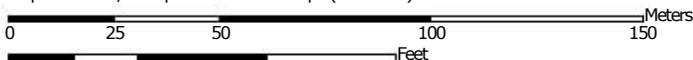
April 13, 2016

Disclaimer: This map was prepared by the City of Watertown Internet Mapping Application. The information was compiled using the most current data available. It is deemed accurate, but is not guaranteed.

Soil Map—Jefferson County, New York
(Roth Industries)



Map Scale: 1:1,780 if printed on A landscape (11" x 8.5") sheet.



Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 18N WGS84



MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

Special Point Features



Blowout



Borrow Pit



Clay Spot



Closed Depression



Gravel Pit



Gravelly Spot



Landfill



Lava Flow



Marsh or swamp



Mine or Quarry



Miscellaneous Water



Perennial Water



Rock Outcrop



Saline Spot



Sandy Spot



Severely Eroded Spot



Sinkhole



Slide or Slip



Sodic Spot



Spoil Area



Stony Spot



Very Stony Spot



Wet Spot



Other



Special Line Features

Water Features



Streams and Canals

Transportation



Rails



Interstate Highways



US Routes



Major Roads



Local Roads

Background



Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:15,800.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
Web Soil Survey URL: <http://websoilsurvey.nrcs.usda.gov>
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Jefferson County, New York
Survey Area Data: Version 12, Sep 21, 2015

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: May 11, 2011—Jul 2, 2011

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Jefferson County, New York (NY045)			
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
CnB	Collamer silt loam, 3 to 8 percent slopes	0.4	3.5%
PoB	Plainfield sand, 0 to 8 percent slopes	3.8	36.4%
Sc	Scarboro mucky loamy fine sand	1.3	12.8%
Ub	Udorthents, smoothed	4.9	47.3%
Totals for Area of Interest		10.3	100.0%

APPENDIX #2

SANITARY SEWER DESIGN CALCULATIONS

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CALCULATION SHEET

Project Number: 2016-033 Date: _____
Project Name: Roth Industries Page: _____ Of: _____
Location: 268 Bellem Ave South Calc'd By: LWT

Sanitary Sewer Design Calculations

- Per DEC 2014 Design Standards for Intermediate Sized Wastewater Treatment Systems
- Use: Factory/Warehouse Distribution \rightarrow Flow Rate = 15 GPD/Employee
- Roth Industries will have 15 Employees once the Building Addition is complete
- Design Flow: $Q = 15 \text{ GPD/Employee} \times 15 \text{ Employees} = 225 \text{ GPD}$

largest daily (24-hour) measured volume during the same period expressed in volume-per-unit time is an acceptable method for determining the maximum day flow rate. The analysis should account for operational variations (e.g. peak seasonal, weekends, special events, delivery period, etc.) and exclude extraneous data. There should be a reasonable explanation for the operational variations and any extraneous data excluded.

Method 3: Water Usage Data

A minimum of one year of data collected during similar operational conditions may be required by the Reviewing Engineer. If sufficient measured water usage data is not available, Method 3 should not be used. The average of the daily (24-hour) flow over the duration of the data collection period is an acceptable method for determining the average daily flow rate. The largest daily (24-hour) measured volume during the same period expressed in volume per unit time is an acceptable method for determining the maximum day flow rate. The analysis should account for operational variations (e.g. peak seasonal, weekends, special events, delivery period, etc.) and exclude extraneous data. There should be a reasonable explanation for operational variations and any extraneous data excluded.

For each of these methods, the peak hourly flow rate (largest hourly volume expressed in volume per unit time) should also be identified. When variation in the wastewater flow rate is expected to be substantial, it is necessary to examine the significant delivery period of the wastewater and base the system design upon this information to prevent an excessive rate of flow through wastewater collection and treatment systems. Flow equalization prior to treatment units should be considered to avoid hydraulic overloading of treatment units during peak loading periods (peak hourly flow and maximum daily flow).

Table B-3 Typical Per-Unit Hydraulic Loading Rates

Residential

<i>Type of Use</i>	<i>Unit</i>	<i>Gallons per Day</i>
Apartment	Per Bedroom	110/130/150 ¹⁶
Mobile Home Park	“Single-Wide” Home	220
	“Double-Wide” Home	330

¹⁶ 110 gpd for post 1994 plumbing code fixtures; 130 gpd for pre 1994 fixtures; and 150 gpd for pre 1980 fixtures. Homes over 1,000 gpd, community systems, or lodging establishments with high flow fixtures must account for any higher peak flow periods.

Single Family Residence	Per Bedroom	110 / 130/ 150 ¹⁷
-------------------------	-------------	------------------------------

Campgrounds

Type of Use	Unit	Gallons per Day
Day Camp	Per Person	15
	Add for Shower	5
	Add for Lunch	5
Campground	Per Unsewered Site ¹⁸	55(includes showers)
	Per Sewered Site – with water hookups	100
	Per Sewered Site – without water hookups	55
Campground Day Use	Per Person	5
Dumping Station ¹⁹	Per Unsewered Site	10
	Per Sewered Site	5

Type of Use	Unit	Gallons per Day
Assisted Living Facility/Complex	Per Bed ^{20,21} -- add 10 gpd for in room kitchen	110/130/1 50
Group Home (residential-style building)	Per Bed ²⁰ - add 150 gpd per house for garbage grinder	110/130/150
Nursing Home (hospital care)	Per Bed ^{20,21}	175

¹⁷ For individual household systems under 1,000 gpd, use design flows in the NYSDOH's *Wastewater Treatment Standards Residential Onsite Systems - Appendix 75- A*.

¹⁸ Additional wastewater flow due to food service or laundry shall be accounted for. Structures available for overnight occupancy other than those meeting the definition of a camping unit shall be based on 150 gpd / unit for design flow purposes, pursuant to NYSDOH – *Chapter 1 State Sanitary Code Subpart 7-3 Campgrounds*.

¹⁹ The addition of flow for dump station sewage may be prorated by using an estimated percentage of sites suited for RV use based on historical data. No reduction for low flow fixture usage should be applied here.

²⁰ Add 15 gpd per employee

²¹ Add for Food Service (e.g. 24-hour restaurant; refer to Food Service Operations Table)

Hospital	Per Bed ^{20,21}	175
	Per Outpatient	30
Church	Per Seat ²⁰	3
Church Hall/Fire Hall	Per Seat ²¹	10
Library/ Museum	Per Patron ^{20,21}	5
Public Park	Per Person (toilet only)	5
Prison / Jail	Per Inmate ^{20,21}	150
School – Day	Per Student	10
- or -	Elem./ Jr. High / Sr. High	7 / 9 / 12
- and -	Add for meals / showers	5 / 5
School Boarding	Per Student ^{20,21}	75

Commercial

<i>Type of Use</i>	<i>Unit</i>	<i>Gallons per Day</i>
Airport/Bus/Rail Terminal	Per Passenger ²²	5
	Per Toilet	400
Barber Shop / Beauty Salon	Per Station without and with hair care	50/
	sink	200
Bowling Alley	Per Lane ^{22,23}	75
Bed & Breakfast	Per Room (see note under Residential)	110/130/150
Casino	Per Employee/shift plus	15
	Per Sq. Ft. for non-lodging customer use	0.3
Country Clubs & Golf Courses	Per Round of Golf ^{21,22}	20
	(add for bar, banquet, shower or pool facilities and golf tournaments)	
Concert Hall / Arena / Assembly Hall / Theater / Stadium / Skating Rink	Per Seat ^{21,22}	5

²² Add 15 gpd per employee/shift

²³ Add for Food Service (e.g. 24 hour restaurant; refer to Food Service Operations Table)

Day Care	Per Child ²¹	20
Doctors Office	Per Doctor	250
Dog / Pet Grooming	Per Station	500
Also see Kennel and Veterinary Office below.		
Dentist	Per Chair ²⁴	250
Drive-In Theater	Per Car Space ²⁵	5
Factory / Distribution Warehouse	Per Employee/shift;	15
	add for showers	10
Fairgrounds	Per Visitor ²⁵	5
Health Club	Per Patron	20
Highway Rest Area	Per Traveler ²⁵	5
	Per Dump Station Vehicle	7
Hotel	Per Sleeping Unit ²⁵ add for banquet hall, night club, pool/spa, theatre, etc.	110/130/150
Kennel	Per Kennel/Run/Cage	50
Laundromat	Per Machine	580
Marina	Per Slip ²⁵ with shore side restroom facilities including shower;	20
	add per slip for dump station	7
Migrant Worker Housing	Per Person	50
Motel	Per Sleeping Unit;	110/130/150
	add for in-room kitchen;	10
	add for in-room jacuzzi/spa	20
Office Building	Per Employee ²⁵ ;	15
	add for showers	5
Service station/Convenience store	Per Toilet ²⁵	400

²⁴ Dental offices must recycle mercury amalgam instead of washing it down the drain. NYSDEC's website has guidance referencing the 2002 law.

²⁵ Add for Food Service (e.g. 24-hour restaurant; refer to Food Service Operations Table)

Shopping Center / Grocery Store / Department Store	Per Sq. Ft. ^{25,26} , add for deli, bakery, butcher	0.1
Swimming Pool / Bath House	Per Swimmer	10
Veterinary Office	Per Veterinarian	200

Food Service Operations²⁷

<i>Type of Use</i>	<i>Unit</i>	<i>Gallons per Day</i>
Ordinary Restaurant	Per Seat	35
24-Hour Restaurant	Per Seat (for cafeterias: pro rate flow in proportion to the hours)	50
Fast Food Restaurant	Per Seat	25
	Per Drive-Up Window	500
Lounge, Bar	Per Seat	20
Drive-In	Per Car Space	50
Banquet Hall	Per Seat	10
Restaurant along Freeway	Per Seat	75

B.6.c Infiltration, Inflow, Non-Sanitary and Prohibited Flows

Cooling water, roof drains, footing, sump and basement floor drains should not be discharged to the treatment system. Clean water from ice machines, water cooled refrigerators or coolers should also be excluded. Undetected leaks from plumbing fixtures, typically toilets and faucets, can waste significant amounts of water and subsequently increase the volume of wastewater to be treated. Simple repairs and routine operation and maintenance of plumbing fixtures can save water and increase the efficiency of wastewater treatment system.

Similarly, leaking sewer joints, pipe tank seals, tank riser seals, cracks in treatment tanks and manhole

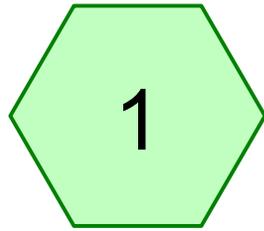
²⁶ Add 15 gpd per employee/shift

²⁷ Garbage grinder use should be evaluated in the design phase of the project and accounted for in tank sizing per Section D.6 Septic Tanks.

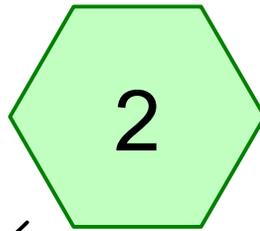
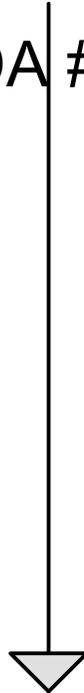
APPENDIX #3

HYDROLOGIC AND HYDRAULIC ANALYSIS

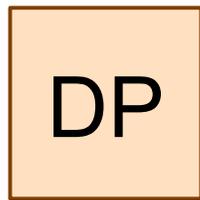
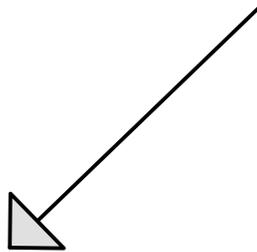
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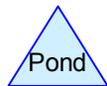
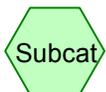
DA #1



DA #2



Design Point



2016-033 Existing

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Page 2

Area Listing (all nodes)

Area (acres)	CN	Description (subcatchment-numbers)
5.960	30	Meadow, non-grazed, HSG A (1, 2)
0.270	71	Meadow, non-grazed, HSG C (2)
2.630	98	Paved parking, HSG A (1, 2)
8.860	51	TOTAL AREA

2016-033 Existing

Prepared by Microsoft

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Page 3

Soil Listing (all nodes)

Area (acres)	Soil Group	Subcatchment Numbers
8.590	HSG A	1, 2
0.000	HSG B	
0.270	HSG C	2
0.000	HSG D	
0.000	Other	
8.860		TOTAL AREA

2016-033 Existing

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Page 4

Ground Covers (all nodes)

HSG-A (acres)	HSG-B (acres)	HSG-C (acres)	HSG-D (acres)	Other (acres)	Total (acres)	Ground Cover	Subcatchment Numbers
5.960	0.000	0.270	0.000	0.000	6.230	Meadow, non-grazed	1, 2
2.630	0.000	0.000	0.000	0.000	2.630	Paved parking	1, 2
8.590	0.000	0.270	0.000	0.000	8.860	TOTAL AREA	

2016-033 Existing

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NRCC 24-hr A 1-yr Rainfall=2.00"

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Page 5

Time span=0.10-20.00 hrs, dt=0.05 hrs, 399 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1: DA #1

Runoff Area=6.690 ac 35.43% Impervious Runoff Depth>0.00"
Flow Length=450' Tc=36.3 min CN=54 Runoff=0.01 cfs 0.003 af

Subcatchment 2: DA #2

Runoff Area=2.170 ac 11.98% Impervious Runoff Depth=0.00"
Flow Length=238' Tc=42.7 min CN=43 Runoff=0.00 cfs 0.000 af

Reach DP: Design Point

Inflow=0.01 cfs 0.003 af
Outflow=0.01 cfs 0.003 af

Total Runoff Area = 8.860 ac Runoff Volume = 0.003 af Average Runoff Depth = 0.00"
70.32% Pervious = 6.230 ac 29.68% Impervious = 2.630 ac

Summary for Subcatchment 1: DA #1

[73] Warning: Peak may fall outside time span

Runoff = 0.01 cfs @ 20.00 hrs, Volume= 0.003 af, Depth> 0.00"

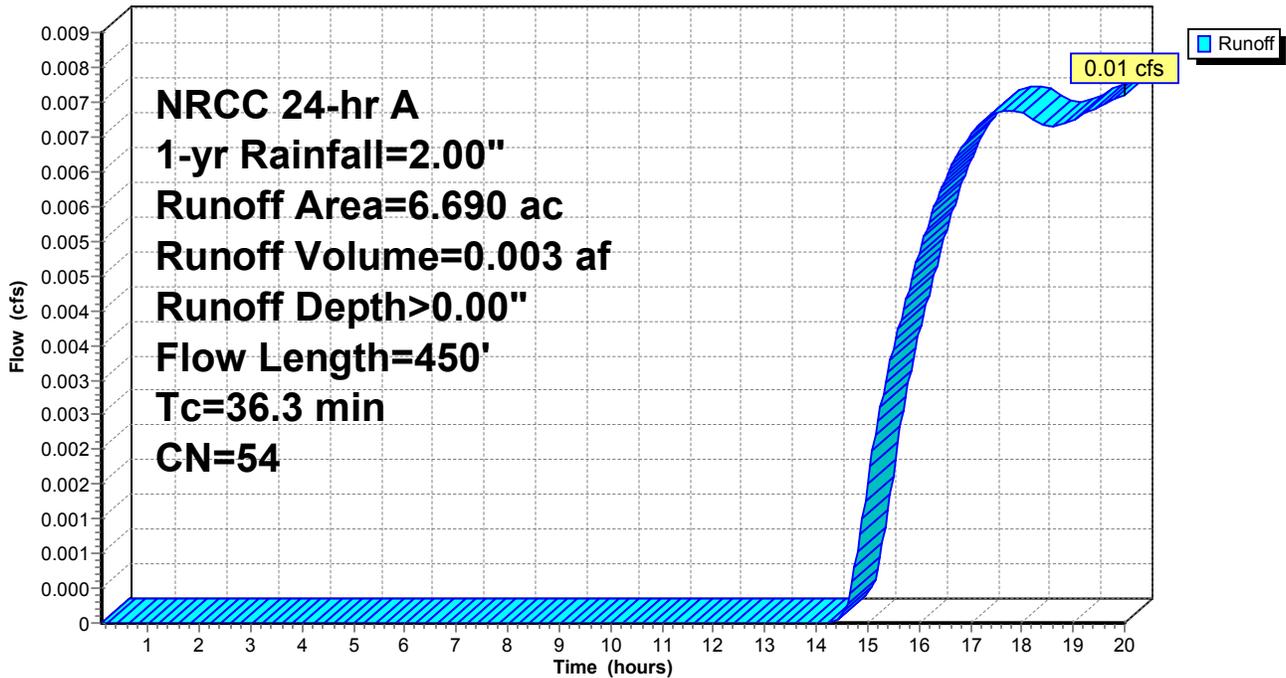
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.10-20.00 hrs, dt= 0.05 hrs
NRCC 24-hr A 1-yr Rainfall=2.00"

Area (ac)	CN	Description
4.320	30	Meadow, non-grazed, HSG A
2.370	98	Paved parking, HSG A
6.690	54	Weighted Average
4.320		64.57% Pervious Area
2.370		35.43% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
28.8	100	0.0150	0.06		Sheet Flow, Lawn Grass: Bermuda n= 0.410 P2= 2.33"
7.5	350	0.0125	0.78		Shallow Concentrated Flow, Lawn Short Grass Pasture Kv= 7.0 fps
36.3	450	Total			

Subcatchment 1: DA #1

Hydrograph



Summary for Subcatchment 2: DA #2

[45] Hint: Runoff=Zero

Runoff = 0.00 cfs @ 0.10 hrs, Volume= 0.000 af, Depth= 0.00"

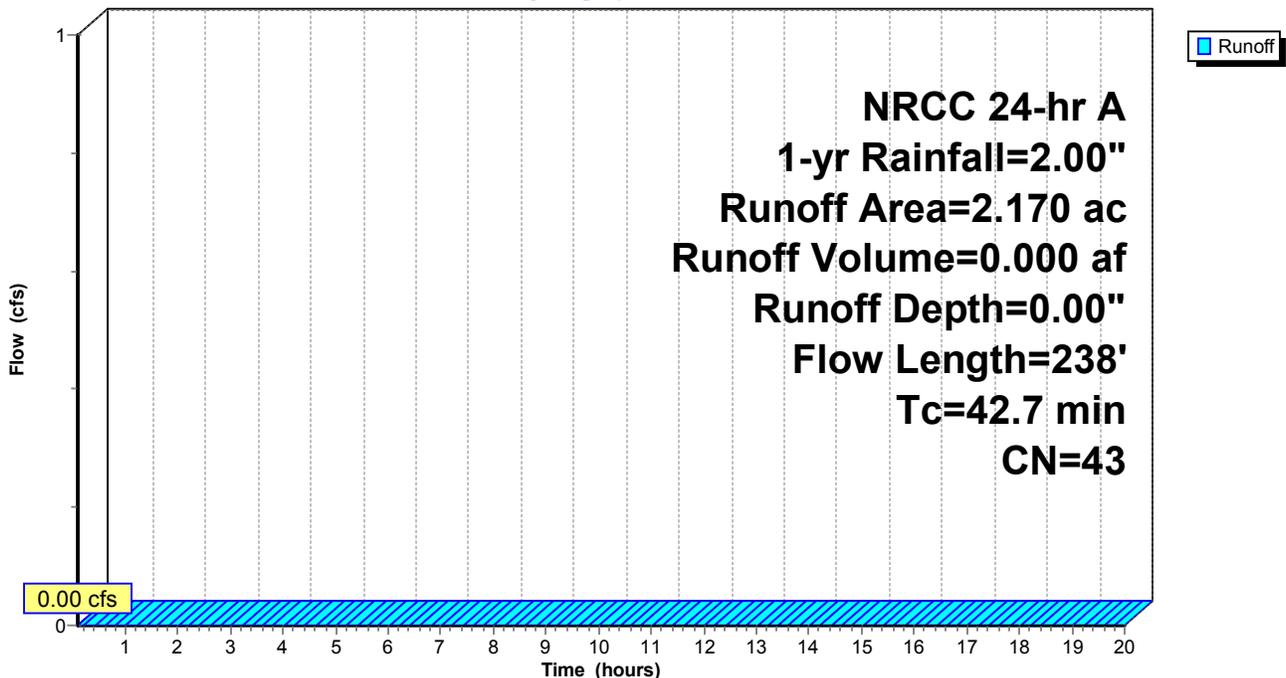
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.10-20.00 hrs, dt= 0.05 hrs
NRCC 24-hr A 1-yr Rainfall=2.00"

Area (ac)	CN	Description
1.640	30	Meadow, non-grazed, HSG A
0.260	98	Paved parking, HSG A
0.270	71	Meadow, non-grazed, HSG C
2.170	43	Weighted Average
1.910		88.02% Pervious Area
0.260		11.98% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
40.2	100	0.0065	0.04		Sheet Flow, Lawn Grass: Bermuda n= 0.410 P2= 2.33"
2.5	138	0.0170	0.91		Shallow Concentrated Flow, Lawn Short Grass Pasture Kv= 7.0 fps
42.7	238	Total			

Subcatchment 2: DA #2

Hydrograph



Summary for Reach DP: Design Point

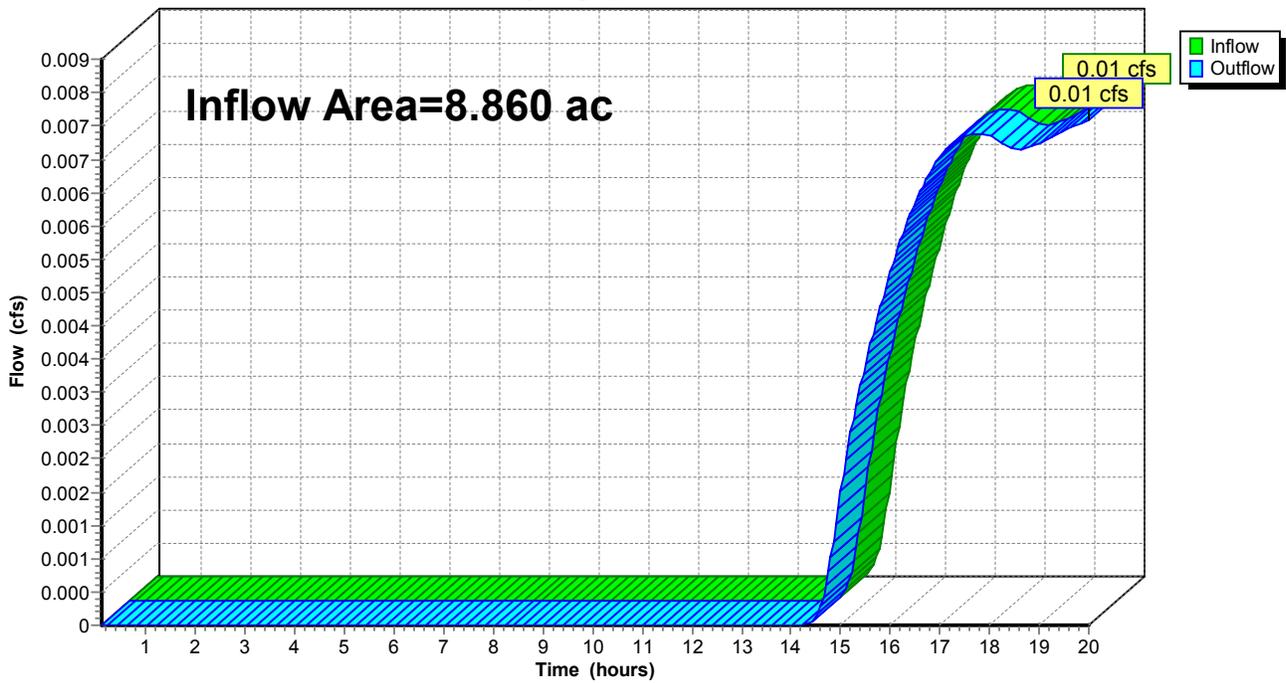
[40] Hint: Not Described (Outflow=Inflow)

Inflow Area = 8.860 ac, 29.68% Impervious, Inflow Depth > 0.00" for 1-yr event
Inflow = 0.01 cfs @ 20.00 hrs, Volume= 0.003 af
Outflow = 0.01 cfs @ 20.00 hrs, Volume= 0.003 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 0.10-20.00 hrs, dt= 0.05 hrs

Reach DP: Design Point

Hydrograph



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NRCC 24-hr A 10-yr Rainfall=3.33"

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Time span=0.10-20.00 hrs, dt=0.05 hrs, 399 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1: DA #1

Runoff Area=6.690 ac 35.43% Impervious Runoff Depth>0.22"
Flow Length=450' Tc=36.3 min CN=54 Runoff=0.61 cfs 0.121 af

Subcatchment 2: DA #2

Runoff Area=2.170 ac 11.98% Impervious Runoff Depth>0.02"
Flow Length=238' Tc=42.7 min CN=43 Runoff=0.01 cfs 0.004 af

Reach DP: Design Point

Inflow=0.61 cfs 0.125 af
Outflow=0.61 cfs 0.125 af

Total Runoff Area = 8.860 ac Runoff Volume = 0.125 af Average Runoff Depth = 0.17"
70.32% Pervious = 6.230 ac 29.68% Impervious = 2.630 ac

Summary for Subcatchment 1: DA #1

Runoff = 0.61 cfs @ 12.79 hrs, Volume= 0.121 af, Depth> 0.22"

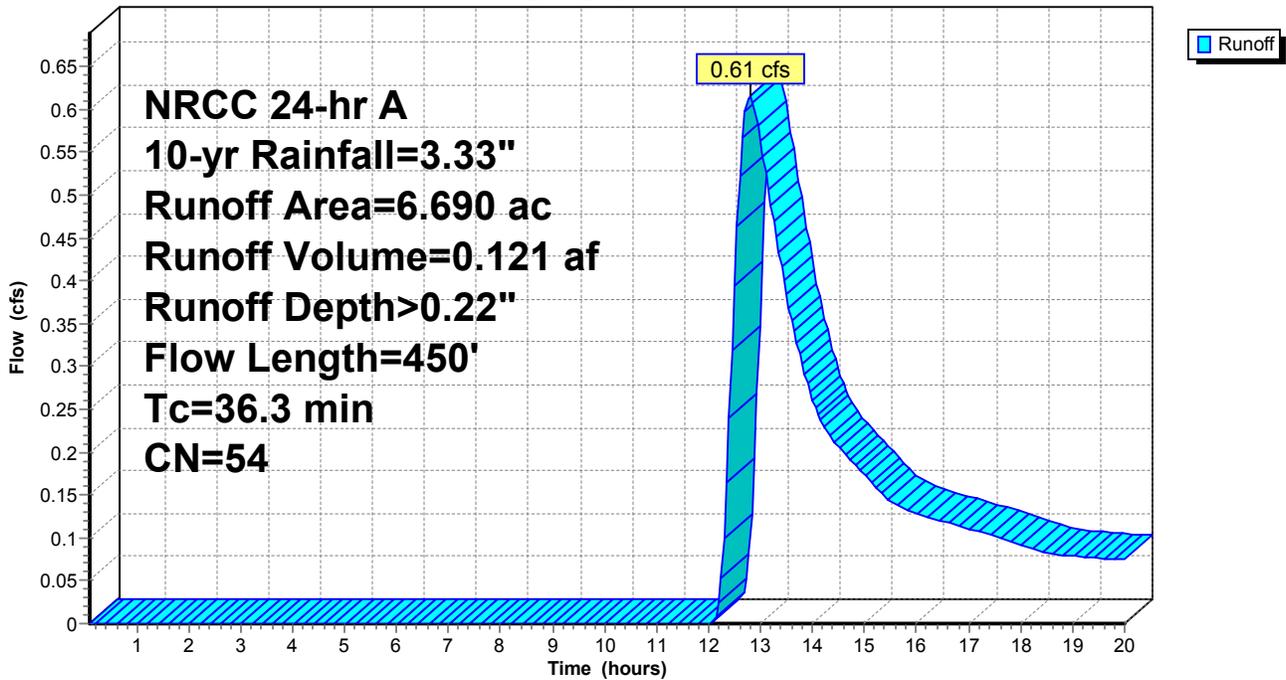
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.10-20.00 hrs, dt= 0.05 hrs
NRCC 24-hr A 10-yr Rainfall=3.33"

Area (ac)	CN	Description
4.320	30	Meadow, non-grazed, HSG A
2.370	98	Paved parking, HSG A
6.690	54	Weighted Average
4.320		64.57% Pervious Area
2.370		35.43% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
28.8	100	0.0150	0.06		Sheet Flow, Lawn Grass: Bermuda n= 0.410 P2= 2.33"
7.5	350	0.0125	0.78		Shallow Concentrated Flow, Lawn Short Grass Pasture Kv= 7.0 fps
36.3	450	Total			

Subcatchment 1: DA #1

Hydrograph



Summary for Subcatchment 2: DA #2

Runoff = 0.01 cfs @ 16.76 hrs, Volume= 0.004 af, Depth> 0.02"

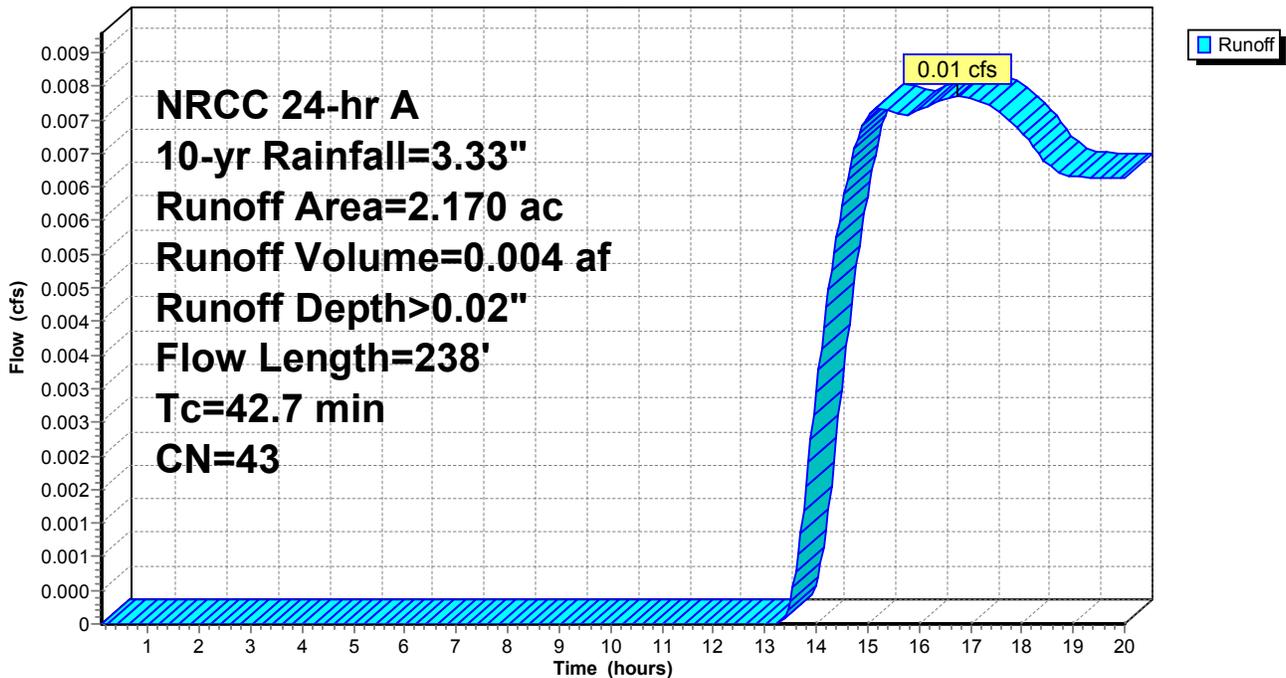
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.10-20.00 hrs, dt= 0.05 hrs
NRCC 24-hr A 10-yr Rainfall=3.33"

Area (ac)	CN	Description
1.640	30	Meadow, non-grazed, HSG A
0.260	98	Paved parking, HSG A
0.270	71	Meadow, non-grazed, HSG C
2.170	43	Weighted Average
1.910		88.02% Pervious Area
0.260		11.98% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
40.2	100	0.0065	0.04		Sheet Flow, Lawn Grass: Bermuda n= 0.410 P2= 2.33"
2.5	138	0.0170	0.91		Shallow Concentrated Flow, Lawn Short Grass Pasture Kv= 7.0 fps
42.7	238	Total			

Subcatchment 2: DA #2

Hydrograph



Summary for Reach DP: Design Point

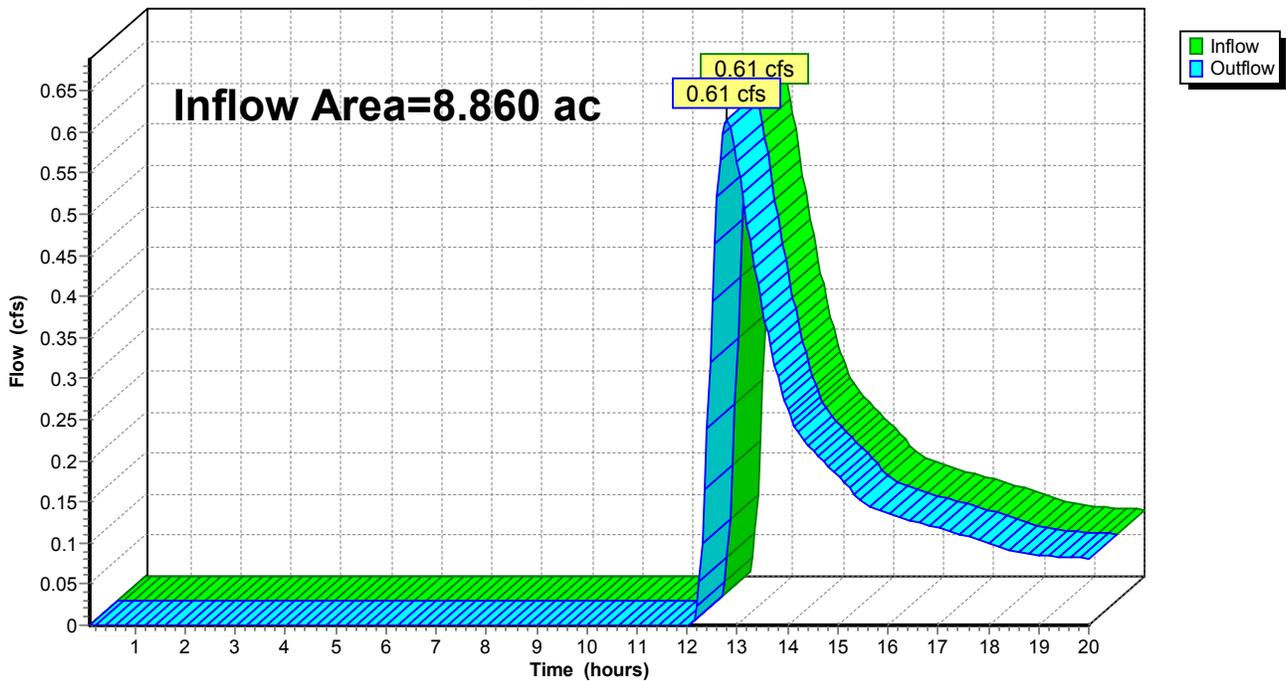
[40] Hint: Not Described (Outflow=Inflow)

Inflow Area = 8.860 ac, 29.68% Impervious, Inflow Depth > 0.17" for 10-yr event
Inflow = 0.61 cfs @ 12.79 hrs, Volume= 0.125 af
Outflow = 0.61 cfs @ 12.79 hrs, Volume= 0.125 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 0.10-20.00 hrs, dt= 0.05 hrs

Reach DP: Design Point

Hydrograph



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NRCC 24-hr A 100-yr Rainfall=5.54"

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Time span=0.10-20.00 hrs, dt=0.05 hrs, 399 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1: DA #1

Runoff Area=6.690 ac 35.43% Impervious Runoff Depth>1.06"
Flow Length=450' Tc=36.3 min CN=54 Runoff=4.79 cfs 0.592 af

Subcatchment 2: DA #2

Runoff Area=2.170 ac 11.98% Impervious Runoff Depth>0.44"
Flow Length=238' Tc=42.7 min CN=43 Runoff=0.42 cfs 0.079 af

Reach DP: Design Point

Inflow=5.10 cfs 0.671 af
Outflow=5.10 cfs 0.671 af

Total Runoff Area = 8.860 ac Runoff Volume = 0.671 af Average Runoff Depth = 0.91"
70.32% Pervious = 6.230 ac 29.68% Impervious = 2.630 ac

Summary for Subcatchment 1: DA #1

Runoff = 4.79 cfs @ 12.58 hrs, Volume= 0.592 af, Depth> 1.06"

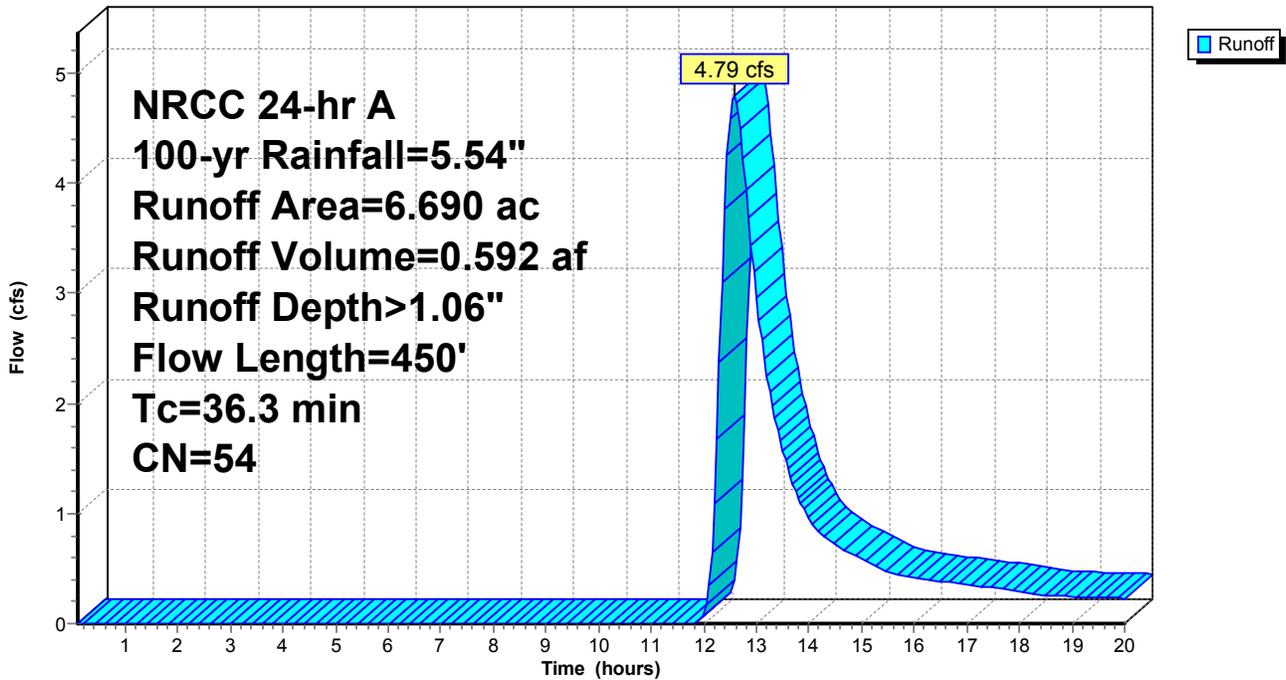
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.10-20.00 hrs, dt= 0.05 hrs
 NRCC 24-hr A 100-yr Rainfall=5.54"

Area (ac)	CN	Description
4.320	30	Meadow, non-grazed, HSG A
2.370	98	Paved parking, HSG A
6.690	54	Weighted Average
4.320		64.57% Pervious Area
2.370		35.43% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
28.8	100	0.0150	0.06		Sheet Flow, Lawn Grass: Bermuda n= 0.410 P2= 2.33"
7.5	350	0.0125	0.78		Shallow Concentrated Flow, Lawn Short Grass Pasture Kv= 7.0 fps
36.3	450	Total			

Subcatchment 1: DA #1

Hydrograph



Summary for Subcatchment 2: DA #2

Runoff = 0.42 cfs @ 12.84 hrs, Volume= 0.079 af, Depth> 0.44"

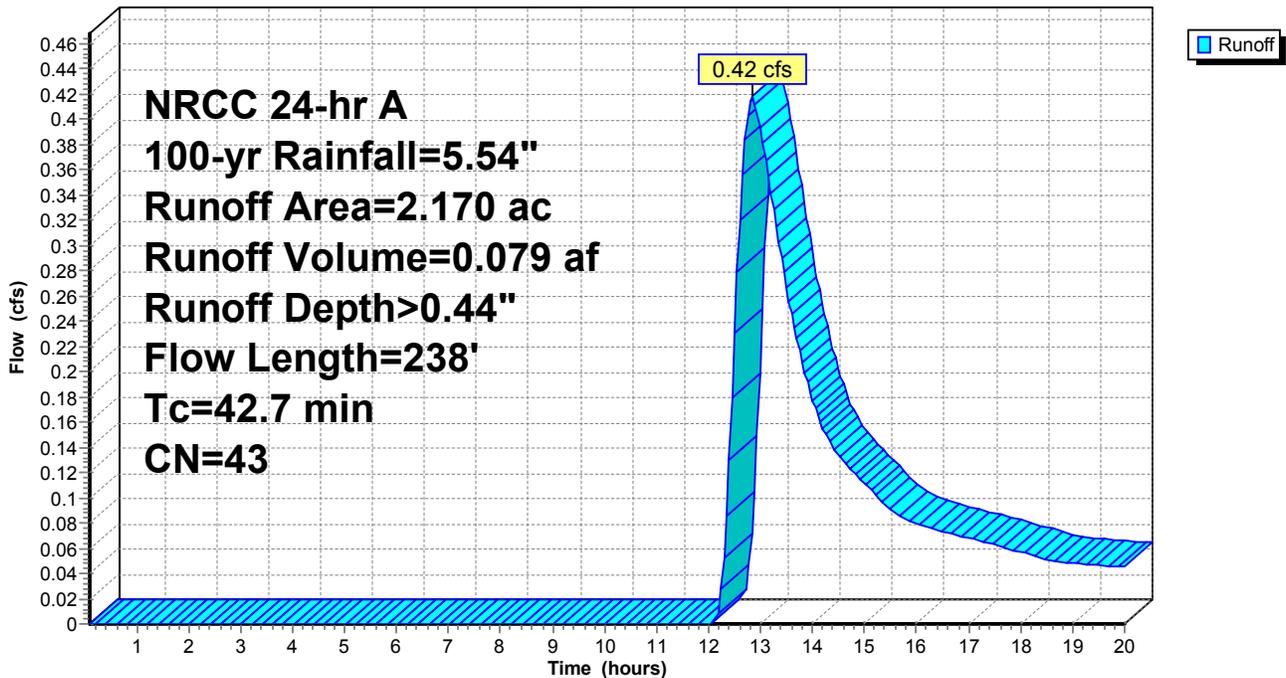
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.10-20.00 hrs, dt= 0.05 hrs
NRCC 24-hr A 100-yr Rainfall=5.54"

Area (ac)	CN	Description
1.640	30	Meadow, non-grazed, HSG A
0.260	98	Paved parking, HSG A
0.270	71	Meadow, non-grazed, HSG C
2.170	43	Weighted Average
1.910		88.02% Pervious Area
0.260		11.98% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
40.2	100	0.0065	0.04		Sheet Flow, Lawn Grass: Bermuda n= 0.410 P2= 2.33"
2.5	138	0.0170	0.91		Shallow Concentrated Flow, Lawn Short Grass Pasture Kv= 7.0 fps
42.7	238	Total			

Subcatchment 2: DA #2

Hydrograph



Summary for Reach DP: Design Point

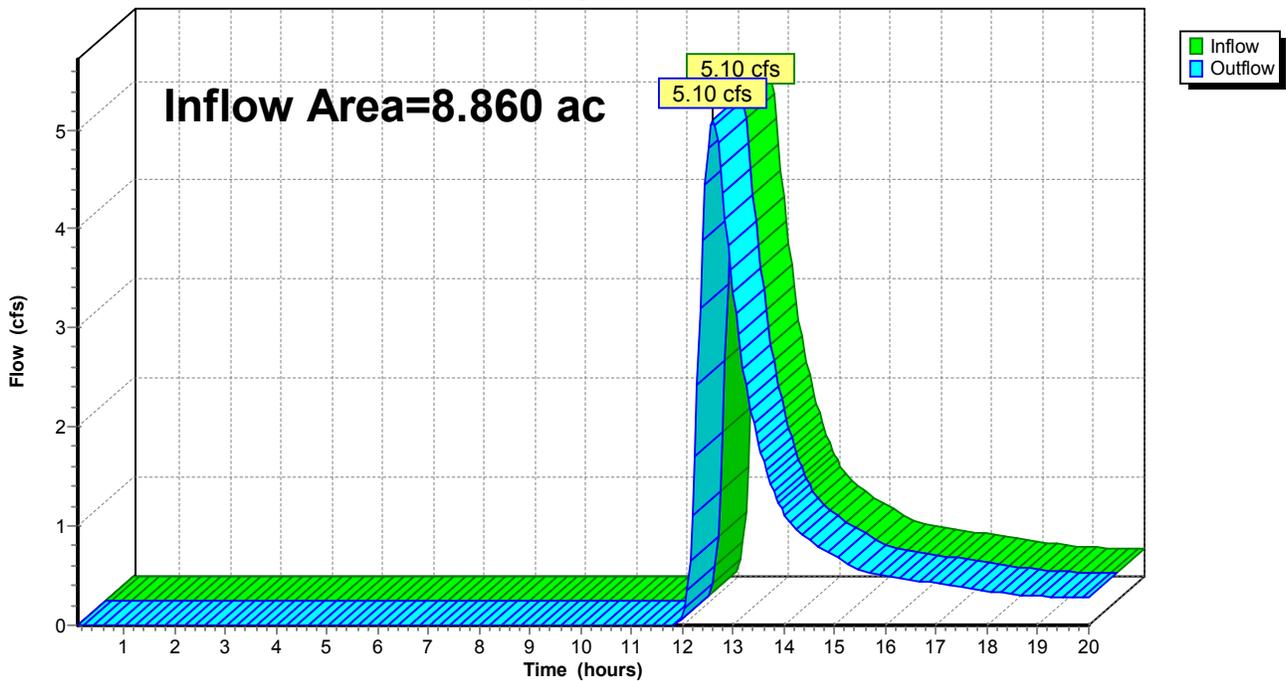
[40] Hint: Not Described (Outflow=Inflow)

Inflow Area = 8.860 ac, 29.68% Impervious, Inflow Depth > 0.91" for 100-yr event
Inflow = 5.10 cfs @ 12.60 hrs, Volume= 0.671 af
Outflow = 5.10 cfs @ 12.60 hrs, Volume= 0.671 af, Atten= 0%, Lag= 0.0 min

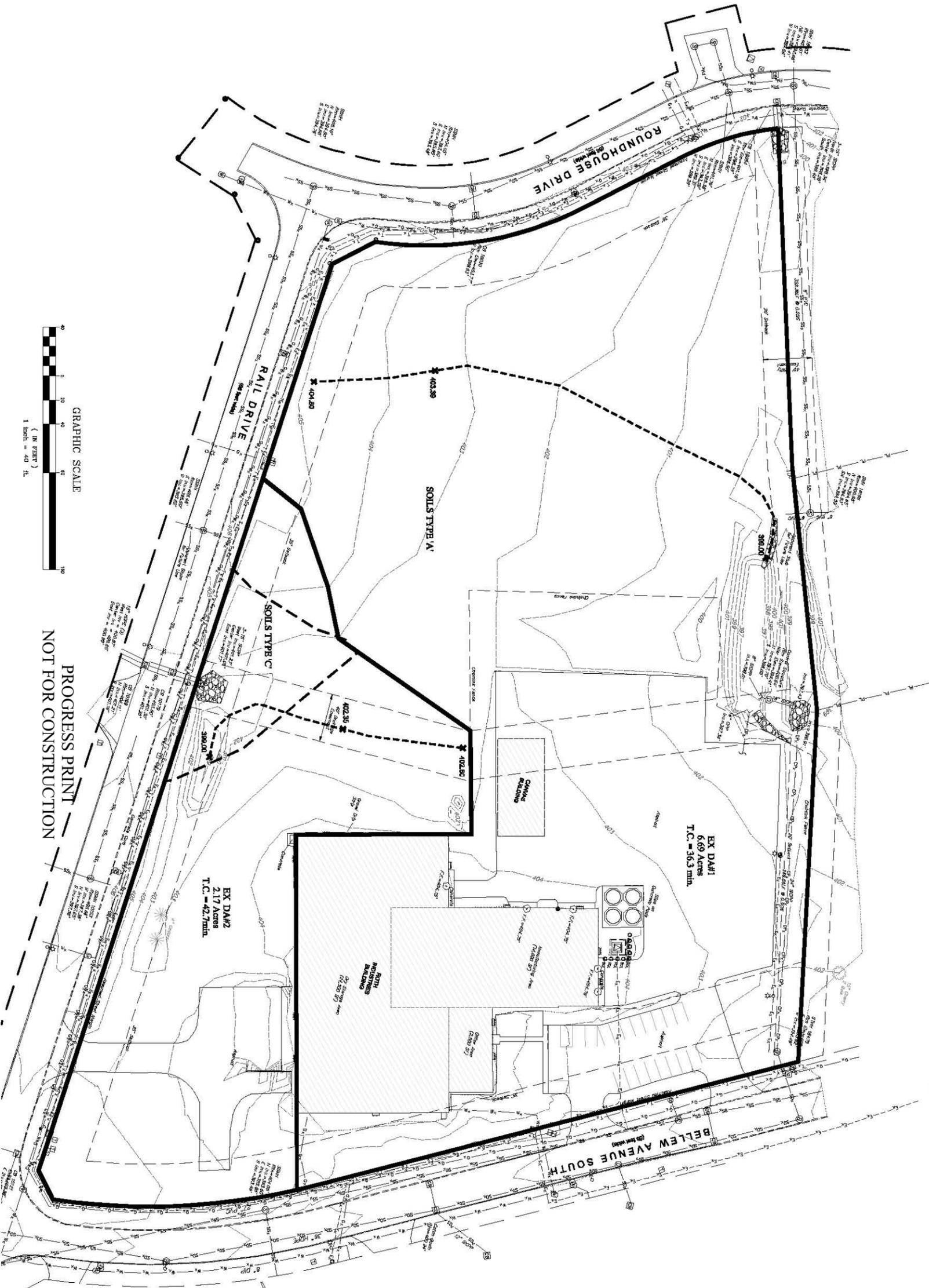
Routing by Stor-Ind+Trans method, Time Span= 0.10-20.00 hrs, dt= 0.05 hrs

Reach DP: Design Point

Hydrograph



LEGEND	
EXISTING	PROPOSED
PROPERTY LINE	PROPERTY LINE
RIGHT OF WAY	RIGHT OF WAY
SEWER	SEWER
WATER	WATER
ASPHALT PAVEMENT	ASPHALT PAVEMENT
CONCRETE	CONCRETE
EDGE OF GRAVEL	EDGE OF GRAVEL
FENCE	FENCE
WATER LINE	WATER LINE
SEWER	SEWER
OVERHEAD UTILITIES	OVERHEAD UTILITIES
UNDERGROUND UTILITIES	UNDERGROUND UTILITIES
PIPE MANHOLE	PIPE MANHOLE
WATER VALVE	WATER VALVE
SEWER MANHOLE	SEWER MANHOLE
CONCRETE	CONCRETE
UTILITY POLE AND GUY	UTILITY POLE AND GUY
IDENT POLE	IDENT POLE



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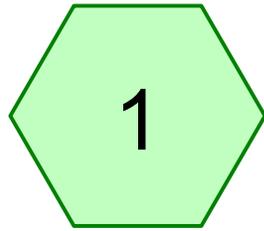
ADDITION FOR ROTH INDUSTRIES AND ROTH GLOBAL PLASTICS

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WATERTOWN, NEW YORK 13601
JEFFERSON COUNTY

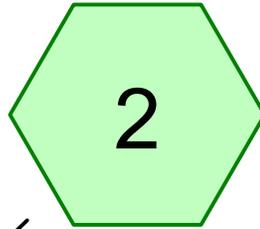
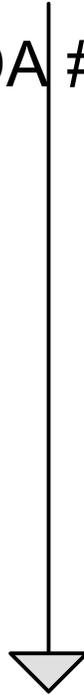
PROJECT NO.	200403
SCALE	AS SHOWN
DATE	08/11/11
DESIGNED BY	MM
CHECKED BY	MM
DATE	08/11/11

EXISTING DRAINAGE AREA MAP
EX-1

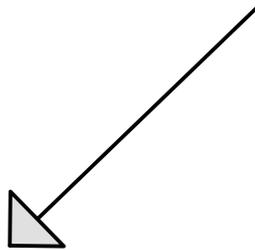
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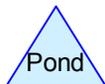
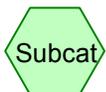
DA #1



DA #2



Design Point



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Area Listing (all nodes)

Area (acres)	CN	Description (subcatchment-numbers)
4.120	30	Meadow, non-grazed, HSG A (1, 2)
0.250	71	Meadow, non-grazed, HSG C (2)
4.470	98	Paved parking, HSG A (1, 2)
0.020	98	Paved parking, HSG C (2)
8.860	66	TOTAL AREA

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Soil Listing (all nodes)

Area (acres)	Soil Group	Subcatchment Numbers
8.590	HSG A	1, 2
0.000	HSG B	
0.270	HSG C	2
0.000	HSG D	
0.000	Other	
8.860		TOTAL AREA

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Ground Covers (all nodes)

HSG-A (acres)	HSG-B (acres)	HSG-C (acres)	HSG-D (acres)	Other (acres)	Total (acres)	Ground Cover	Subcatchment Numbers
4.120	0.000	0.250	0.000	0.000	4.370	Meadow, non-grazed	1, 2
4.470	0.000	0.020	0.000	0.000	4.490	Paved parking	1, 2
8.590	0.000	0.270	0.000	0.000	8.860	TOTAL AREA	

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Pipe Listing (all nodes)

Line#	Node Number	In-Invert (feet)	Out-Invert (feet)	Length (feet)	Slope (ft/ft)	n	Diam/Width (inches)	Height (inches)	Inside-Fill (inches)
1	2	0.00	0.00	57.0	0.0183	0.010	6.0	0.0	0.0

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NRCC 24-hr A 1-yr Rainfall=2.00"

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Time span=0.10-20.00 hrs, dt=0.05 hrs, 399 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1: DA #1

Runoff Area=6.700 ac 59.70% Impervious Runoff Depth>0.23"
Flow Length=474' Tc=37.0 min CN=71 Runoff=0.86 cfs 0.129 af

Subcatchment 2: DA #2

Runoff Area=2.160 ac 22.69% Impervious Runoff Depth=0.00"
Flow Length=157' Tc=27.6 min CN=50 Runoff=0.00 cfs 0.000 af

Reach DP: Design Point

Inflow=0.86 cfs 0.129 af
Outflow=0.86 cfs 0.129 af

Total Runoff Area = 8.860 ac Runoff Volume = 0.129 af Average Runoff Depth = 0.17"
49.32% Pervious = 4.370 ac 50.68% Impervious = 4.490 ac

Summary for Subcatchment 1: DA #1

Runoff = 0.86 cfs @ 12.67 hrs, Volume= 0.129 af, Depth> 0.23"

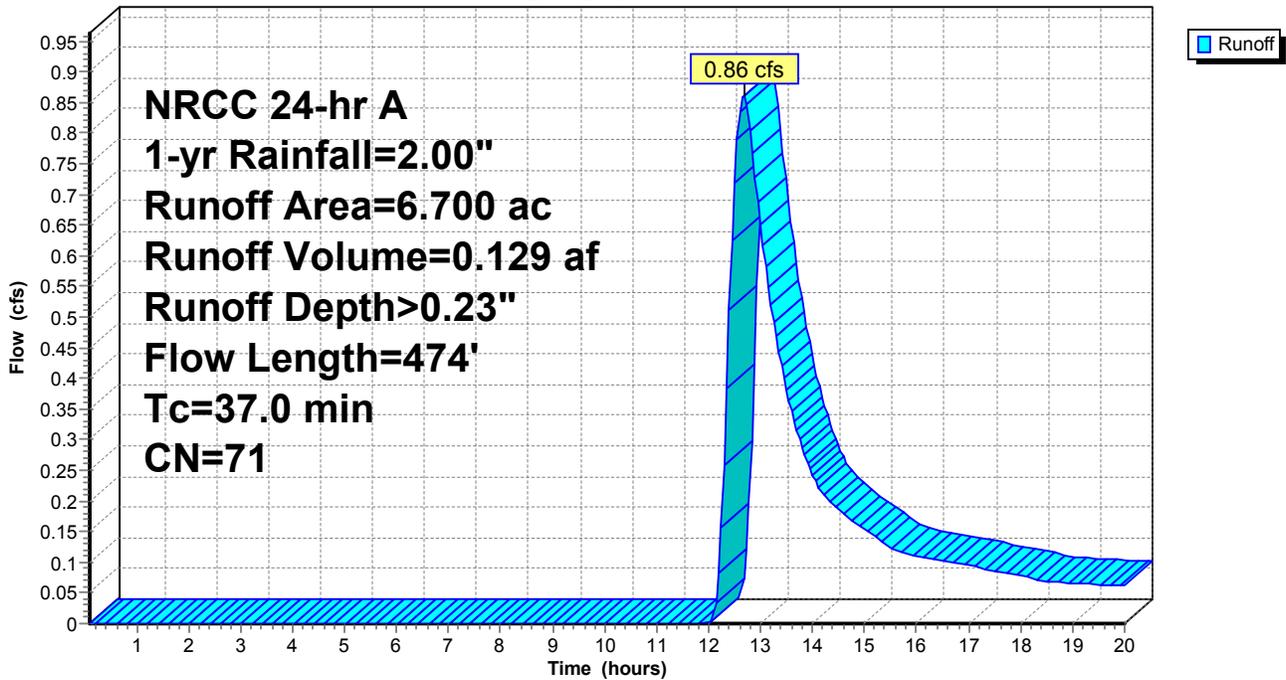
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.10-20.00 hrs, dt= 0.05 hrs
NRCC 24-hr A 1-yr Rainfall=2.00"

Area (ac)	CN	Description
2.700	30	Meadow, non-grazed, HSG A
4.000	98	Paved parking, HSG A
6.700	71	Weighted Average
2.700		40.30% Pervious Area
4.000		59.70% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
28.8	100	0.0150	0.06		Sheet Flow, Lawn Grass: Bermuda n= 0.410 P2= 2.33"
8.2	374	0.0117	0.76		Shallow Concentrated Flow, Lawn Short Grass Pasture Kv= 7.0 fps
37.0	474	Total			

Subcatchment 1: DA #1

Hydrograph



Summary for Subcatchment 2: DA #2

[45] Hint: Runoff=Zero

Runoff = 0.00 cfs @ 0.10 hrs, Volume= 0.000 af, Depth= 0.00"

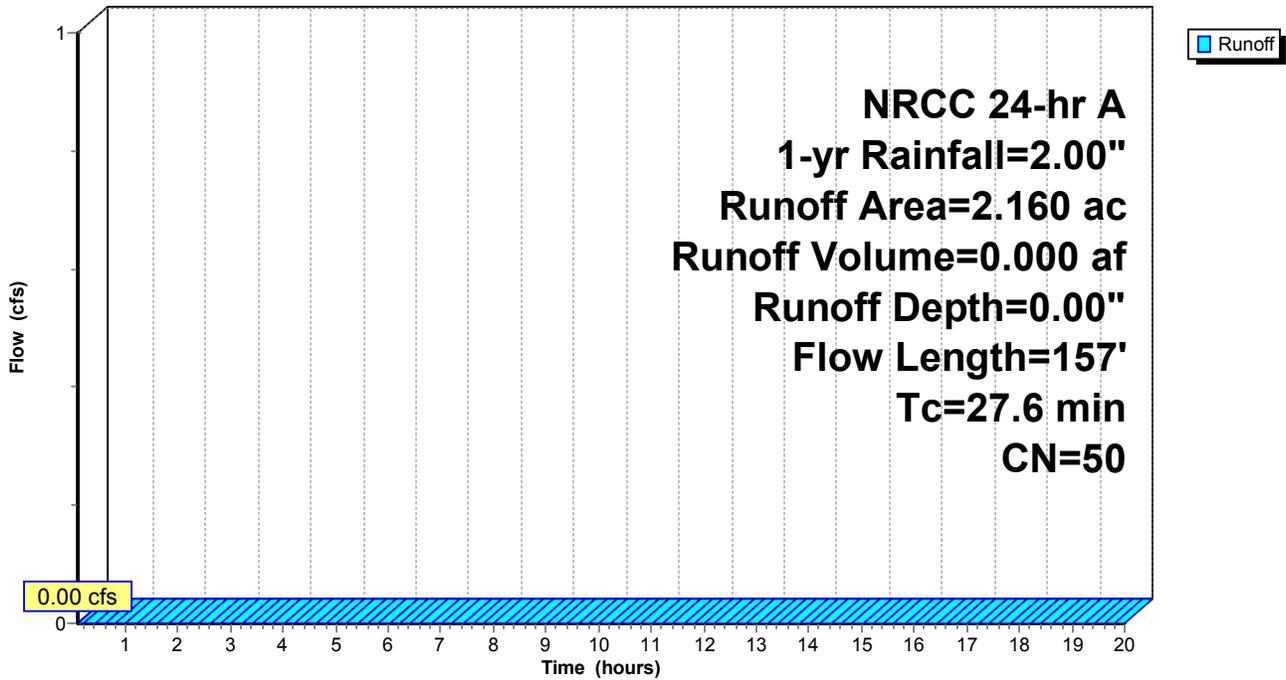
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.10-20.00 hrs, dt= 0.05 hrs
NRCC 24-hr A 1-yr Rainfall=2.00"

Area (ac)	CN	Description
1.420	30	Meadow, non-grazed, HSG A
0.470	98	Paved parking, HSG A
0.250	71	Meadow, non-grazed, HSG C
0.020	98	Paved parking, HSG C
2.160	50	Weighted Average
1.670		77.31% Pervious Area
0.490		22.69% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
26.9	75	0.0100	0.05		Sheet Flow, Lawn Grass: Bermuda n= 0.410 P2= 2.33"
0.5	25	0.0150	0.79		Sheet Flow, Lawn to Trench Drain Smooth surfaces n= 0.011 P2= 2.33"
0.2	57	0.0183	5.03	0.99	Pipe Channel, Storm Sewer 6.0" Round Area= 0.2 sf Perim= 1.6' r= 0.13' n= 0.010 PVC, smooth interior
27.6	157	Total			

Subcatchment 2: DA #2

Hydrograph



Summary for Reach DP: Design Point

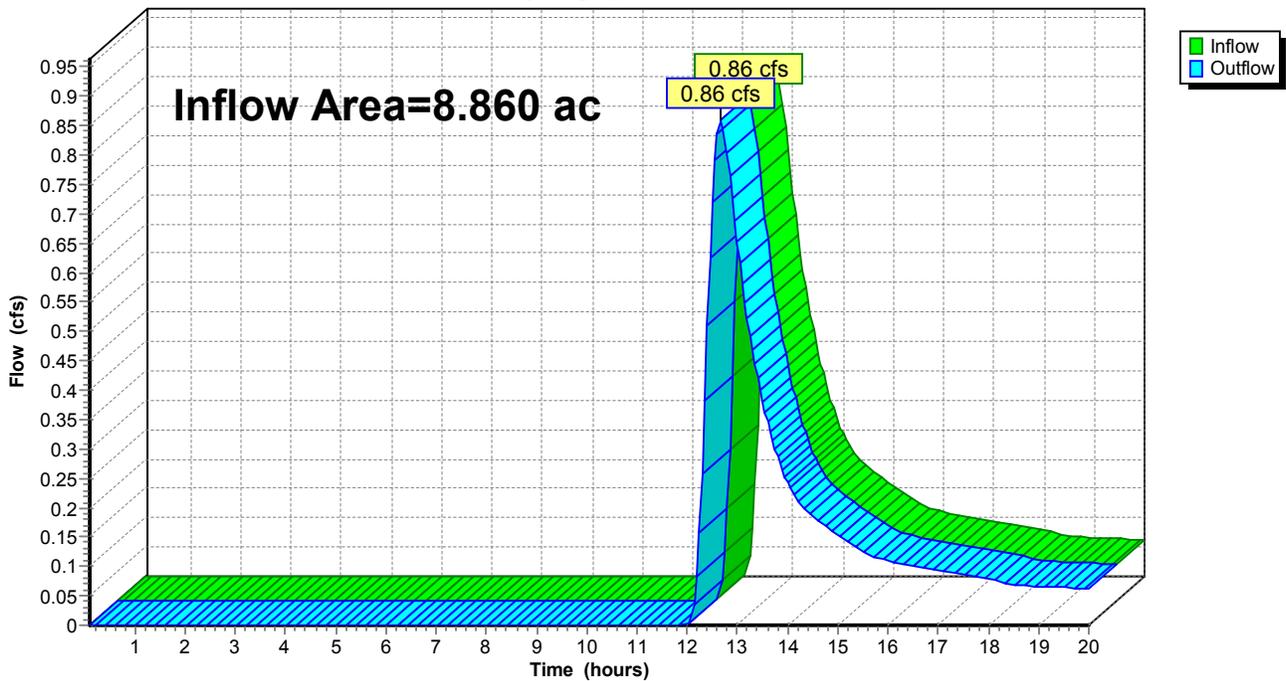
[40] Hint: Not Described (Outflow=Inflow)

Inflow Area = 8.860 ac, 50.68% Impervious, Inflow Depth > 0.17" for 1-yr event
Inflow = 0.86 cfs @ 12.67 hrs, Volume= 0.129 af
Outflow = 0.86 cfs @ 12.67 hrs, Volume= 0.129 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 0.10-20.00 hrs, dt= 0.05 hrs

Reach DP: Design Point

Hydrograph



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NRCC 24-hr A 10-yr Rainfall=3.33"

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Time span=0.10-20.00 hrs, dt=0.05 hrs, 399 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1: DA #1

Runoff Area=6.700 ac 59.70% Impervious Runoff Depth>0.87"
Flow Length=474' Tc=37.0 min CN=71 Runoff=4.17 cfs 0.483 af

Subcatchment 2: DA #2

Runoff Area=2.160 ac 22.69% Impervious Runoff Depth>0.13"
Flow Length=157' Tc=27.6 min CN=50 Runoff=0.09 cfs 0.023 af

Reach DP: Design Point

Inflow=4.23 cfs 0.506 af
Outflow=4.23 cfs 0.506 af

Total Runoff Area = 8.860 ac Runoff Volume = 0.506 af Average Runoff Depth = 0.68"
49.32% Pervious = 4.370 ac 50.68% Impervious = 4.490 ac

Summary for Subcatchment 1: DA #1

Runoff = 4.17 cfs @ 12.57 hrs, Volume= 0.483 af, Depth> 0.87"

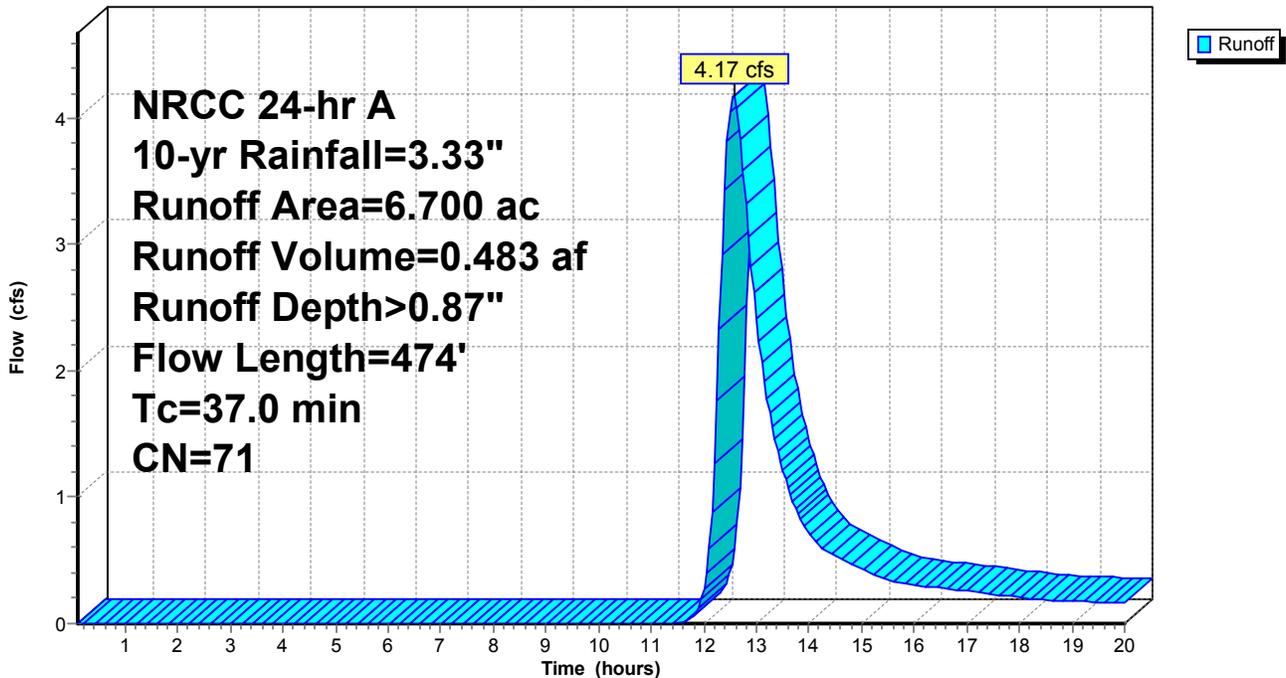
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.10-20.00 hrs, dt= 0.05 hrs
 NRCC 24-hr A 10-yr Rainfall=3.33"

Area (ac)	CN	Description
2.700	30	Meadow, non-grazed, HSG A
4.000	98	Paved parking, HSG A
6.700	71	Weighted Average
2.700		40.30% Pervious Area
4.000		59.70% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
28.8	100	0.0150	0.06		Sheet Flow, Lawn Grass: Bermuda n= 0.410 P2= 2.33"
8.2	374	0.0117	0.76		Shallow Concentrated Flow, Lawn Short Grass Pasture Kv= 7.0 fps
37.0	474	Total			

Subcatchment 1: DA #1

Hydrograph



Summary for Subcatchment 2: DA #2

Runoff = 0.09 cfs @ 12.85 hrs, Volume= 0.023 af, Depth> 0.13"

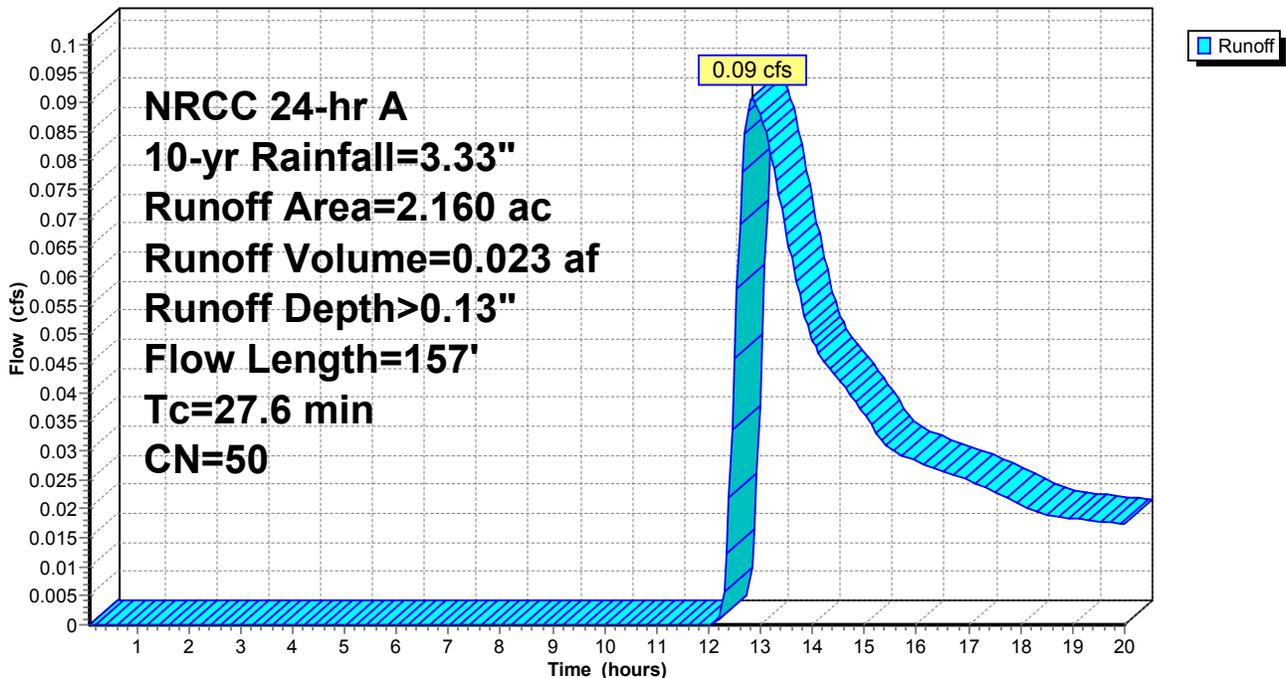
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.10-20.00 hrs, dt= 0.05 hrs
NRCC 24-hr A 10-yr Rainfall=3.33"

Area (ac)	CN	Description
1.420	30	Meadow, non-grazed, HSG A
0.470	98	Paved parking, HSG A
0.250	71	Meadow, non-grazed, HSG C
0.020	98	Paved parking, HSG C
2.160	50	Weighted Average
1.670		77.31% Pervious Area
0.490		22.69% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
26.9	75	0.0100	0.05		Sheet Flow, Lawn Grass: Bermuda n= 0.410 P2= 2.33"
0.5	25	0.0150	0.79		Sheet Flow, Lawn to Trench Drain Smooth surfaces n= 0.011 P2= 2.33"
0.2	57	0.0183	5.03	0.99	Pipe Channel, Storm Sewer 6.0" Round Area= 0.2 sf Perim= 1.6' r= 0.13' n= 0.010 PVC, smooth interior
27.6	157	Total			

Subcatchment 2: DA #2

Hydrograph



Summary for Reach DP: Design Point

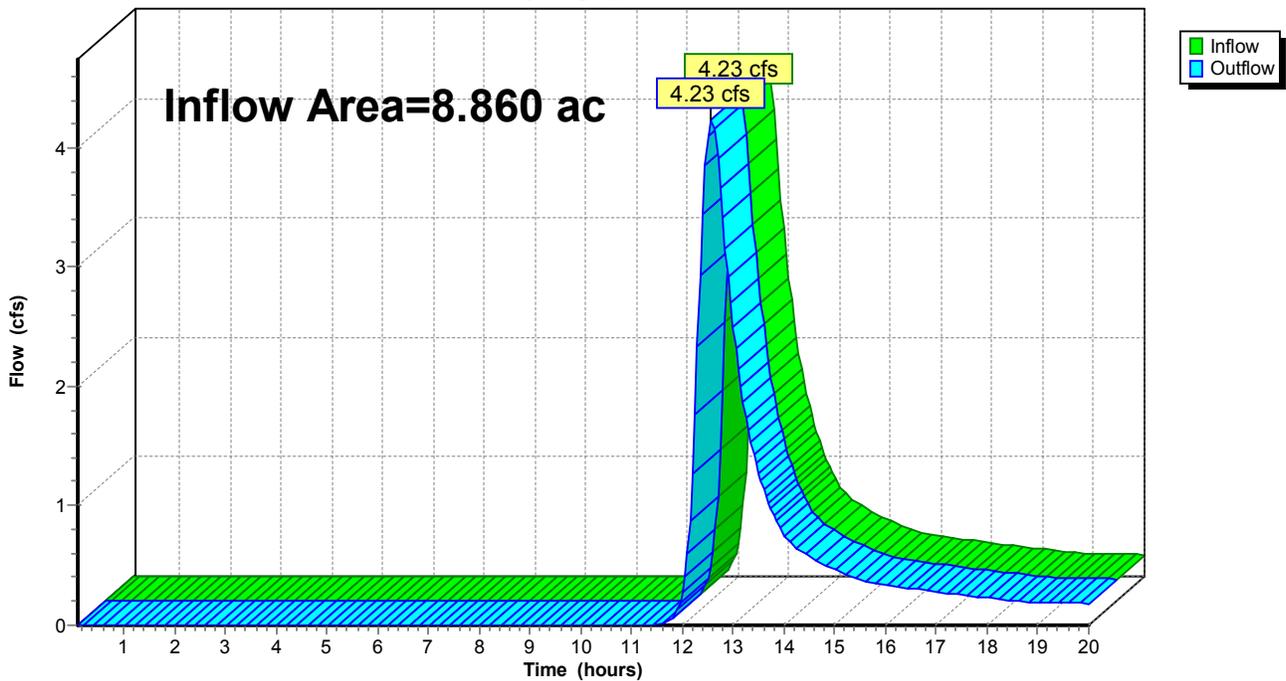
[40] Hint: Not Described (Outflow=Inflow)

Inflow Area = 8.860 ac, 50.68% Impervious, Inflow Depth > 0.68" for 10-yr event
Inflow = 4.23 cfs @ 12.57 hrs, Volume= 0.506 af
Outflow = 4.23 cfs @ 12.57 hrs, Volume= 0.506 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 0.10-20.00 hrs, dt= 0.05 hrs

Reach DP: Design Point

Hydrograph



2016-033 Proposed

Prepared by Microsoft

HydroCAD® 10.00-14 s/n 03261 © 2015 HydroCAD Software Solutions LLC

NRCC 24-hr A 100-yr Rainfall=5.54"

Printed 4/18/2016

Page 15

Time span=0.10-20.00 hrs, dt=0.05 hrs, 399 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1: DA #1

Runoff Area=6.700 ac 59.70% Impervious Runoff Depth>2.34"
Flow Length=474' Tc=37.0 min CN=71 Runoff=11.87 cfs 1.305 af

Subcatchment 2: DA #2

Runoff Area=2.160 ac 22.69% Impervious Runoff Depth>0.82"
Flow Length=157' Tc=27.6 min CN=50 Runoff=1.26 cfs 0.147 af

Reach DP: Design Point

Inflow=13.10 cfs 1.452 af
Outflow=13.10 cfs 1.452 af

Total Runoff Area = 8.860 ac Runoff Volume = 1.452 af Average Runoff Depth = 1.97"
49.32% Pervious = 4.370 ac 50.68% Impervious = 4.490 ac

Summary for Subcatchment 1: DA #1

Runoff = 11.87 cfs @ 12.53 hrs, Volume= 1.305 af, Depth> 2.34"

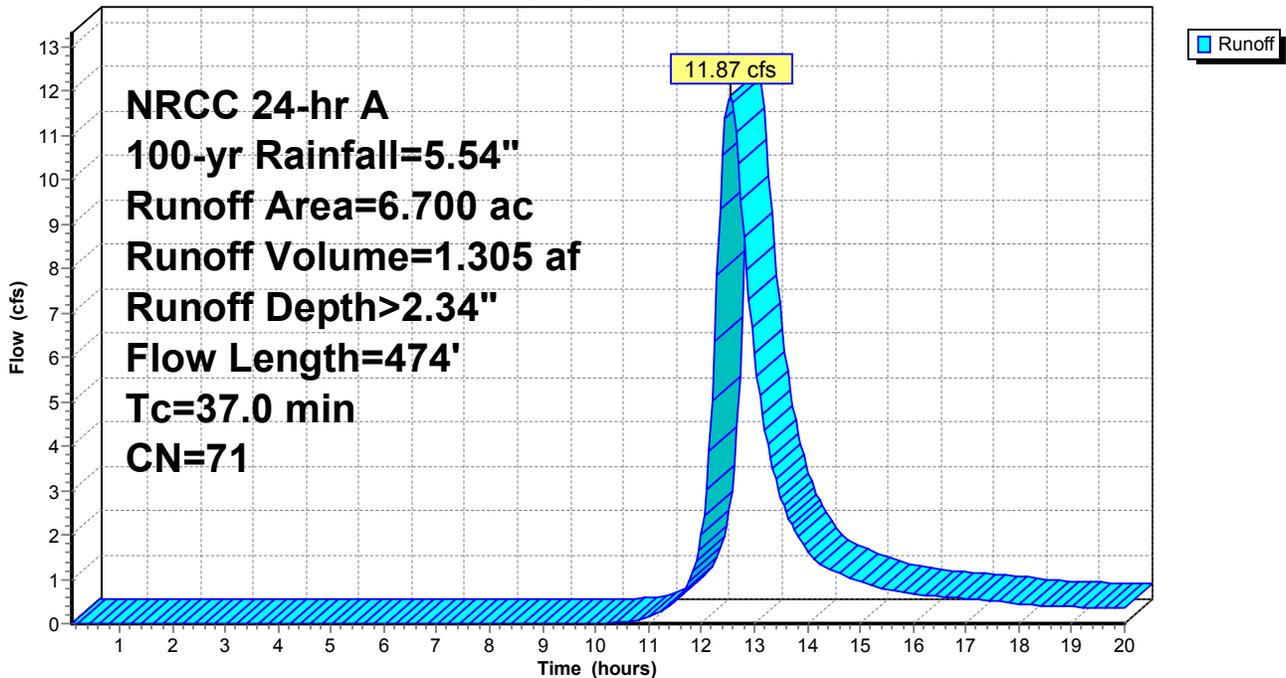
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.10-20.00 hrs, dt= 0.05 hrs
 NRCC 24-hr A 100-yr Rainfall=5.54"

Area (ac)	CN	Description
2.700	30	Meadow, non-grazed, HSG A
4.000	98	Paved parking, HSG A
6.700	71	Weighted Average
2.700		40.30% Pervious Area
4.000		59.70% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
28.8	100	0.0150	0.06		Sheet Flow, Lawn Grass: Bermuda n= 0.410 P2= 2.33"
8.2	374	0.0117	0.76		Shallow Concentrated Flow, Lawn Short Grass Pasture Kv= 7.0 fps
37.0	474	Total			

Subcatchment 1: DA #1

Hydrograph



Summary for Subcatchment 2: DA #2

Runoff = 1.26 cfs @ 12.48 hrs, Volume= 0.147 af, Depth> 0.82"

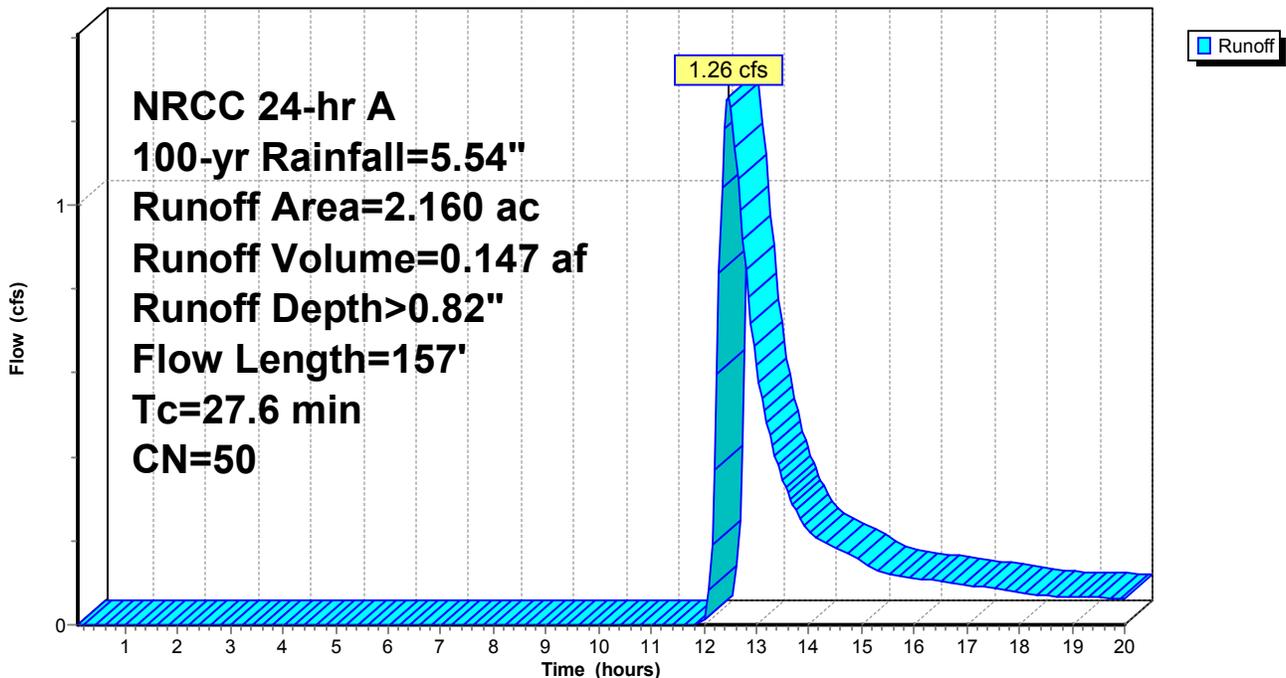
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.10-20.00 hrs, dt= 0.05 hrs
NRCC 24-hr A 100-yr Rainfall=5.54"

Area (ac)	CN	Description
1.420	30	Meadow, non-grazed, HSG A
0.470	98	Paved parking, HSG A
0.250	71	Meadow, non-grazed, HSG C
0.020	98	Paved parking, HSG C
2.160	50	Weighted Average
1.670		77.31% Pervious Area
0.490		22.69% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
26.9	75	0.0100	0.05		Sheet Flow, Lawn Grass: Bermuda n= 0.410 P2= 2.33"
0.5	25	0.0150	0.79		Sheet Flow, Lawn to Trench Drain Smooth surfaces n= 0.011 P2= 2.33"
0.2	57	0.0183	5.03	0.99	Pipe Channel, Storm Sewer 6.0" Round Area= 0.2 sf Perim= 1.6' r= 0.13' n= 0.010 PVC, smooth interior
27.6	157	Total			

Subcatchment 2: DA #2

Hydrograph



Summary for Reach DP: Design Point

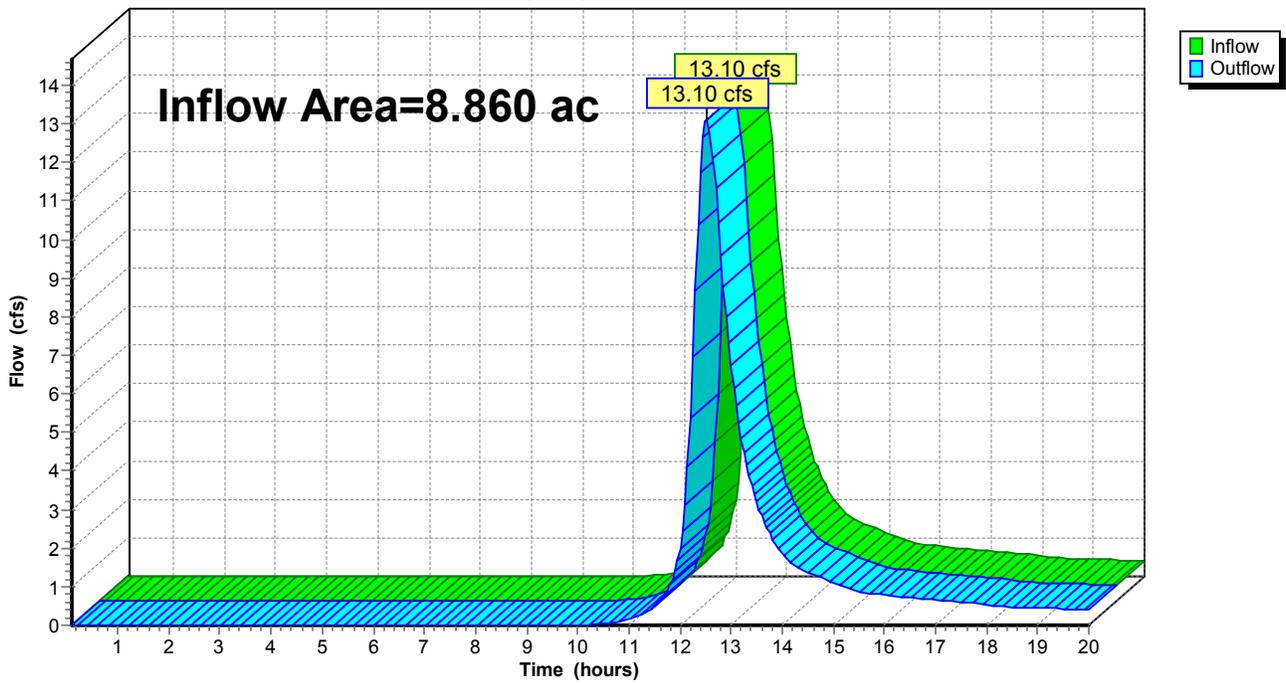
[40] Hint: Not Described (Outflow=Inflow)

Inflow Area = 8.860 ac, 50.68% Impervious, Inflow Depth > 1.97" for 100-yr event
Inflow = 13.10 cfs @ 12.53 hrs, Volume= 1.452 af
Outflow = 13.10 cfs @ 12.53 hrs, Volume= 1.452 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 0.10-20.00 hrs, dt= 0.05 hrs

Reach DP: Design Point

Hydrograph



LEGEND	EXISTING	PROPOSED
5' CONTOUR	---	---
1' CONTOUR	---	---
PROPERTY LINE	---	---
RIGHT OF WAY	---	---
SETBACK	---	---
BUILDING	---	---
ASPHALT PAVEMENT	---	---
CURB	---	---
SIDEWALK	---	---
EDGE OF GRAVEL	---	---
FENCE	---	---
WATERLINE	---	---
SANITARY SEWER	---	---
STORM SEWER	---	---
OVERHEAD UTILITIES	---	---
UNDERGROUND ELECTRIC	---	---
GAS	---	---
FIRE HYDRANT	---	---
WATER VALVE	---	---
SANITARY MANHOLE	---	---
STORM MANHOLE	---	---
CATCH BASIN	---	---
UTILITY POLE AND GUY	---	---
LIGHT POLE	---	---



522 Bradley Street
Watertown, New York 13601

aubertinecurrier.com

Phone: (315)782-2005
Fax: (315)782-1472

The above Architect, Engineer or Land Surveyor states that to the best of his or her knowledge, information and belief, the plans and specifications are in accordance with applicable requirements of New York State. It is a violation of New York State Law for any person, unless acting under the direct supervision of a Registered Architect, Licensed Professional Engineer or Licensed Land Surveyor to alter this document in any way. If altered, such alteration shall be the act and deed of the individual "altered" by his or her signature. This is a specific declaration of the drafter, and is not a representation of the drafter.

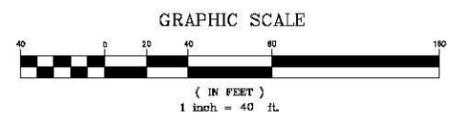
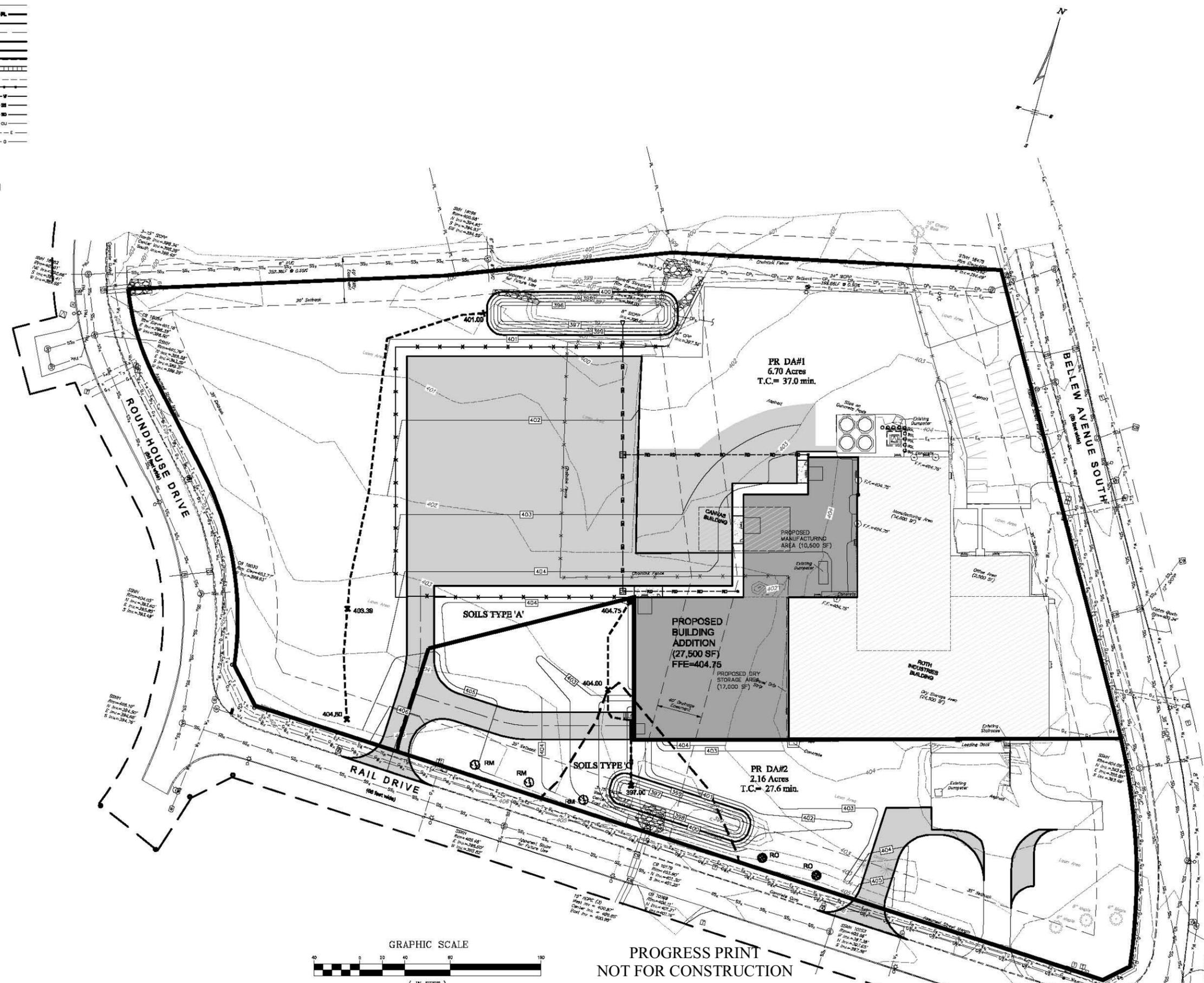
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AUBERTINE CURRIER ARCHITECTS, ENGINEERS & LAND SURVEYORS, PLLC

**ADDITION FOR ROTH INDUSTRIES
AND ROTH GLOBAL PLASTICS**
268 BELLEW AVE SOUTH
WATERTOWN, NEW YORK 13601
JEFFERSON COUNTY

PROJECT NO:	2016-033
SCALE:	1"=40'
DRAWN BY:	CMT
CHECKED BY:	MRM
ISSUE DATE:	

PROPOSED DRAINAGE AREA MAP

PR-1



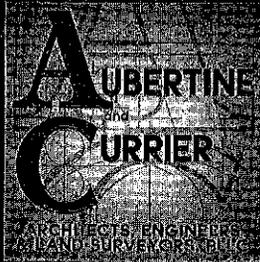
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APPENDIX #4

PARKING AND TRAFFIC CALCULATIONS

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522 BRADLEY STREET
WATERTOWN, NY 13601
TEL: (315) 782-2005
FAX: (315) 782-1472
www.AubertineCurrier.com

CALCULATION SHEET

Project Number: 2016-033 Date: _____
Project Name: Koth Industries Page: _____ Of: _____
Location: 268 Bellew Ave. South Calc'd By: LWT

Parking Calculations

- Per City of Watertown Zoning, Section 310-47 & 310-48
200 SF (1 space) per 1,000 SF of Floor Space for Light Industry
15 Parking Spaces per 1,000 SF of Office Space
- Per Section 310-50, Areas Used for Boiler Room, Heating Facilities,
Utility Facilities & Storage are not included in Floor Space Area

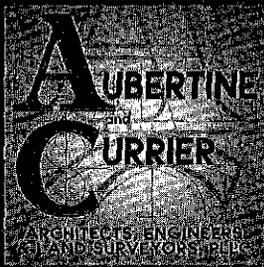
- Ex. Building → Office Space Floor Area = 2,500 SF ∴ 13 Spaces Required
Manufacturing Area = 14,000 SF ∴ 14 Spaces Required
Dry Storage Area = 24,500 SF ∴ 25 Spaces Required

- Pt. Building Addition → Manufacturing Area = 10,500 SF ∴ 11 Spaces Required
Dry Storage Area = 17,000 SF ∴ 17 Spaces Required

- Office Use Requires 13 Parking Spaces
Industrial Use Requires 67 Parking Spaces or 13,400 SF of Parking Area

- * Ex. Parking lot Contains 19 Parking Spaces > 13 Spaces Required for Office Use

- Ex. & Pt. Asphalt Storage/Parking Area Contains ≈ 100,000 SF of Parking Area, Much greater than the Required 13,400 SF for Industrial Uses *



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TEL: (315) 782-2005
FAX: (315) 782-1472
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CALCULATION SHEET

Project Number: 2016-033 Date: _____
Project Name: Roth Industries Page: _____ Of: _____
Location: 268 Bellew Ave South Calc'd By: UWT

Traffic Generation Calculations

- Trip Generation ITE 7th Edition

Land Uses .140 Manufacturing ~

Existing Building = 41,245 SF
Proposed Building = 26,800 SF
<u>Total = 68,045 SF</u>

- Weekday AM Peak Hour
Avg. Rate ~ 0.39 Trips per 1,000 SF of Floor Area
80% Entering, 20% Exiting

Existing → $\frac{41,245 \text{ SF}}{1,000 \text{ SF}} \times 0.39 = 16 \text{ Trips/Hr} \sim 13 \text{ Entering, } 3 \text{ Exiting}$
Proposed → $\frac{68,045 \text{ SF}}{1,000 \text{ SF}} \times 0.39 = 27 \text{ Trips/Hr} \sim 22 \text{ Entering, } 5 \text{ Exiting}$

- Weekday PM Peak Hour
Avg. Rate ~ 0.40 Trips per 1,000 SF of Floor Area
48% Entering, 52% Exiting

Existing → $\frac{41,245 \text{ SF}}{1,000 \text{ SF}} \times 0.40 = 17 \text{ Trips/Hr} \sim 8 \text{ Entering, } 9 \text{ Exiting}$
Proposed → $\frac{68,045 \text{ SF}}{1,000 \text{ SF}} \times 0.40 = 28 \text{ Trips/Hr} \sim 13 \text{ Entering, } 15 \text{ Exiting}$

- Saturday Peak Hour
Avg. Rate ~ 0.16 Trips per 1,000 SF of Floor Area
50% Entering, 50% Exiting

Existing → $\frac{41,245 \text{ SF}}{1,000 \text{ SF}} \times 0.16 = 7 \text{ Trips/Hr} \sim 4 \text{ Entering, } 3 \text{ Exiting}$
Proposed → $\frac{68,045 \text{ SF}}{1,000 \text{ SF}} \times 0.16 = 11 \text{ Trips/Hr} \sim 6 \text{ Entering, } 5 \text{ Exiting}$

Manufacturing (140)

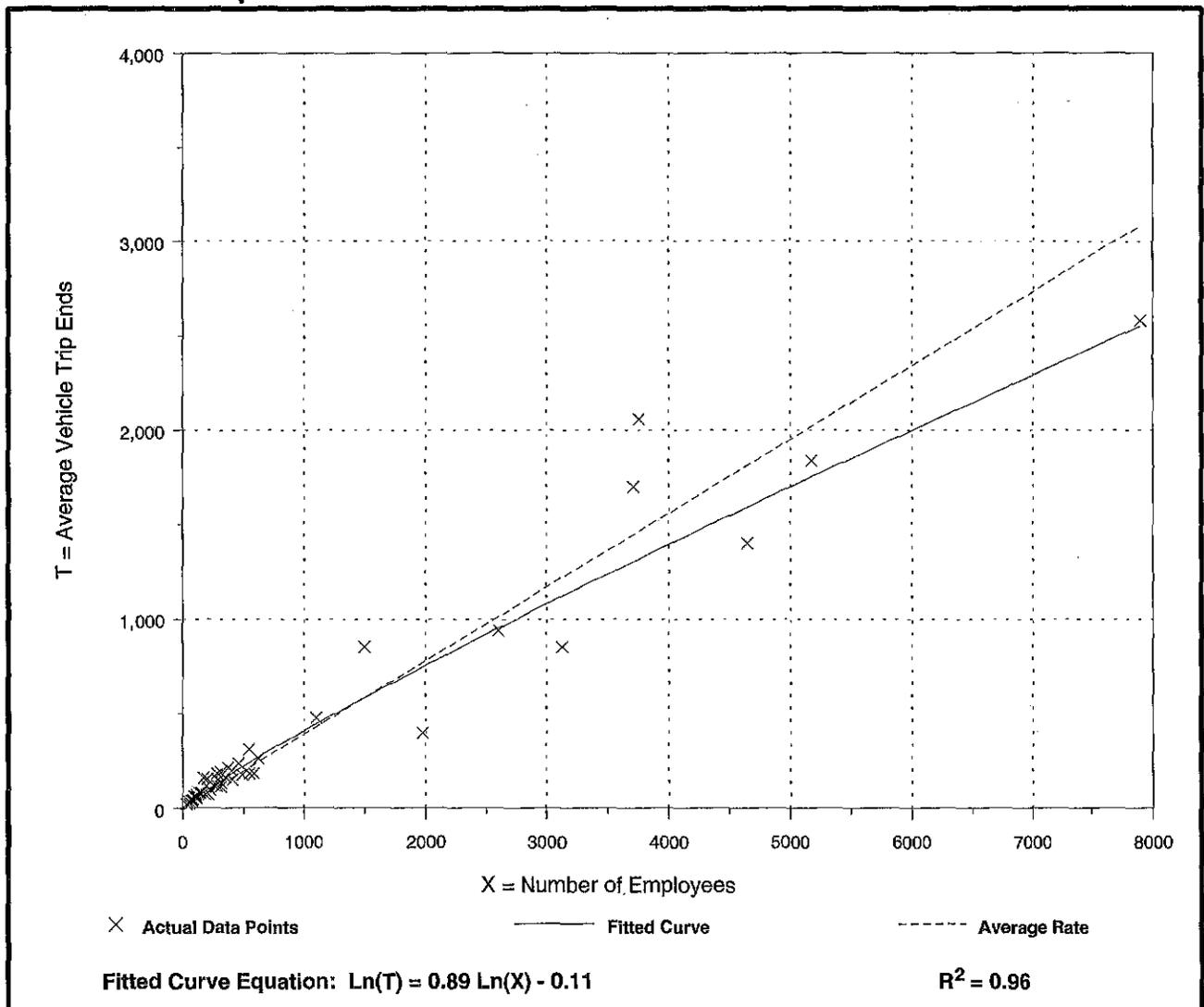
Average Vehicle Trip Ends vs: Employees
On a: Weekday,
A.M. Peak Hour of Generator

Number of Studies: 52
 Avg. Number of Employees: 881
 Directional Distribution: 80% entering, 20% exiting

Trip Generation per Employee

Average Rate	Range of Rates	Standard Deviation
0.39	0.20 - 0.94	0.64

Data Plot and Equation



Manufacturing (140)

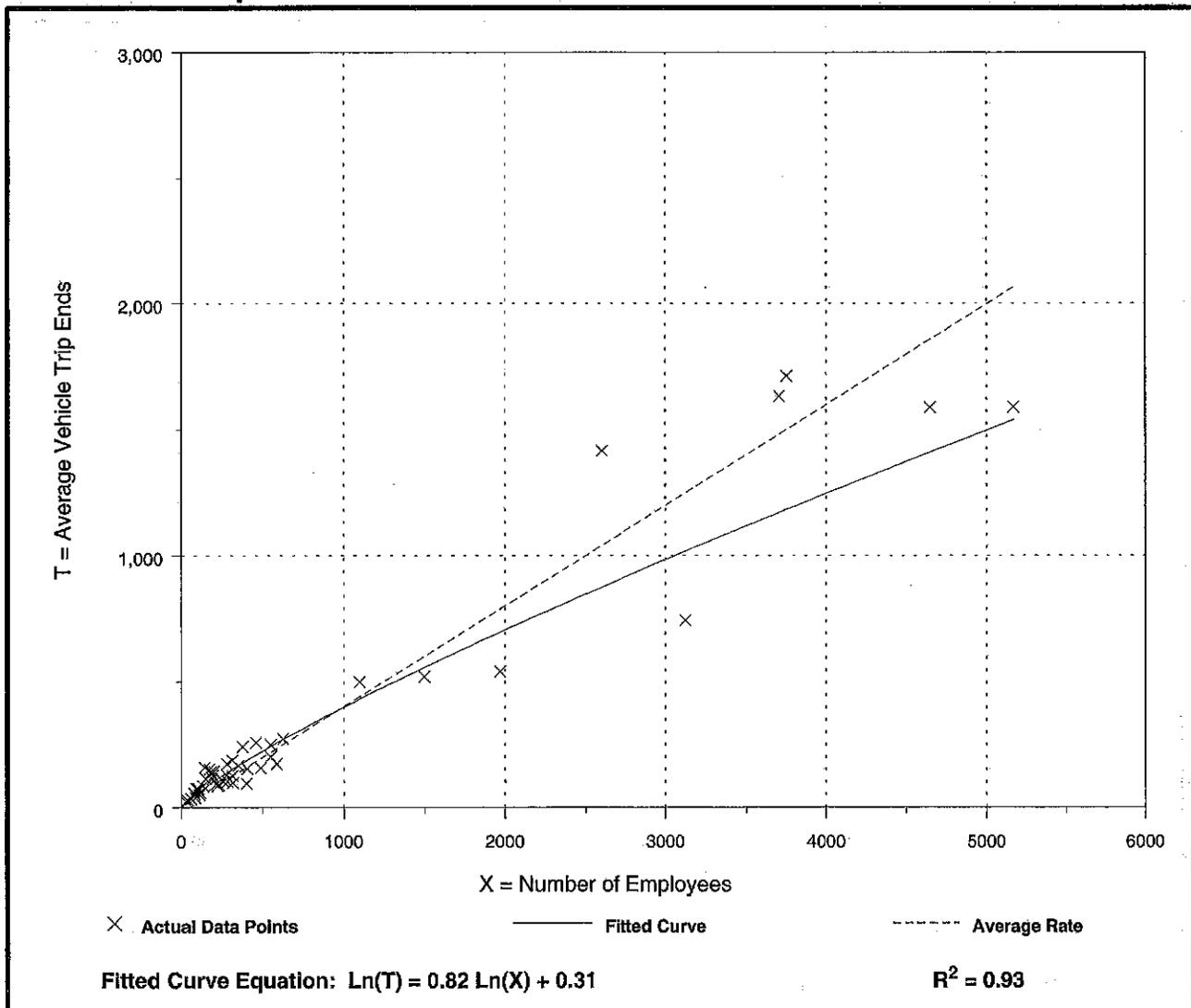
Average Vehicle Trip Ends vs: Employees
On a: Weekday,
P.M. Peak Hour of Generator

Number of Studies: 51
 Avg. Number of Employees: 744
 Directional Distribution: 48% entering, 52% exiting

Trip Generation per Employee

Average Rate	Range of Rates	Standard Deviation
0.40	0.24 - 1.11	0.65

Data Plot and Equation





MEMORANDUM

CITY OF WATERTOWN, NEW YORK
OFFICE OF PLANNING AND COMMUNITY DEVELOPMENT
245 WASHINGTON STREET, ROOM 304, WATERTOWN, NY 13601
PHONE: 315-785-7740 – FAX: 315-785-7829

TO: Planning Board Members
FROM: Michael A. Lumbis, Planner
SUBJECT: Site Plan Approval – 268 Bellew Avenue South
DATE: April 28, 2016

Request: Site Plan Approval for the construction of a 27,500 square-foot building addition, a 43,500 square-foot asphalt storage area expansion and associated site improvements located at 268 Bellew Avenue South, Parcel Number 9-43-105.000.

Applicant: Matthew R. Morgia, P.E. of Aubertine and Currier, PLLC on behalf of John Pezzi of Roth Industries

Proposed Use: Manufacturing and Storage

Property Owner: Jefferson County Industrial Development Agency

Submitted:

Property Survey: Yes	Preliminary Architectural Drawings: Yes
Site Plan: Yes	Preliminary Site Engineering Plans: Yes
Vehicle and Pedestrian Circulation Plan: No	Construction Time Schedule: Partial (Summer 2016 start)
Landscaping and Grading Plan: Yes	Description of Uses, Hours & Traffic Volume: Uses and traffic volume are described. Hours are not indicated.

SEQRA: Unlisted

County Review: No

Zoning Information:

District: Light Industry	Maximum Lot Coverage: N/A
Setback Requirements: F: 0', S: 0', R: 0'	Buffer Zones Required: No

Project Overview: The applicant proposes to construct a 27,500 square-foot addition to the existing Roth Industries Building at the site and pave an additional 43,500 square feet of asphalt for storage. The applicant also proposes to pave an additional 14,250 of asphalt drive area to create two new vehicular access points to and from Rail Drive, as well as widen the one existing access point to and from Rail Drive.

The applicant proposes that 10,500 square feet of the proposed building expansion be used as a manufacturing area, and the remaining 17,000 square feet be used for dry storage. In order to construct the proposed building expansion, the applicant proposes to relocate to existing Canvas Building that currently occupies part of that footprint, but does not specify where it is proposed to be relocated to.

Parking and Vehicle Circulation: The applicant proposes two new vehicular access points connecting to Rail Drive. This would double the number of access points as there two existing access points, one connecting to Bellew Avenue South and one connecting to Rail Drive. The Bellew Avenue South entrance provides access to the existing 19-space parking lot. The applicant shall submit a truck movement diagram proving the need for the proposed additional driveways.

The applicant identifies in the “Planning Data” table that 19 spaces plus 100,000 square feet of parking area are provided. This calculation includes the section of the site identified as “Expanded Asphalt Storage Area,” indicating it is likely to be utilized for other uses besides parking, and is thus not a parking area.

However, the required number of spaces for the site, as proposed, is much fewer than identified in the “Planning Data” table. The table identifies a requirement of 80 spaces, which amounts to 16,000 square feet of parking area. However, the applicant did not deduct storage area from the parking calculations.

Section 310-50 of the Zoning Ordinance, Computation of floor area for parking and loading space requirements, states that areas used for boiler room, heating facilities, utility facilities and storage shall not be included in the computation of floor area. Thus, there is an aggregate of 41,500 square feet of existing and proposed dry storage area that does not count towards the parking requirement.

The aggregate 24,500 square feet of existing and proposed manufacturing area yields a requirement of 4,900 square feet of parking or approximately 25 spaces, and the 2,500 square feet of existing office area will continue to yield a requirement of 13 spaces. Therefore, the site plan, as proposed, carries a requirement of only 38 spaces. The applicant should modify the parking calculations in the “Planning Data” table to reflect the above numbers.

There are 19 existing striped parking spaces at the eastern end of the site, which are accessed from Bellew Avenue South, and the applicant is not proposing any additional striped parking spaces. However, the paved asphalt area to the immediate west of the striped parking lot easily exceeds the remaining parking area requirement. The applicant should designate this area on the site plan for parking.

Finally, the applicant should identify and label accessible parking spaces on the site plan.

Hours of Operation and Traffic Volume: The applicant has provided anticipated traffic volume, but has not indicated proposed hours of operation or anticipated traffic volume for this site. The traffic forecast references Saturday trip generation. If the site will be operational six days per week, the applicant should note this along with the proposed hours of operation for each day.

Interior Floor Plans: The submitted floor plans are effectively blank, save for a few exterior measurements. The applicant shall identify all existing and proposed rooms on the floor plan with square footage and uses.

Setbacks, Buffers and Landscaping: There are no setback requirements in the zoning ordinance in Light Industry Districts. There are also no buffer requirements for this parcel since every other parcel that it abuts is also zoned Light Industry. However, the City of Watertown, at the request of the Watertown Local Development Corporation, has placed certain covenants and restrictions on the properties sold within the industrial park. The covenants and restrictions are intended to promote the development of a light industrial park which is attractive to light industry from a functional, geographical, and aesthetic standpoint. The restrictions include limitations on uses, lot sizes, setbacks, parking and landscaping. The lot size, lot frontage, and lot coverage requirements have all been met. The side and rear setback for the proposed addition are also in compliance with the site requirements.

The covenants and restrictions also state that landscaping and general beautification of the occupant's premises will be mandatory. The applicant proposes to remove two trees at the southern end of the site to clear a path for a proposed driveway. Although the Engineering Report indicates that no new landscaping is proposed, the site plan shows five new street trees and grass areas to be planted along Rail Drive. The trees and grass area will satisfy the covenants in addition to the Planning Board's Landscaping and Buffer Zone Guidelines which call for landscaped strips along the street rights-of-way. Additional landscaping could also be considered to screen the proposed outdoor storage area.

SEQR: The applicant indicates in his response to Question 12b of the SEQR Short Environmental Assessment Form (EAF) that the proposed action is located in an archeological sensitive area. The applicant should provide a letter from the New York State Historic Preservation Office (SHPO) that determines whether the proposed project has the potential to affect any archeological resources.

The applicant indicates in his response to Question 15 that the site may contain endangered or threatened species or their associated habitats. This issue should also be investigated further and additional information should be provided to address this issue. The applicant shall contact the New York State Department of Environmental Conservation (DEC), and provide copies of all correspondence between the applicant and DEC and a letter indicating DEC's opinion on the matter.

Utilities and Hydrology: The applicant shall perform a hydrant flow test and submit hydraulic water calculations to the City Engineering Department prior to the issuance of any permits. The applicant must also label all existing and proposed utilities with pipe sizes and materials.

Other Engineering Comments: The applicant should add City Center Industrial Park (CCIP) covenants and Restrictions to the "Planning Data" table. Specifically, CCIP Covenants only permit outdoor storage if it is completely enclosed by plantings, walls or fences that are aesthetically pleasing. The applicant shall also clarify what he proposes to store in the outdoor storage area.

The submitted survey is labeled as "Preliminary." The applicant shall submit a stamped boundary and topographic survey of the site. The final site plan and engineering report must also both bear the stamp of a licensed Professional Engineer. In addition, the applicant shall submit Sediment and Erosion Control plans to the City Engineering Department.

The applicant shall add construction detail sheets (site details, storm details, ESC details, landscaping details, MPT details, etc.) to the plans and submit them to the City Engineering Department.

This site also requires the applicant to prepare a Stormwater Pollution Prevention Plan (SWPPP). The SWPPP must address Reduced Runoff Volume requirements. In addition, the design of the infiltration basin shall include updated percolation tests. It may be necessary to consider the existing site as a vacant lot when designing the post-construction stormwater treatment areas. The applicant shall obtain a Notice of Intent Acknowledgement Letter from the DEC and forward a copy to the City Engineering Department.

The applicant must also add the following note to the drawings: "All water main and service work must be coordinated with the City of Watertown Water Department. The Water Department requirements supersede all other plans and specifications provided."

Permits: The applicant must obtain the following permits, minimally, prior to demolition and construction: Building Permit, Fence Permit and General City Permit.

Miscellaneous: The site plan indicates that the applicant proposes to relocate the existing canvas building that currently occupies the footprint of the proposed building addition. The applicant should indicate exactly where this structure is proposed to move.

The applicant shall also identify snow storage areas on the site plan.

Summary:

1. The applicant shall revise the parking requirements section in the “Planning Data” table to reflect the accurate calculations.
2. The applicant shall designate on the site plan the proposed un-striped parking area for parking and shall identify and label accessible parking spaces on the site plan.
3. The applicant shall submit a truck movement diagram that proves the need for the proposed additional driveways.
4. The applicant shall indicate the existing and proposed hours of operation of the facility.
5. The applicant shall identify all existing and proposed rooms on the floor plan with square footage and uses.
6. The applicant shall provide a letter from SHPO that determines whether the proposed project has the potential to affect any archeological resources.
7. The applicant shall provide a letter from DEC that determines whether the proposed project has the potential to affect any endangered or threatened species or their habitats.
8. The applicant shall perform a hydrant flow test and submit hydraulic water calculations to the City Engineering Department.
9. The applicant shall label all existing and proposed utilities with pipe sizes and materials.
10. The applicant shall identify a location where he proposes to relocate Canvas Building.
11. The applicant must address all concerns listed in the “Other Engineering Comments” section of the April 28, 2016 Planning Office memorandum to the satisfaction of the City Engineering Department prior to the issuance of any permits.
12. The applicant must obtain the following permits, minimally, prior to demolition and construction: Building Permit, Fence Permit and General City Permit.

cc: City Council Members
Brian Drake, Civil Engineer II
Matthew R. Morgia, P.E., Aubertine and Currier, PLLC, 522 Bradley Street, Watertown, NY 13601
John Pezzi, Roth Industries, 268 Bellew Avenue S, Watertown, NY 13601

SITE PLAN APPROVAL
268 BELLEW AVENUE SOUTH – PARCEL # 9-43-105.000

The Planning Board then considered a request for Site Plan Approval submitted by Matthew R. Morgia, P.E. of Aubertine and Currier, PLLC on behalf of John Pezzi of Roth Industries for the construction of a 27,500 square-foot building addition, a 43,500 square-foot asphalt storage area expansion and associated site improvements located at 268 Bellew Avenue S, Parcel Number 9-43-105.000.

Mr. Morgia was in attendance to represent the project.

Mr. Morgia began by saying that his team had received Staff's initial review comments and had prepared some draft responses. He then distributed written copies of the draft responses to the Planning Board and to Staff.

Mr. Coburn asked Mr. Morgia if he would like to run through the summary items. Mr. Morgia, answered in the affirmative, but said he would like first to give a brief overview of the project.

Mr. Morgia said that the proposal consisted of a 27,500 square-foot expansion to the existing industrial facility. He said that some would be manufacturing area and the rest would be storage. He then identified each area on the site plan. He added that the proposed expansion would be a westward continuation of the Roth building as it exists now.

Mr. Morgia then addressed the 43,500 square feet of proposed asphalt storage area expansion. He said that a new truck access drive was proposed for the western portion of the site. He added that this would be the new shipping end of the building and explained that as it exists now, shipping and receiving are together.

Mr. Morgia then discussed the proposed second driveway at the southeast corner of the site. He said that this request was for an expansion of the truck yard. He explained that tractor-trailers often parked in this area and that when there were two tractor-trailers present, it was almost impossible for them to maneuver. He then said that by adding the second driveway and creating a loop road, trucks would no longer need to turn into the Renzi Foodservice driveway across the street and back up as many do presently.

Mr. Morgia then addressed stormwater management. He said that new roof drains would be installed on the proposed addition and that both existing stormwater management areas on the site would be expanded. He said that his team had received previous plans from the City and that he acknowledged that he would need to prepare a Stormwater Pollution Prevention Plan (SWPPP).

Mr. Morgia then said that new lighting is proposed for the building, but not for the storage yard where some lighting already exists. He then addressed the summary items in Staff's memorandum.

Mr. Morgia said that the first summary item requested revisions to the “Planning Data” table on the site plan to accurately reflect parking requirements and calculations. He said that his team was trying to depict that there were over 80 spaces around the site and that they would likely use less than half that. He said that Staff had informed him that storage areas need not be counted towards the parking requirements and said that his team would revise the table.

Mr. Morgia said that the second summary item requested that proposed unstriped parking areas as well as accessible spaces both be labeled on the site plan. Mr. Morgia said that his team would do both.

Mr. Morgia then addressed the third summary item, which requested a truck movement diagram that proved the need for the additional driveways, and said that his team would submit one.

Mr. Morgia then said that the fourth summary item asked for proposed hours of operation and said that the facility would be open from 8 am to 4pm Monday through Friday.

Mr. Morgia then said that the fifth summary item requested that existing and proposed rooms be labeled on the floor plan with uses and square footage. Mr. Morgia said that this was not done because the floor plans that were submitted were preliminary, but that uses were labeled and broken down into office, manufacturing and storage. He said that was as specific as he could be at this time.

Mr. Morgia then addressed the sixth and seventh summary items, which requested letters from the State Historic Preservation Office (SHPO) and the Department of Environmental Conservation (DEC) that would determine, respectively, the project’s potential to impact archeological resources and endangered species. Mr. Morgia said that City Center Industrial Park had already undergone the SEQR process when it was built, and that letters from both entities should already exist. He said that his team will approach both SHPO and the DEC about obtaining this documentation.

Mr. Morgia then addressed the eighth summary item, which requested a hydrant flow test and said his team would perform one.

Mr. Morgia then addressed the ninth summary item, which requested that all existing and proposed utilities be labeled on the site plan with pipe sizes and materials. Mr. Morgia said that the pipe sizes could be depicted from as-built plans and he would label them based on these existing plans.

Mr. Morgia then addressed the 10th summary item, which requested that the applicant identify a location where the existing canvas building was proposed to be relocated. Mr. Morgia said that he was unsure if the owner intended to continue using this structure, but that if it was to stay in use, that a proposed location for it would be added to the plans.

Mr. Morgia then skipped forward to address the 12th summary item, which identified all the permits that the applicant would need to obtain prior to demolition and

construction. Mr. Morgia acknowledged that his team would need to obtain all of the permits identified.

Mr. Morgia then went back and addressed the 11th summary item, which stated that the applicant must address all concerns listed in the “Other Engineering Comments” section of Staff’s memorandum to the satisfaction of the City Engineering Department before any permits would be issued.

My Morgia acknowledged Staff’s request that City Center Industrial Park covenants and restrictions be added to the “Planning Data” table. Mr. Morgia said that the proposed project is in line with all covenants and restrictions that they would be added to the table. Mr. Morgia also addressed requests for a stamped boundary and topographic survey of the site, construction detail sheets and a SWPPP and said that all of these would be submitted along with a revised site plan once all revisions were complete.

Mr. Coburn then asked of any of his fellow Planning Board members had questions for the applicant. Ms. Capone stated for the record that she would be abstaining from this vote because she had a business relationship with the applicant’s client.

Mr. Lumbis then noted that the Planning Board could eliminate the fourth summary item since the applicant had identified the proposed hours of operation. Mr. Drake then said that the proposed hours led into the need for a Knox Box since the facility would not be in use on nights and weekends. Mr. Randall then confirmed that the building had become so large that a second Knox Box would be needed. Mr. Polkowski explained to the Planning Board that a Knox Box was a secure exterior safe that contained a set of building keys for emergency services personnel in the event of an emergency.

Mr. Drake suggested that the Planning Board add this provision as a new summary item. The Planning Board agreed.

Mr. Neddo then moved to recommend that City Council approve the request submitted by Matthew R. Morgia, P.E. of Aubertine and Currier, PLLC on behalf of Roth Industries for the construction of a 27,500 square-foot building addition, a 43,500 square-foot asphalt storage area expansion and associated site improvements located at 268 Bellew Avenue S, Parcel Number 9-43-105.000, contingent upon the following:

1. The applicant shall revise the parking requirements section in the “Planning Data” table to reflect the accurate calculations.
2. The applicant shall designate on the site plan the proposed un-striped parking area for parking and shall identify and label accessible parking spaces on the site plan.
3. The applicant shall submit a truck movement diagram that proves the need for the proposed additional driveways.

4. The applicant shall identify all existing and proposed rooms on the floor plan with square footage and uses.
5. The applicant shall provide a letter from SHPO that determines whether the proposed project has the potential to affect any archeological resources.
6. The applicant shall provide a letter from DEC that determines whether the proposed project has the potential to affect any endangered or threatened species or their habitats.
7. The applicant shall perform a hydrant flow test and submit hydraulic water calculations to the City Engineering Department.
8. The applicant shall label all existing and proposed utilities with pipe sizes and materials.
9. The applicant shall identify a location where he proposes to relocate Canvas Building.
10. The applicant shall provide a second Knox Box for use by the Fire Department and other emergency services personnel.
11. The applicant must address all concerns listed in the “Other Engineering Comments” section of the April 28, 2016 Planning Office memorandum to the satisfaction of the City Engineering Department prior to the issuance of any permits.
12. The applicant must obtain the following permits, minimally, prior to demolition and construction: Building Permit, Fence Permit and General City Permit.

Ms. Fields seconded the motion and the Planning Board voted 5-0 in favor, with the exception of Ms. Capone who abstained.

NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION

Division of Environmental Permits, Region 6
Dulles State Office Building, 317 Washington Street, Watertown, NY 13601-3787
P: (315) 785-2245 | F: (315) 785-2242
www.dec.ny.gov

May 4, 2016

Christopher Todd
Aubertine and Currier Architects, Engineers & Land Surveyors, PLLC
522 Bradley Street
Watertown, NY 13601

RE: Roth Industries Building Addition
City Center Industrial Park
Watertown (C), Jefferson County

Dear Mr. Todd:

We have received your letter dated May 3, 2016 regarding the proposed expansion of the Roth Industries facility located on 268 Bellew Avenue within the City Center Industrial Park. Your letter requested a review of the proposed project for impacts to state regulated resources, specifically wetlands and threatened or endangered species. We reviewed the information provided, including the Short Environmental Assessment Form (SEAF), and offer the following regarding the proposal:

NYS endangered Indiana bat (*Myotis lucifugus*) and threatened Northern long-eared bat (*Myotis septentrionalis*), are both known to utilize the area as roosting and foraging habitat. We reviewed the existing conditions and the activity proposed and have determined a project will not result in a take of occupied habitat under the 6 NYCRR Part 182 Threatened and Endangered Species regulations. There does not appear to be any roost trees proposed for removal as part of the site development. We encourage consideration of the bats use of the area as part of the site design. Incorporation of downward-facing area lights with full cut-offs to limit spill light, and directing the lighting away from the treed areas would limit the incidental impact of the project on these species.

A review of the NYS Natural Heritage program databases showed we have no other known occurrences of rare or State listed animals, plants, significant natural communities, or other significant habitats on or in the immediate vicinity of the project area. The absence of data does not necessarily mean that rare or state-listed species, natural communities or other significant habitats do not exist on or adjacent to the proposed site. Rather, our files currently do not contain information which indicates their presence. For most sites, comprehensive field surveys have not been conducted. We cannot provide a definitive statement on the presence or absence of all rare or state-listed species or significant natural communities. Depending on the nature of the project and the conditions at the project site, further information from on-site surveys or other sources may be required to fully assess impacts on biological resources.

There are no state regulated wetland resources on the parcel. NYS FWW S-4 is located to the west and south of Rail and Roundhouse Drives. The adjacent area for the state regulated wetland may approach the boundaries of the parcels; however, we do not believe the activity as currently proposed will necessitate a state wetlands permit. The National Wetland Inventory does show a potential federally regulated wetlands on the parcel. You may wish to contact the US Army Corp of Engineers at 716-879-4433 for further information.

You included additional information for the SEAF regarding the location of the wetlands based upon a subdivision final plat from 2008. We would like to mention that boundaries established by delineations of state regulated wetlands are not immutable. The boundaries typically need to be field reviewed after five years to confirm they still reflect the actual regulatory boundary for the state wetland. We do not believe this step is necessary for the current proposal staying within the Rail and Roundhouse Dr. parcel boundary.

We would also recommend the proposed project review the current and proposed manufacturing activity for conformance with state and federal regulations related to air emissions. Please contact Steve Botsford in our office at (315) 785-2524 should you have any technical questions regarding the potential to emit air pollutants.

The project will require coverage under the SPDES General Permit for Stormwater Discharges from Construction Activity. You may wish to review the latest issued permit, GP-0-15-002, to determine if the proposed changes to the existing stormwater management practices are supported.

Thank you for the opportunity to review the proposal. Please do not hesitate to contact me if you have any questions.

Sincerely,



Thomas Voss
Deputy Regional Permit Administrator
thomas.voss@dec.ny.gov

Ec: John Pezzi, Roth Industries
Michael Lumbis, Planning & Community Development Coordinator, City of Watertown
Donald Alexander, CEO JCIDA
Christopher Balk, DEC - Reg Habitat Mgr.
Tara Blum, DEC - Regional Water Engineer
Steve Botsford, DEC - Regional Air Engineer
James Farquhar, DEC - Reg. Wildlife Mgr.
Robert Jacobs, DAR



Parks, Recreation, and Historic Preservation

ANDREW M. CUOMO
Governor

ROSE HARVEY
Commissioner

May 05, 2016

Mr. Christopher Todd
Civil Design Engineer
Aubertine & Currier, PLLC
522 Badley Street
Watertown, NY 13601

Re: DEC
Roth Industries Building Addition
268 Bellew Avenue South, Watertown, NY 13601
16PR02524

Dear Mr. Todd:

Thank you for requesting the comments of the Office of Parks, Recreation and Historic Preservation (OPRHP). We have reviewed the project in accordance with the New York State Historic Preservation Act of 1980 (Section 14.09 of the New York Parks, Recreation and Historic Preservation Law). These comments are those of the OPRHP and relate only to Historic/Cultural resources. They do not include potential environmental impacts to New York State Parkland that may be involved in or near your project. Such impacts must be considered as part of the environmental review of the project pursuant to the State Environmental Quality Review Act (New York Environmental Conservation Law Article 8) and its implementing regulations (6 NYCRR Part 617).

Based upon this review, it is the New York State Office of Parks, Recreation and Historic Preservation's opinion that your project will have no impact on archaeological and/or historic resources listed in or eligible for the New York State and National Registers of Historic Places.

If further correspondence is required regarding this project, please be sure to refer to the OPRHP Project Review (PR) number noted above.

Sincerely,

Ruth L. Pierpont

Deputy Commissioner for Historic Preservation

Res No. 5

May 11, 2016

To: The Honorable Mayor and City Council
From: Sharon Addison, City Manager
Subject: Approving Franchise Agreement Between the City of Watertown and Top Shelf Hockey, LLC

Attached for Council's consideration and approval is a Franchise Agreement for the professional hockey team with Top Shelf Hockey, LLC for the 2016-2017 hockey season.

As stated in Superintendent Erin E. Gardner's attached report, the fans will be eager to welcome back the Watertown Wolves to the Municipal Ice Arena. These fees have been coordinated with Top Shelf Hockey, LLC, and both parties are in agreement.

A resolution is attached for Council consideration.

RESOLUTION

Page 1 of 1

Approving Franchise Agreement Between the City of Watertown and Top Shelf Hockey, LLC

Council Member HORBACZ, Cody J.
 Council Member JENNINGS, Stephen A.
 Council Member MACALUSO, Teresa R.
 Council Member WALCZYK, Mark C.
 Mayor BUTLER, Jr., Joseph M.
 Total

YEA	NAY

Introduced by

WHEREAS the City of Watertown owns and operates a facility known as the Watertown Municipal Arena, a community recreational facility, and

WHEREAS the City of Watertown desires to promote recreational activities at the Watertown Municipal Arena for the valid public purpose of the benefit, recreation, entertainment, amusement, convenience and welfare of the people of the City, and

WHEREAS in pursuit of that valid public purpose, the City of Watertown desires to enter into a Franchise Agreement with Top Shelf Hockey, LLC, and

WHEREAS Top Shelf Hockey, LLC owns and operates a semi-professional hockey team, as a member and franchise of the Federal Professional Hockey League, and

WHEREAS Top Shelf Hockey, LLC desires to enter into a Franchise Agreement with the City of Watertown to have its team play hockey games within the confines of the Watertown Municipal Arena,

NOW THEREFORE BE IT RESOLVED that the City Council of the City of Watertown hereby approves the Franchise Agreement between the City and Top Shelf Hockey, LLC, a copy of which is attached hereto and made part of this resolution, and

BE IT FURTHER RESOLVED that City Manager Sharon Addison is hereby authorized and directed to execute the Franchise Agreement on behalf of the City of Watertown.

Seconded by

FRANCHISE AGREEMENT

THE CITY OF WATERTOWN, NEW YORK AND TOP SHELF HOCKEY, LLC

This Franchise Agreement is being made and is intended to be effective as of September 19, 2016 between THE CITY OF WATERTOWN, NEW YORK, with principal offices located at 245 Washington Street, Watertown, New York 13601 (“City”) and TOP SHELF HOCKEY LLC (the TSH) with principal offices located at 820 West Main Street, Watertown, New York 13601.

INTRODUCTION

WHEREAS, the City is a municipal corporation organized under the laws of the State of New York and, as such, owns a community recreational facility known as the Alex T. Duffy Fairgrounds (the “Fairgrounds”); and

WHEREAS, the Fairgrounds contains many venues, one of which is the Municipal Arena which is used for activities including, but not limited to, an ice rink and bleachers for skating and games; and

WHEREAS, the City desires to promote future recreational activities at its Arena for the valid public purpose of the benefit, recreation, entertainment, amusement, convenience and welfare of the people of the City; and

WHEREAS, in pursuit of that public purpose, the City desires to contract with TSH, an “A” level professional hockey franchise which competes in the Federal Professional Hockey League (or a different league of a different name of comparable caliber of play), for use by TSH of the Watertown Arena as its home venue; and

WHEREAS, the parties desire to set forth an agreement by which TSH may enjoy a franchise for the use of the City facilities at the Watertown Ice Arena for the 2016-2017 professional hockey season in consideration of mutual covenants and agreements as stated herein, the City and TSH agree as follows:

AGREEMENT

Section 1 – Term of Franchise

The term of this Franchise Agreement shall be from the period from September 19, 2016 through April 23rd, 2017.

Section II – Franchise Facilities Use Grant

The City grants TSH a franchise for the use of the following facilities at the Watertown Arena:

a. TSH shall have exclusive access to a locker room identified on the building diagram attached as Exhibit "A" as the "home locker room." TSH shall be furnished with a key to the "home locker room", but not a key to the Ice Arena. The risk of loss for TSH equipment and gear shall remain with TSH during the term of this Franchise.

b. TSH may locate a "pro shop" within the Vendor Area for a cost of \$500 for the season. Only souvenirs, equipment and merchandise related to TSH, Federal Hockey League or their sponsor may be sold at the pro shop. The risk of loss of all merchandise, equipment or souvenirs shall remain with TSH during the term of this Franchise.

c. At the time of any home TSH game, other locker rooms shall be made available to the opposing team and to the officials two (2) hours before the start of the game. The opposing team's locker room is identified as the "away locker room" and the officials' locker room is identified as "officials locker room" on Exhibit "A."

d. During the term of this Agreement, TSH will be provided a space by the City for TSH skate sharpening equipment within the main locker room area. TSH shall not have access to, nor use, the City-owned skate sharpener, nor shall the City have access to, nor use, TSH's sharpener. TSH's sharpening equipment shall only be used to sharpen skates of TSH personnel and those affiliated with the organization.

e. TSH shall have access to the arena press box and sound system for all TSH home games at least one hour prior to game time. The equipment to be made available is the City's existing system consisting of: Odyssey Innovation Design single-unit sound system with microphone and scoreboard control panel. Only those employees needing to work from the press box are permitted in the press box area.

f. TSH will not be provided with keys or security codes for after-hours access to the Arena.

g. TSH will be responsible for paying \$240.00 for each unused weekend starting April 7th, 2017 through the day of the Championship Game. If TSH makes it to the Championship Game, TSH will only pay for ice time used.

h. The City will be responsible for setting up a "queue" area that will allow up to 250 ticket purchasers to assemble inside the lobby in an organized fashion. This should be clearly marked and should flow without the use of TSH personnel.

Section III – Other TSH Rights and Privileges Pursuant to Franchise

In addition to grant of this franchise for use of designated City facilities, the City hereby grants an exclusive franchise to TSH for the following sales and concessions:

a. For beer and wine sales see section IV.

b. TSH shall have the exclusive right to sell signage within the arena, including sales on boards (interior and exterior) and framed areas on arena's walls, imbedded in the ice surface and mounted on the City-owned zamboni. The business that is granted naming rights will be permitted to have their name exterior to the Wolves center logo, similar to NHL rinks. Advertising by TSH is not permitted in the lobby of the Municipal Arena. All advertising placed on boards shall be non-permanent in nature and shall adhere to the City's specifications. The City will provide all specification for the wall mounted advertisements. The City reserves the right to review and approve all advertising copies prior to its installation. All advertising must be removed at the end of the hockey season. Arena staff will be responsible for installing and removing all signage. A fee of \$2,000.00 shall be paid to the City Comptroller's Office no later than September 16th 2016. TSH will also be granted rights to designate certain arena seating, other than the bleachers, as reserved seating for corporate sponsors, both inside the arena and in the lobby area, and will be responsible for adding signage to designate accordingly.

c. TSH shall be the sole professional hockey team and/or "Junior amateur hockey team, e.g. Syracuse Stars caliber team (this does not include any of the youth programs currently operating in our geographic area) to hold a franchise for games for the 2016-2017 season. TSH will also hold the "Right to first Refusal" in the Franchise Agreement on all subsequent hockey seasons.

Section IV – TSH Obligations

The following constitutes the TSH obligations in connection with the franchises granted herein:

a. Rates and Charges.

Ice time for team practices will be billed by the City at the rate of \$100.00 per hour of scheduled time. Ice time for games will be billed at \$120.00 per hour of scheduled time. Payment must be made to the City Comptroller by the 1st day of the month for that month's scheduled ice time. If full payment is not made by TSH by the 1st day of the month for that month's scheduled ice time or any other unpaid invoice is over 30 days outstanding, TSH will not be authorized use of the facility until full payment is made. An invoice will be generated by the City at the month's end for any additional ice time hours used above and beyond scheduled time by TSH, payable within 30 days. TSH shall not receive credit for any unused, but scheduled, ice time unless TSH gives the Parks and Recreation office 72 hours notice. Any unused ice time canceled with at least 72 hours notice shall be credited toward future payments due to the City, provided that if no future payments are pending or anticipated, City shall refund TSH for unused time within 30 days. TSH will pay the City a \$1000 deposit by April 1st, 2017 which will be applied toward the last payment due in April 2017, provided the team still has an active franchise agreement with the City. The City will refund TSH any balance of deposit that exceeds the final payment within 30 days.

b. Beer and Wine Sales.

TSH is granted exclusive rights to provide for the sale of beer and wine at any events to be held in the arena during this time period, as approved by the City Manager, pursuant to the Agreement, and/or to enter into a sub-franchise agreement with a vendor, which shall obtain a seasonal license for the beer and wine sales for the Ice Arena limited to the term of this agreement from September 19th, 2016 through April 23th, 2017. The City is to provide a location for the sale of beer and wine either in the form of a permanent structure complete with applicable refrigeration facilities or an area where a temporary trailer can be placed. This area must be agreed upon by both TSH and the City. TSH must accommodate to any event requesting beer and wine in the arena during this timeframe of the Franchise Agreement, with the Superintendent's approval. TSH will be provided, at least, a 10 days' notice to ensure proper planning time, in the event the City requests beer and wine to be sold.

TSH sub-franchise agreement with said vendor shall provide that the vendor shall be bound by the terms and conditions of any license issued by the SLA, and shall also be bound by the terms of the City's "ABC Law, Rules and Guidelines," as the same may, from time to time, be amended. A copy of the City's current "ABC Law, Rules and Guidelines" is attached to this Agreement as Exhibit "B."

TSH shall ensure that said vendor shall provide the City with a copy of any application made to the SLA for the seasonal license. The vendor must also agree that it will discontinue the sale of alcohol at any time when directed to do so by the shift supervisor of the Watertown City Police and provide proof of vendor's liquor liability insurance coverage in the amount of \$1,000,000.00 individual/\$2,000,000.00 aggregate.

TSH acknowledges that, as the party responsible for the sub-franchisee, it is obligated not to permit the alcoholic beverages in violation of the New York Alcoholic Beverage and Control Law, the New York Penal Law, and/or the New York General Obligations Law. If it is determined that the vendor has sold beverages in violation of any of the applicable rules and regulations, including any term of this franchise, TSH right to contract with a sub-franchisee for the sale of alcohol on the premises will be immediately revoked.

TSH acknowledge that the City of Watertown is not involved in the sale of alcoholic beverages, and agrees to defend and indemnify the City, including reimbursement of the City's reasonable attorneys' fees, from any and all claims, civil or criminal, arising from any claimed violations of law pertaining to, or statutory duty arising from, the sale of alcoholic beverages.

TSH acknowledges that "tailgating" on City Fairgrounds property is not permitted and that TSH shall be responsible for monitoring the parking areas surrounding the Ice Arena to ensure compliance. No alcohol may be consumed on any City Fairgrounds property except within the Ice Arena.

Any changes to this agreement made necessary by the SLA or any other regulatory authority to ensure the issuance and continuation of vendor's license to offer beer and wine sales shall first be proposed, in writing, by TSH legal counsel. If the City incurs any legal fees in

connection with negotiating and implementing such changes, TSH agrees to reimburse the City its reasonable legal fees and disbursements leading to the adoption of such changes.

c. Food Concessions.

TSH acknowledges that the concession stand located in the Arena will be the only source of food sold during the TSH games. TSH is permitted to provide food and beverages from other outside vending sources to staff and others affiliated with the organization during all team functions, including games, postgame only. TSH will be permitted to set up a VIP area on the second floor in the arena to accommodate for 4 high top tables. This area must be code compliant. A \$4.00 per person fee for all people permitted in the VIP area will be charged to TSH and shall be paid in advance. TSH shall provide a copy of the contract indicating the number of VIP people permitted in the VIP area to the Parks and Recreation office in advance of the VIP event.

d. Birthday Parties

TSH acknowledges that they shall purchase food through the arena concession stand for all birthday parties. TSH acknowledges that the cost to rent the birthday party room is \$25 per hour, per room.

e. Liability Insurance/Worker's Compensation Insurance.

TSH shall provide commercial general liability insurance, naming the City as an additional insured to the City's specifications of coverage in the amount of \$1,000,000.00 individual/\$2,000,000.00, for the term of this franchise. The certificate of insurance must reflect that the additional insured status is in effect for the entire term of this Franchise Agreement, and further reflect that the City shall be entitled to at least 30 days' prior written notice of any cancellation of TSH's insurance for any reason whatsoever. Proof of Insurance shall be provided to the City before September 1st, 2016. TSH shall provide proof of Worker's Compensation Insurance to the City before September 1st, 2016.

f. Code Compliance.

TSH acknowledges that all activities are subject to the provisions of the New York State Fire Prevention and Building Code.

g. Security.

TSH shall provide readily identifiable security by a professional security force for each home game. Any private security firm used by TSH shall be registered with the NYS Department of State per N.Y. Gen. Bus. Law Section 89-G. Such professional security force shall be adequate to maintain safety and discipline among the attendees. In the event the City's Superintendent of Parks and Recreation determines, in her sole discretion, that, at any event,

already in progress or otherwise, that TSH security is inadequate, the City shall have the right to require additional security be provided; or to suspend future games until the TSH agree to provide additional security. Inadequate security may be considered a breach of this Agreement.

h. Damages.

In the event any of the locker rooms, lockers, restrooms, office space, or any other public areas are damaged by actions attributable to TSH, their opposing team, or the fans, the repairs to such damage shall be the responsibility of TSH and shall be promptly performed by the City. TSH shall be billed for the costs (materials and labor) associated with the damages. The invoice shall be due and payable within 30 days.

i. Cleaning After Games.

TSH shall provide a cleaning staff, following each home game, to clean the arena, including cleaning of all locker rooms; cleaning of all areas where beer and wine sales are made; and cleaning of the bleachers. All cleaning and disposal of trash, rubbish, etc. must be performed by TSH on the same night when a game is held, and to the satisfaction of the City's Superintendent of Parks and Recreation or his/her designee. This cleaning will consist only of picking up trash from all areas, rough sweeping of bleacher areas, and "spot" mopping of any spilled items. This is not to be considered a "thorough" cleaning of the facility.

j. Trash Removal.

The parties agree that TSH shall pay \$500.00, for the term of this Agreement, for trash removal from the Arena. Said payment shall be due on or in advance of September 19th, 2016.

k. After-hours Access.

If TSH requires after-hours/holiday access to the Arena facility, TSH shall arrange for the same in advance and reimburse the City Comptroller for its minimum 2-hour billable employee rate.

l. Hold Harmless.

TSH shall indemnify and hold the City harmless, including reimbursement for reasonable attorneys' fees, from any and all loss, costs or expense arising out of any liability or claim of liability for injury or damages to persons or to property sustained by any person or entity by reason of TSH operation, use, or occupation of designated facilities, and resulting from any act or omission of TSH or any of its officers, agents, employees, guests, patrons or invitees. The liability insurance in the type and amounts identified in Section IV, naming the City as an additional named insured shall be sufficient for purposes of meeting TSH obligations under this paragraph.

Section V – City Obligations.

The City agrees to undertake the following obligations:

- a. The City shall provide the locker rooms.
- b. The City will maintain the ice in good condition.
- c. The City will undertake a good faith effort to reasonably schedule practice ice time at levels comparable to the Wolves schedule for the 2014-2015 season.
- d. Prior to the commencement of this Franchise Agreement and for the term thereof, the City shall have on hand extra glass for the rink board in the event glass breaks during practice or games. TSH will be billed for the costs (materials and labor) associated with any replacement, but City employees will be responsible for installing replacement glass as expeditiously as possible. The invoice is payable within 30 days.
- e. The City shall indemnify and hold the TSH harmless, including reimbursement for reasonable attorneys' fees, from any and all loss, costs or expense arising out of any liability or claim of liability for injury or damages to persons or to property sustained by any person or entity by reason of any act or omission of the City or any of its officers, agents, employees, guests, patrons or invitees.

Section VI – Anticipated Home Games and Contingency.

TSH will proceed to schedule between 26 and 30 home games during the 2016-2017 hockey seasons.

The parties further anticipate TSH participation in playoff games, which games will also likely be evenly split for scheduling purposes.

The parties to this Agreement agree to work together to schedule home games in such a fashion as to result in a minimum disruption to other groups or individuals utilizing the arena ice facility.

This Agreement is expressly contingent on the mutual agreement of the parties to a schedule of games. If the parties cannot come to a written agreement on the schedule prior to September 1st 2016, this agreement will not be binding on either party and will be null and void. Each party shall bear its own expense in anticipation of performing the contract, provided that City shall refund any sums prepaid for trash and signage fees hereunder.

Section VII – Maintenance.

The City agrees that it will keep the premises, including any structural or capital repairs and improvements, in good repair during the term of this Franchise Agreement, and at its own

expense. The City further agrees that it shall bear the cost of electric facilities and electric service to the premises, except as otherwise provided herein.

Section VIII – Return of Premises.

TSH agrees to return all franchised premises to the City, upon the expiration of this Franchise Agreement, in as good condition as when TSH received possession of the premises, reasonable wear and tear excepted, and excepting damage to the premises caused by others when the premises were not under the control of TSH.

TSH acknowledges that, as of the commencement of this Franchise Agreement, the TSH has received the premises in good condition.

Section IX – Venue and Applicable Law.

- a. This Agreement shall be construed in accordance with the laws of the State of New York.
- b. The City and TSH agree that venue for any legal action arising from a claimed breach of this Franchise Agreement is in the Supreme Court, State of New York, in and for the County of Jefferson.
- c. This instrument contains the entire agreement between the parties and supersedes all prior agreements and understandings, oral and written, with respect to the transactions & performance contemplated herein. No amendment of this Agreement shall be binding unless executed in writing by both parties.

IN WITNESS WHEREOF, the City and TSH have caused this Franchise Agreement to be executed by authorized agents to be effective as of September 19, 2016.

THE CITY OF WATERTOWN, NEW YORK

By: _____
Sharon Addison, City Manager

TOP SHELF HOCKEY LLC

By: _____
Stan Tibbles, Manager/Member

STATE OF NEW YORK)
) SS:
COUNTY OF JEFFERSON)

On the ____ day of _____, 2016, before me, a notary public in and for said State, personally came Sharon Addison, to me known, who being by me duly sworn, did depose and say that she resides in Watertown, New York; and that she is the City Manager of the CITY OF WATERTOWN, NEW YORK, the municipal corporation described in and which executed the above instrument; and that she signed her name thereto by the authority of the Watertown City Council.

Notary Public

STATE OF NEW YORK)
) SS:
COUNTY OF JEFFERSON)

On the ____ day of _____, 2016, before me personally came Stan Tibbles to me known, who being by me duly sworn, did depose and say that he resides in _____, and that he is the managing member of the TOP SHELF HOCKEY LLC, the corporation described in and which executed the above instrument; and that he signed his name thereto by the authority of the board of directors of said limited liability company.

Notary Public

EXHIBIT A

- ### INSTALLATION GENERAL NOTES
1. CONTRACTOR SHALL COORD. WITH ALL TRADES PRIOR TO START OF WORK.
 2. CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS PRIOR TO START OF WORK. IF ANY DISCREPANCIES ARE DISCOVERED, CONTRACTOR SHALL IMMEDIATELY NOTIFY ARCHITECT AND ENGINEER. CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION SCHEDULING, EQUIPMENT, MATERIALS, AND SITES WITH ALL TRADES PRIOR TO START OF WORK. CONTRACTOR SHALL COORDINATE WITH ALL TRADES.
 3. CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS PRIOR TO START OF WORK. IF ANY DISCREPANCIES ARE DISCOVERED, CONTRACTOR SHALL IMMEDIATELY NOTIFY ARCHITECT AND ENGINEER. CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION SCHEDULING, EQUIPMENT, MATERIALS, AND SITES WITH ALL TRADES PRIOR TO START OF WORK. CONTRACTOR SHALL COORDINATE WITH ALL TRADES.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FOR THE PROPOSED CONSTRUCTION WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS FOR THE PROPOSED CONSTRUCTION WORK.

- ### INSTALLATION KEYED NOTES - A100
1. COOPERATE WITH ALL TRADES AND MAINTAIN ACCESS TO ALL AREAS AND SERVICES.
 2. PROTECT WALLS, CEILING AND FINISHES.
 3. PROTECT ALL EXISTING UTILITIES AND SERVICES. ALL UTILITIES SHALL BE PROTECTED TO REMAIN IN PLACE AND OPERATIONAL. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO START OF WORK. CONTRACTOR SHALL COORDINATE WITH ALL TRADES TO PROTECT ALL UTILITIES AND SERVICES.
 4. COOPERATE WITH ALL TRADES AND MAINTAIN ACCESS TO ALL AREAS AND SERVICES.
 5. PROTECT EXISTING STRUCTURES, FINISHES AND SERVICES.
 6. PROTECT EXISTING STRUCTURES, FINISHES AND SERVICES.
 7. PROTECT EXISTING STRUCTURES, FINISHES AND SERVICES.
 8. PROTECT EXISTING STRUCTURES, FINISHES AND SERVICES.
 9. PROTECT EXISTING STRUCTURES, FINISHES AND SERVICES.
 10. PROTECT EXISTING STRUCTURES, FINISHES AND SERVICES.
 11. PROTECT EXISTING STRUCTURES, FINISHES AND SERVICES.
 12. PROTECT EXISTING STRUCTURES, FINISHES AND SERVICES.
 13. PROTECT EXISTING STRUCTURES, FINISHES AND SERVICES.
 14. PROTECT EXISTING STRUCTURES, FINISHES AND SERVICES.
 15. PROTECT EXISTING STRUCTURES, FINISHES AND SERVICES.
 16. PROTECT EXISTING STRUCTURES, FINISHES AND SERVICES.
 17. PROTECT EXISTING STRUCTURES, FINISHES AND SERVICES.
 18. PROTECT EXISTING STRUCTURES, FINISHES AND SERVICES.
 19. PROTECT EXISTING STRUCTURES, FINISHES AND SERVICES.
 20. PROTECT EXISTING STRUCTURES, FINISHES AND SERVICES.



Copyright Reserved

Permit-Stamp

Client/Project

City of Watertown

Watertown Municipal
 Arena

800 William T. Field Drive
 Watertown, NY 13601

Revision

ISSUE	DATE	BY	ISSUED FOR
1	01/21/15	AW	ISSUE FOR BIDDING
2	01/21/15	AW	ISSUE FOR BIDDING
3	01/21/15	AW	ISSUE FOR BIDDING

Submission ISSUED FOR BIDDING

Date: 01.21.15

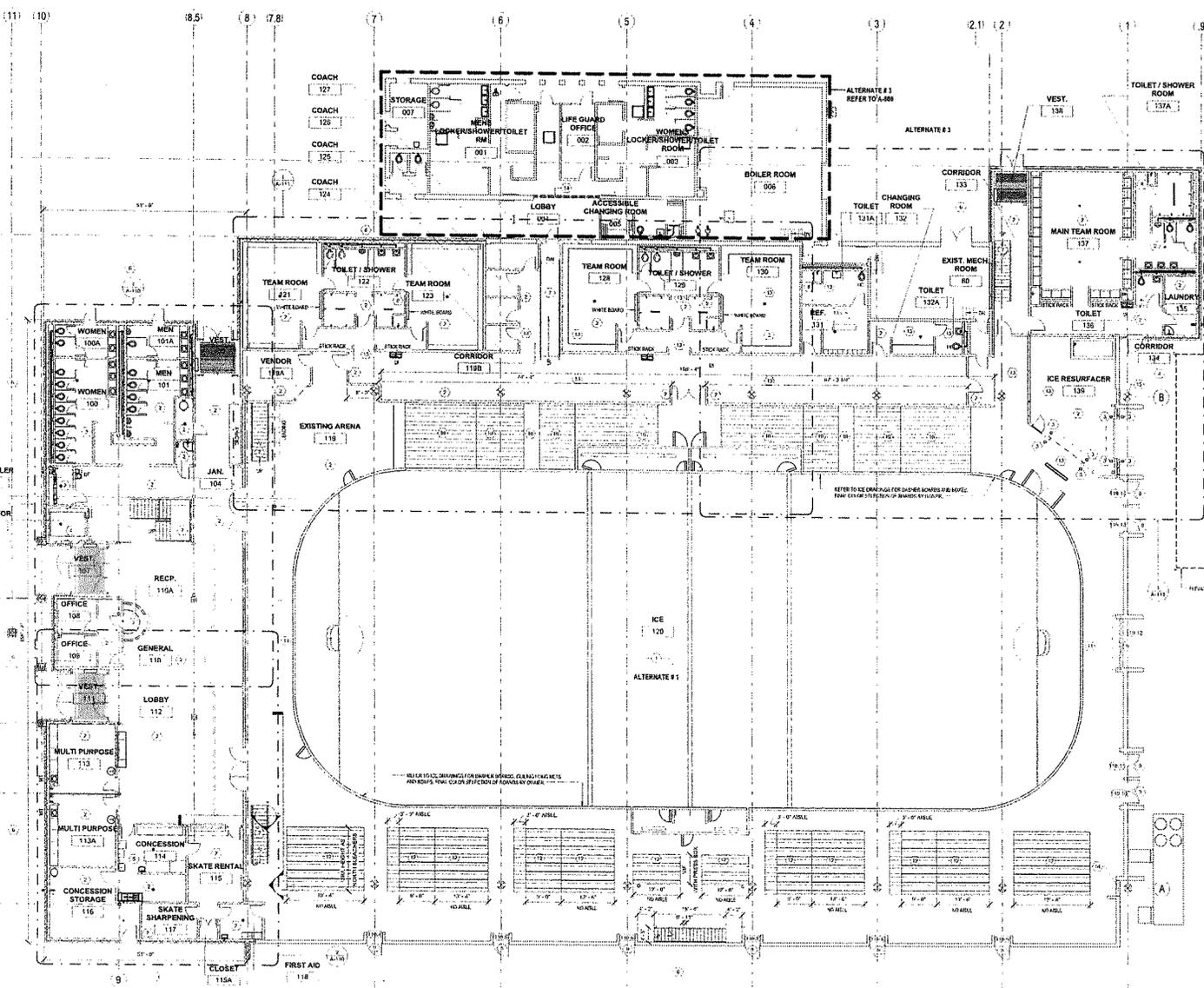
Title:

ARCHITECTURAL
 FIRST FLOOR
 INSTALLATION PLAN

Project No:
 19108-0204

Drawing No:

A-100



ARCHITECTURAL FIRST FLOOR PLAN
 SCALE: 3/32" = 1'-0"

EXHIBIT B

ABC Law Rules and Guidelines

- You must provide the City of Watertown with a copy of your license certificate at least 24 hours before the start of your event.
- You as the licensee are responsible for the activities of employees and patrons in all parts of the licensed premises, even if you are not always physically present, to ensure that the business is operating in accordance with the ABC Law.
- Your license certificate must be displayed so that it is in a conspicuous place inside the premises near the point of sale. Copies of the certificate for posting purposes are not acceptable.
- If you wish to make any changes in the structure of your corporation, or if you wish to change the individuals on the license, you must file the appropriate application and obtain approval from the Authority before making these changes.
- Appropriate books and records detailing purchases with invoices and the amount of each sale must be maintained at the premises and made available for inspection by SLA investigators.
- Bartenders, waitresses, waiters, hostesses and/or any persons who handle and receive payment for alcoholic beverages must be at least 18 years old.
- Bus persons and dishwashers who handle containers which have held alcoholic beverages must be at least 16 years old and must be directly supervised by someone at least 21 years old.
- According to Section 260.21 of the Penal Law, persons under the age of 16 must be accompanied by a parent or guardian to enter an on premises establishment.
- Alcoholic beverages must be consumed on the premises.
- Hours of sale are determined by the closing hours in the county where your establishment is located and your license/permit. Be sure you know the proper hours.
- You must have a valid bond in effect at all times.
- Purchases of alcoholic beverages must be made from duly licensed manufacturers and wholesalers. Purchases from retail stores or from any other retail licensee for resale are not permitted.
- Gambling of any type, either professional or social, is not permitted on any licensed premises. Exceptions are the sale of lottery tickets when licensed by the Division of the Lottery and bingo or games of chance when authorized by the State Racing and Wagering Board.
- Refilling or tampering with the contents of any container containing alcoholic beverages is not permitted.

- An alcoholic beverage must be dispensed from the container in which it was received from the wholesaler.
- Any plans to make major physical changes or to substantially alter the licensed premises in any way may require permission from the authority prior to construction.
- Patrons may consume drinks purchased before closing hours up until one-half hour after the legal closing hours.
- To prevent sales to minors, ask for proof. It is a crime to give or sell alcoholic beverages to anyone under the age of 21. You should instruct your employees to check for proof of age before selling any alcoholic beverages. Acceptable documents for identification:
 - Valid New York State driver's license or a valid driver's license from any other state or Canada.
 - Valid identification issued by the New York Department of Motor Vehicles (non-Driver ID card).
 - Valid United States military identification.
 - Valid passport or visa from the United States government or any other country.

<p>College ID OR Sheriff's ID Cards are <i>NOT</i> acceptable Proof of Age.</p>
--

- Have a written policy on what you expect from employees when making alcoholic beverage sales and post the policy for all employees to see.
- Post a "Date Born After" sign in close proximity to all cash registers.
- Establish an ongoing training and education program for all employees.
- Be sure your bartenders, wait staff and clerks understand that they can be arrested for selling alcoholic beverages to minors and/or intoxicated people.
- Support your employees when they refuse to make a sale.
- Encourage responsible drinking when advertising your establishment. Do not use advertising and/or promotions which are designed as inducements for teenagers to drink.

Recognize the signs of intoxication

Slurred speech

Mood swings

The smell of alcohol

Loud, abusive, profane language

Staggering or falling



**CITY OF WATERTOWN, NEW YORK
PARKS & RECREATION DEPARTMENT**

Watertown Municipal Arena
600 William T. Field Drive
Watertown, New York 13601
parksrec@watertown-ny.gov
Phone (315) 785-7775 • Fax (315) 785-7776



ERIN E. GARDNER
Superintendent

5/10/2016

To: Ms. Sharon Addison, City Manager

From: Erin E. Gardner, Superintendent of Parks and Recreation

Subject: Wolves Franchise Agreement for 2016-2017 Hockey Season

As Superintendent of the City of Watertown Parks and Recreation Department, I recommend that we enter into a franchise agreement with Top Shelf Hockey, INC. for the 2016-2017 hockey season. The positive relationship between the Watertown Wolves and the Parks and Recreation Department is one of the many reasons for this recommendation. I'm certain that the Watertown Wolves fans will be ecstatic to have their team back home at the newly renovated City of Watertown Municipal Ice Arena for the 2016-2017 hockey season. I will be available at the Council Meeting to answer questions.

Ord No. 1

May 10, 2016

To: The Honorable Mayor and City Council

From: Michael A. Lumbis, Planning and Community Development Director

Subject: Changing the Approved Zoning Classification of the south section of 1552 State Street, Parcel Number 12-16-113.000, from Residence B to Neighborhood Business

Edward G. Olley Jr., AIA of GYMO, DPC, on behalf of James Petersen of Fast Lube of Watertown, has submitted the above subject zone change request.

The Planning Board reviewed the request at its May 3, 2016 meeting and unanimously adopted a motion recommending that City Council approve the zone change request as submitted. Attached is an excerpt from its meeting minutes.

The Staff Report prepared for the Planning Board was previously sent to the City Council as part of the Planning Board agenda package. The report and the complete application package can also be found in the online version of the City Council agenda.

The ordinance attached for City Council consideration approves the zone change as requested. The City Council must hold a public hearing on the ordinance before it may vote. It is recommended that a public hearing be scheduled for 7:30 pm on Monday, June 6, 2016. A SEQRA resolution will be presented for City Council consideration at that meeting.

ORDINANCE

Page 1 of 1

Changing the Approved Zoning Classification of the south section of 1552 State Street, Parcel Number 12-16-113.000, from Residence B to Neighborhood Business

Council Member HORBACZ, Cody J.

Council Member JENNINGS, Stephen A.

Council Member MACALUSO, Teresa R.

Council Member WALCZYK, Mark C.

Mayor BUTLER, Jr., Joseph M.

Total

YEA	NAY

Introduced by

BE IT ORDAINED where Edward G. Olley Jr., AIA of GYMO, DPC, on behalf of James Petersen of Fast Lube of Watertown, has made an application by petition filed with the City Clerk, pursuant to Section 83 of the New York General City Law to change the approved zoning classification of the south section of 1552 State Street, Parcel Number 12-16-113.000, from Residence B to Neighborhood Business, and

WHEREAS the Planning Board of the City of Watertown considered the zone change request at its May 3, 2016 meeting and unanimously adopted a motion recommending that City Council approve the zone change, and

WHEREAS a public hearing was held on the proposed zone change on June 6, 2016, after due public notice, and

WHEREAS the City Council has made a declaration of Negative Findings of the impacts of the proposed zone change according to the requirements of SEQRA, and

WHEREAS the City Council deems it in the best interest of the citizens of the City of Watertown to approve the requested zone change,

NOW THEREFORE BE IT ORDAINED that the approved zoning classification of the south section of 1552 State Street, Parcel Number 12-16-113.000, shall be changed from Residence B to Neighborhood Business District, and

BE IT FURTHER ORDAINED that the Zoning Map of the City of Watertown shall be amended to reflect the zone change, and

BE IT FURTHER ORDAINED this amendment to the Zoning Ordinance of the City of Watertown shall take effect as soon as it is published once in the official newspaper of the City of Watertown, or otherwise printed as the City Manager directs.

Seconded by

ZONE CHANGE
SOUTH SECTION of 1552 STATE STREET – PARCEL # 12-16-113.000
RESIDENCE B to NEIGHBORHOOD BUSINESS

The Planning Board then considered a zone change request submitted by Edward G. Olley Jr., AIA of GYMO, DPC, on behalf of James Petersen of Fast Lube of Watertown, to change the approved zoning classification of the south section of 1552 State Street, Parcel Number 12-16-113.000 from Residence B to Neighborhood Business.

Mr. Olley and Mr. Petersen were in attendance to represent this request.

Mr. Olley began by saying that the purpose of the request was to create the opportunity to apply at a future Planning Board meeting for site plan approval for a proposed parking lot expansion on the property. Mr. Olley said that he tried to depict on a preliminary site plan how the proposed expansion would look. He then asked if the Planning Board had any questions for him regarding Staff's comments.

Mr. Coburn asked why this application was in front of the Planning Board and not the Zoning Board of Appeals. Mr. Urda replied that the applicant was seeking a zone change, not a variance, and that zone change applications must go before the City Council with a recommendation from the Planning Board.

Ms. Capone asked if the request was consistent with the adopted Land Use Plan. Mr. Lumbis replied in the affirmative.

Mr. Neddo then moved to recommend that City Council approve the zone change request submitted by Edward G. Olley Jr., AIA of GYMO, DPC, on behalf of James Petersen of Fast Lube of Watertown, to change the approved zoning classification of the south section of 1552 State Street, Parcel Number 12-16-113.000 from Residence B to Neighborhood Business.

Ms. Fields seconded the motion and all voted in favor.



ARCHITECTURE
ENGINEERING
ENVIRONMENTAL
LAND SURVEYING

April 19, 2016

Honorable Mayor and City Council
City of Watertown
ATTN: ENGINEERING DEPT.
245 Washington St, Room 305
Watertown, NY 13601

Re: Fast Lube of Watertown
Zone Change Application
File: 89-191a

Dear Honorable Mayor and City Council:

On behalf of James Petersen, I write to request a zone change of the back 52' of property for 1552 State Street (Tax Parcel#: 12-16-113.000) from Residential B to Neighborhood Business. Currently, the front 100' of the property is zoned Neighborhood Business. This parcel then would all be Neighborhood Business.

In the future the owner would like to park on the property. He wishes to remove an existing landscape buffer located in the middle of the property and install a new buffer 15' wide at the side of the property adjacent to the residence at 114 South Pearl Ave. This landscape buffer is consistent with site plan landscape and buffer zone guidelines. The owner will also install a 6' high wooden fence at the side of the property.

Included in this submission are an application fee of \$100.00 and 15 complete sets of this application including this cover letter, Copy of the Deed, Tax Map, Short Environmental Assessment Form Part I, and Proposed Land Use Plan.

If you have any questions, or require any additional information, please let me know.

Sincerely,
GYMO Architecture, Engineering & Land Surveying, D.P.C.

Edward G. Olley Jr., AIA
Principal, Director of Architecture

Edward G. Olley, Jr., AIA
William P. Plante, PLS
Patrick J. Scordo, PE
Ryan G. Churchill, PE
Scott W. Soules, AIA

Gregory F. Ashley, PLS
Hayward B. Arthur III, MPS
Brandy W. Lucas, MBA
Howard P. Lyndaker III, PLS

In Consultation
Leo F. Gozalkowski, PLS
Stephen W. Yaussi, AIA



JoAnn M. Wilder, Clerk
175 Arsenal Street
Watertown, NY 13601
(315) 785-3081

Jefferson County Clerk Recording Cover Sheet

Received From :
CAPONE LAW FIRM
OFFICE MAILBOX
420 WOOLWORTH BLDG
WATERTOWN, NY 13601

Return To :
CAPONE LAW FIRM
OFFICE MAILBOX
420 WOOLWORTH BLDG
WATERTOWN, NY 13601

First GRANTOR

LIVINGSTON, ROY A

First GRANTEE

PETERSEN, JAMES

Index Type : Land Records

File Number : 2007-00012927

Type of Transaction : Deed - (Other Property)

Recording Fee : \$215.00

Recording Pages : 5

The Property affected by this instrument is situated in Watertown-City Of, in the County of Jefferson, New York

Real Estate Transfer Tax

RETT # : 4694

Deed Amount : \$75,000.00

RETT Amount : \$300.00

Total Fees : \$515.00

State of New York

County of Jefferson

I hereby certify that the within and foregoing was recorded in the Clerk's office for Jefferson County, New York

On (Recorded Date) : 07/26/2007

At (Recorded Time) : 1:32:26 PM



Doc ID - 003241120005

JoAnn M. Wilder, Clerk



This sheet constitutes the Clerk's endorsement required by section 319 of Real Property Law of the State of New York and conforms to Jefferson County local Law. THIS PAGE IS PART OF YOUR DOCUMENT AND IS NOT A BILL, ALL FEES HAVE BEEN PAID.

Record & Return before law firm

Form 1583S N.Y. DEED-WARRANTY with Lien Covenant

THIS INDENTURE, Made this 24th day of July, Two Thousand Seven (2007)

Between **ROY A. LIVINGSTON** residing at 1020 Gardner Drive, Watertown, New York 13601, **party of the first part,**

and

JAMES PETERSEN, residing at 1272 Gotham Street, Watertown, New York, 13601, **party of the second part,**

Witnesseth that the party of the first part, in consideration of One Dollar and Zero Cents, (\$1.00) lawful money of the United States, and other good and valuable consideration, paid by the party of the second part, does hereby grant and release unto the party of the second part, his heirs, successors and assigns forever,

See Schedule "A" hereto annexed and incorporated into this Deed for reference consisting of two (2) pages.

Together with the appurtenances and all the estate and rights of the party of the first part in and to said premises,

To have and to hold the premises herein granted unto the party of the second part, his heirs, successors and assigns forever.

And said party of the first part covenants as follows:

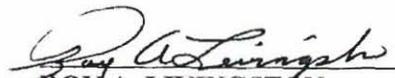
First, That the party of the second part shall quietly enjoy the said premises;

Second, That said party of the first part will forever **Warrant** the title to said premises.

Third, That, in Compliance with Sec. 13 of the Lien Law, the grantor will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose.

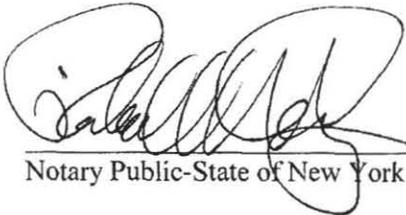
IN WITNESS WHEREOF, the party of the first part has hereunto set her hands the day and year first above written.

IN PRESENCE OF


ROY A. LIVINGSTON

STATE OF NEW YORK)
) ss:
COUNTY OF JEFFERSON)

On the 24th day of July, in the year 2007, before me the undersigned, a Notary Public in and for the State, personally appeared, **ROY A. LIVINGSTON**, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individuals, or the persons upon behalf of which the individuals acted, executed the instrument.


Notary Public-State of New York

Richard M. Capone
Notary Public, State of New York
No. 02CA0558350
Qualified in Jefferson County
Commission Expires Oct. 31, 2009

SCHEDULE "A"

ALL that CERTAIN LOT, PIECE OR PARCEL OF LAND, situate, lying and being in the City of Watertown, County of Jefferson and State of New York, bounded and described as follows, to wit:

Being lots number one (1) and two (2) of the John A. Reese Addition to the City of Watertown, as shown on a map of said addition filed in the Jefferson County Clerk's Office February 20, 1901, in Book of Maps No. 2, page 29, to which map reference is hereby made for a more particular description. Said lot being a portion of the land conveyed to said John A. Reese by Orilla Weaver by deed dated September 25, 1984, and recorded in Jefferson County Clerk's Office September 26, 1984 in Liber 276 at page 340.

SAID LOT No. 1 is known as 1548 State Street and Tax Parcel No. 12-16-112. Said Lot No. 2 is known as 1552 State Street and Tax Parcel No. 12-16-113. Said Lot No. 1 was conveyed to the grantor by deed from Michael J. Flanigan and wife by deed dated April 25, 1946, and recorded in Liber 457 of Deeds at Page 360. Said Lot No. 2 was conveyed to the grantor by deed from Ambrose Gormley and Co., Inc. dated August 9, 1957 and recorded in Liber 652 of Deeds at Page 191.

BEING AND INTENDING TO DESCRIBE the premises conveyed by warranty deed from Arthur C. Moore to Gale T. Keyes and Helen C. Keyes, his wife, dated June 30, 1986 and recorded in the Jefferson County Clerk's Office on July 3, 1986 in Book No. 1028 of Deeds at Page 92.

ALSO ALL THAT TRACT OR PARCEL OF LAND situate in the City of Watertown, County of Jefferson and State of New York, known and designated as Lot No. 3 of the John A. Reese Addition to the City of Watertown, as shown on a map of said addition filed in Jefferson County Clerk's Office February 20, 1901, in Book of Maps No. 2, at page 29, to which map referenced is hereby made for a more particular description.

BEING the premises known as 110 South Pearl Avenue, Watertown, New York.

BEING AND INTENDING to describe the same premises as were conveyed by Ralph E. Smith by warranty deed dated August 19, 1986 to Gale T. Keyes and Helen Keyes and recorded in the Jefferson County Clerk's Office on August 21, 1986 in Book No. 1035 of Deeds at Page 189.

Being more accurately described by recent survey performed by GYM0 May 22, 1997, as follows:

ALL that tract or parcel of land situate in the City of Watertown, County of Jefferson, State of New York and further described as follows:

BEGINNING at the intersection of the southerly street margin of State Street and the westerly street margin of South Pearl Avenue;

THENCE S.28°-11'W. along the westerly street margin of South Pearl Avenue a distance of 152.00 feet to an iron pin found;

THENCE N.61°-49'W. a distance of 108.00 feet to an iron pipe set;

THENCE N.28°-11'E. a distance of 152.00 feet to an iron pipe found in the southerly street margin of State Street;

THENCE S.61°-49'E. along the southerly street margin of State Street a distance of 108.00 feet to the point of beginning.

CONTAINING 0.377 acres of land more or less.

BEING THE SAME PREMISES conveyed by Roy A. Livingston to James Petersen and Roy A. Livingston by Warranty Deed dated July 7, 1995, and recorded in the Jefferson County Clerk's Office in Book 1463 of Deeds at Page 071.

Also known as 1552 State Street and Keys Avenue, Tax Map Number 12-0016-113.000.

ALSO,

ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate,

lying and being in the City of Watertown, County of Jefferson, State of New York, bounded and described as follows: Beginning at a cross cut in a cement walk in the westerly line of Le Ray Street, said cross being 3.52 ft. distant on a N.47° 50' E. course from the intersection of said westerly line of Le Ray Street with the northerly line of Main Street West as now established, and running thence from said cross and place of beginning on a N.30°41'W. course 136.58 ft. to an iron pipe; thence at an interior angle of 90°18' with said last mentioned course on a N. 59°01'E. course 94.50 ft. to an iron pipe; thence at an interior angle of 99°01' with said last mentioned course on a S.40°00' E. course 115.60 ft. to an iron pipe situate in the westerly line of Le Ray Street; thence at an interior angle of 92°10'; with said last mentioned course on a S.47°50'W. course 115.5 ft. along the westerly line of Le Ray Street to said cross cut in said cement walk and place of beginning.

Also all that tract or parcel of land situate in the City of Watertown, County of Jefferson and State of New York, bounded and described as follows: Beginning at a cross cut in a cement walk in the westerly line of Le Ray Street, said cross being 3.52 ft. distant on a N. 47°50'E. course from the intersection of said westerly line of Le Ray Street with the northerly line of Main Street West as now established, and running thence from said cross and place of beginning on a N. 30°41'W. course 136.58 ft. to an iron pipe; thence at an interior angle of 89°42' with said last mentioned course on a S. 59°01'W. course 4.65 feet to the northerly line of Main Street West as now established; thence at an interior angle of 89°48' with said last mentioned course on a S.31°11'E. course 137.28 ft. along the northerly line of Main Street West as now established to the westerly line of Le Ray Street; thence at an interior angle of 79°01' to said last mentioned course on a N.47°50'E. course 3.52 ft. along the westerly line of Le Ray Street to the said cross cut in said cement walk and place of beginning.

TOGETHER WITH all the right, title and interest of the party of the first part in and to all lands lying between the southerly line of the parcel herein last described and the center line of Main Street West and between the easterly and westerly lines of said last described parcel prolonged to the center line of Main Street West, also all the right, title and interest of the party of the first part in and to so much of Le Ray Street as lies between the easterly lines of the premises described in this deed and the center line of said Le Ray Street and between the northerly line prolonged to the center of Le Ray Street of the parcel first described and the center line of Main Street West prolonged to the center line of Le Ray Street.

The premises conveyed herein are the same premises set forth on a certain survey map dated May 22, 1923 and made by Cronin & Hopstein, Civil Engineers, and filed in the Jefferson County Clerk's Office on the 26th day of June 1923.

EXCEPTING premises appropriated by the State of New York by Notice of Appropriation dated April 16, 1992, and recorded on that date in the Jefferson County Clerk's Office at Liber 1298 of Deeds at page 7.

SUBJECT to an easement granted to Niagara Mohawk Power Corporation and New York Telephone Co., dated October 18, 1992, and recorded in the Jefferson County Clerk's Office on January 5, 1993, in Liber 1329 of Deeds at page 314.

BEING THE SAME PREMISES conveyed by Frederick J. Lava to Roy A. Livingston by Warranty Deed dated July 6, 1995, and recorded in the Jefferson County Clerk's Office on July 12, 1995, in Liber 1463 of Deeds at Page 66.

Also known as 500 West Main Street, Tax Map # 1-0001-122.000.

BOTH PARCELS BEING SUBJECT TO AN INDEBTEDNESS SECURED BY A MORTGAGE UPON SAID PREMISES HELD BY COMMUNITY BANK, N.A.



Subject Parcel

Prepared by
City of Watertown GIS
 For
City of Watertown
 Assessment Department

For Tax Purposes Only
 Not to be Used for Conveyance

No Map Changes

- | | | | |
|---|--------------------------|-----|------------------|
| — | Property Line | + | Coordinate Grid |
| — | Historic Property Line | 123 | Parcel ID |
| — | Building Outline | 124 | Assessment ID |
| — | Railroad | | Indicates |
| — | City Boundary | | informally |
| — | School District Boundary | | combined parcels |



Tax Map
City Of Watertown
 Jefferson County, NJ
 Section 12 Block 16
 Printed Date: 2/9/2016

Short Environmental Assessment Form

Part 1 - Project Information

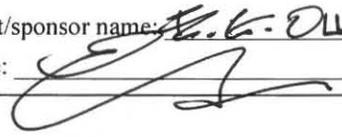
Instructions for Completing

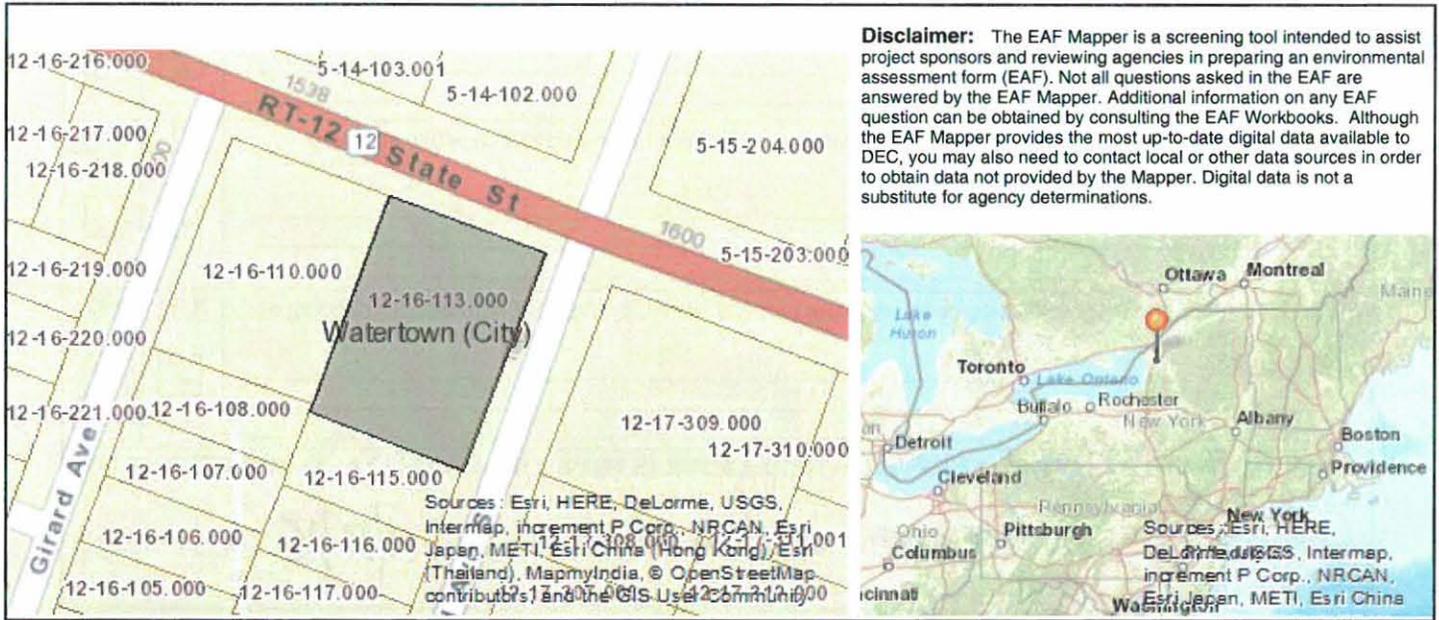
Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

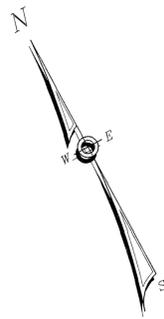
Part 1 - Project and Sponsor Information			
Fast Lube of Watertown			
Name of Action or Project: Zone Change			
Project Location (describe, and attach a location map): 1552 State Street, Watertown, NY 13601			
Brief Description of Proposed Action: To request a zone change of the back 52' of property for 1552 State Street (Tax Parcel#: 12-16-113.000) from Residential B to Neighborhood Business. Currently, the front 100' of the property is zoned Neighborhood Business. This parcel then would all be Neighborhood Business. In the future the owner would like to park on the property. He wishes to remove an existing landscape buffer located in the middle of the property and install a new buffer 15' wide at the side of the property adjacent to the residence at 114 South Pearl Ave. This landscape buffer is consistent with site plan landscape and buffer zone guidelines. The owner will also install a 6' high wooden fence at the side of the property.			
Name of Applicant or Sponsor: GYMO Architecture, Engineering & Land Surveying		Telephone: 315-782-8432 E-Mail: ed@gymopc.com	
Address: 1220 Sterling Street			
City/PO: Watertown		State: NY	Zip Code: 13601
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/> YES <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/> YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action? .38 +/- acres			
b. Total acreage to be physically disturbed? .067 +/- acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? .38 +/- acres			
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input checked="" type="checkbox"/> Other (specify): <u>Neighborhood Business</u>			
<input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation service(s) available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: NA	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places? b. Is the proposed action located in an archeological sensitive area?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
16. Is the project site located in the 100 year flood plain?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: <input type="checkbox"/> NO <input type="checkbox"/> YES	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

<p>18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)?</p> <p>If Yes, explain purpose and size: _____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?</p> <p>If Yes, describe: _____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?</p> <p>If Yes, describe: _____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p> <p>Applicant/sponsor name: <u>A.G. O'LEARY JR. AIA</u> Date: <u>4/19/18</u></p> <p>Signature: <u></u></p>		



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National Register of Historic Places]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 16 [100 Year Flood Plain]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
Part 1 / Question 20 [Remediation Site]	No



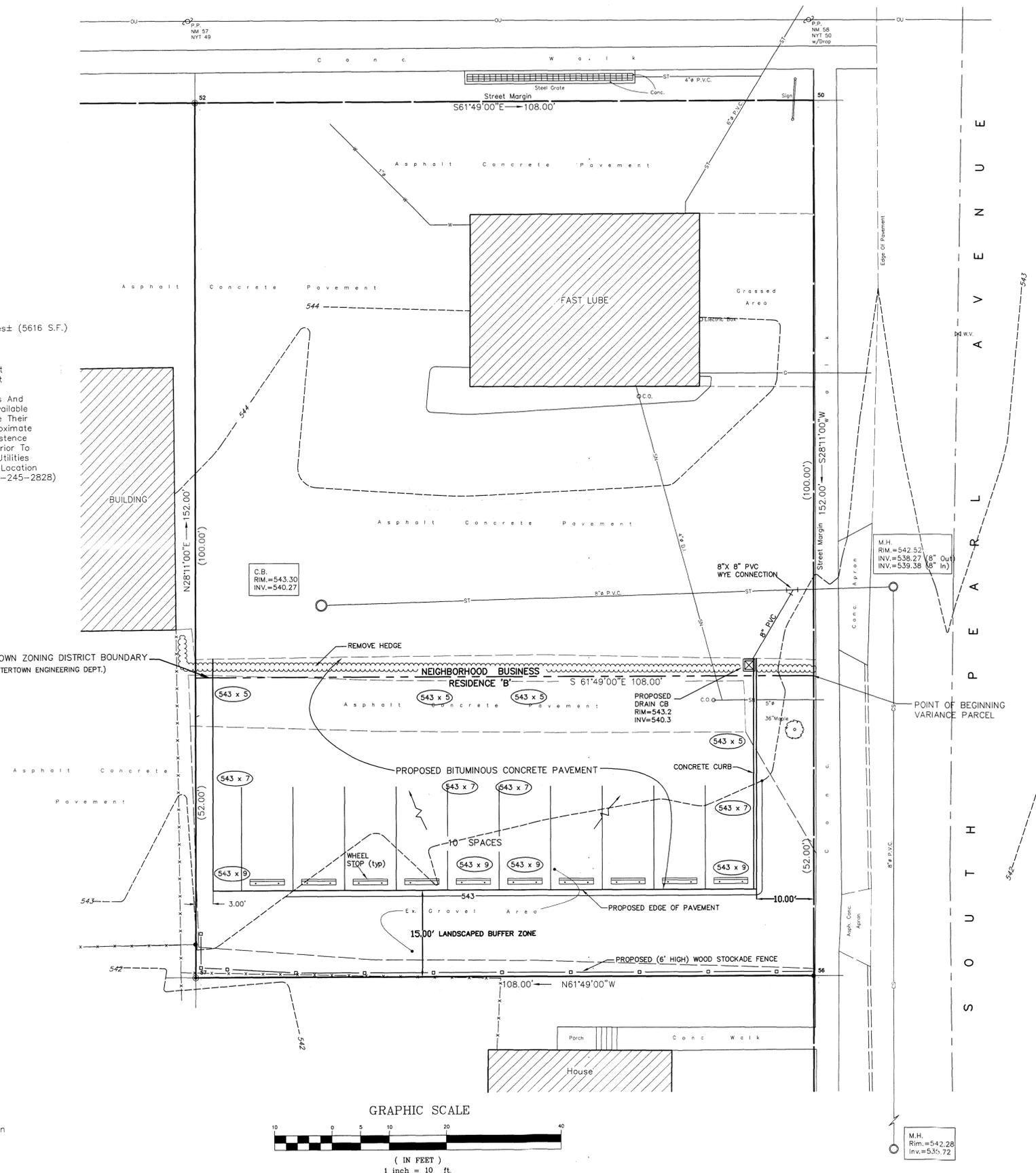
S T A T E S T R E E T

DEED REFERENCE

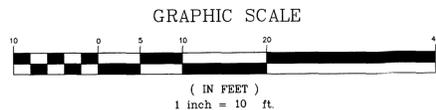
Helen C. Keyes
to
Donald H. Sawyer, Roy A. Livingston
& James Petersen
L.1173 P.119 R'd.5/30/1989
Area Of Parcel=0.377 Acres±
Area Of Variance Parcel=0.129 Acres± (5616 S.F.)

NOTE:

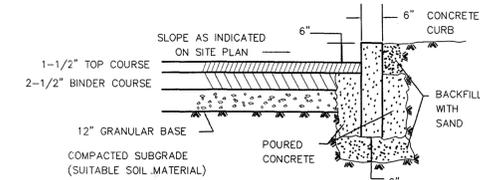
1. This Survey Was Prepared Without The Benefit Of An Updated Abstract Of Title.
2. Underground Facilities, Structures And Utilities Have Been Plotted From Available Surveys And Records, And Therefore Their Locations Must Be Considered Approximate Only. There May Be Others, The Existence Of Which Is Presently Not Known. Prior To Construction Contact Underground Utilities Call Center Of New York For Exact Location Of All Underground Utilities. (1-800-245-2828)



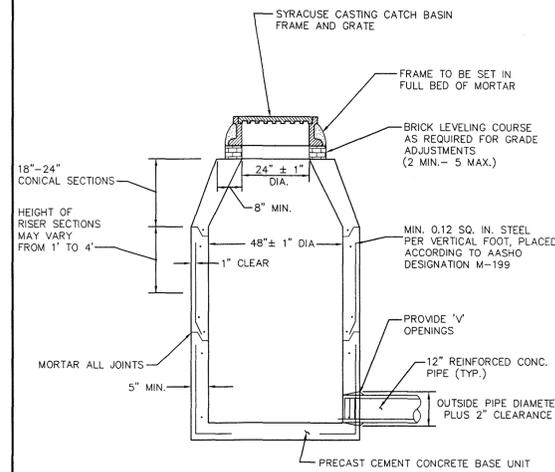
- LEGEND**
- - Iron Pipe Set
 - - Iron Pipe Found
 - P.P. - Power Pole
 - C.O. - Clean Out
 - W.V. - Water Valve
 - C.B. - Catch Basin
 - M.H. - Manhole
 - x --- Fenceline
 - Shrubs
 - Concrete Curb
 - W - Water Line
 - G - Natural Gas Line
 - ST - Storm Sewer
 - SN - Sanitary Sewer
 - OU - Overhead Utility Line
 - CS - Combined Sewer
 - (543 x 9) Proposed Finish Elevation



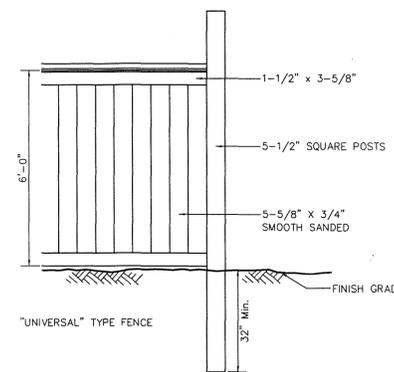
Benchmark:
Top of Brass Plate
Elev.= 543.36
City Monument



TYPICAL PAVEMENT DETAIL
- NOT TO SCALE -



PRECAST CONCRETE CATCH BASIN
NOT TO SCALE



STOCKADE FENCE DETAIL
NOT TO SCALE

230 Sterling Street
Watertown, NY 13601
Tel: (518) 786-3906
www.gymopc.com

ARCHITECTURE
ENGINEERING
LAND SURVEYING

REGISTERED ARCHITECT
GEORGE EILEY JR.
STATE OF NEW YORK
No. 021582

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& LAND SURVEYING, P.C.

IT IS A VIOLATION OF SECTION 2209,
SUBDIVISION 2 OF THE NEW YORK STATE
EDUCATION LAW FOR ANY PERSON,
UNLESS ACTING UNDER THE DIRECTION OF
A LICENSED PROFESSIONAL ENGINEER OR
LAND SURVEYOR TO ALTER THIS
DOCUMENT IN ANY WAY. IF ALTERED,
SUCH LICENSEE SHALL, AFTER HIS OR HER
SEAL AND THE NOTATION "ALTERED BY"
FOLLOWED BY HIS OR HER SIGNATURE,
DATE AND A SPECIFIC DESCRIPTION OF
ALTERATION.

PROPOSED LAND USE PLAN
FAST LUBE OF WATERTOWN
1552 STATE STREET
WATERTOWN, NEW YORK 13601

Project No: 89-191A
Scale: AS NOTED
Date: 4-19-16
Drawn By:
Designed By:
Checked By: EGO
Date Issued: 4-19-16
Drwg. No.

C-101



MEMORANDUM

CITY OF WATERTOWN, NEW YORK – PLANNING OFFICE
245 WASHINGTON STREET, ROOM 304, WATERTOWN, NY 13601
PHONE: 315-785-7730 – FAX: 315-782-9014

TO: Planning Board Members

FROM: Michael A. Lumbis, Planning and Community Development Director

SUBJECT: Zone Change – 1552 State Street

DATE: April 28, 2016

Request: To change the approved zoning classification of the south section of 1552 State Street, Parcel Number 12-16-113.000, from Residence B to Neighborhood Business.

Applicant: Edward G. Olley, AIA, of GYMO, DPC on behalf of James Petersen of Fast Lube of Watertown

Owner: James Petersen

SEQRA: Unlisted

County review: Not required

Comments: The applicant is requesting a zone change for the subject parcel to allow him to use the rear portion of the parcel for parking. The parcel, which is at the corner of State Street and Pearl Avenue South, is currently split-zoned. The northern two-thirds of the parcel, fronting on State Street is already zoned Neighborhood Business. The southern third of the parcel is currently zoned Residence B, as are all of the other parcels on Pearl Avenue South.

The applicant wishes to change the zoning of the south section of the parcel so that the entire parcel would be zoned Neighborhood Business. The applicant would like to make this change so that Fast Lube of Watertown could utilize the southern third of the parcel for customer parking, which is not an allowed use in a Residence B District.

Much of the southern third of the parcel currently consists of crushed stone. An existing landscape buffer divides the Residence B section of the parcel from the Commercial section.

If the City Council approves the zone change request, the applicant proposes to remove the existing crushed stone, pave approximately 3,515 square feet of asphalt, and stripe 10 parking spaces. The applicant also proposes to remove the landscape buffer and install a new 15-foot wide buffer and a six-foot high wood stockade fence at the southern edge of the parcel. The proposed parking lot and related construction would require Site Plan Approval.

The applicant has indicated his intent to apply for Site Plan Approval at a future Planning Board meeting, pending approval of the zone change request.

SEQR: The applicant indicates in his response to Question 8b of Part 1 of the SEQR Short Environmental Assessment Form (EAF) that there is no public transportation service on or near the site of the proposed action. This is inaccurate, as the A-1 bus passes directly in front of the site on State Street. The applicant should change the answer to Question 8b to “yes” to reflect the presence of this bus route.

The applicant indicates in his response to Question 8c that there are no pedestrian accommodations on or near the site of the proposed action. This is inaccurate, as there are sidewalks on both sides of State Street and Pearl Avenue South. The applicant should change the answer to Question 8c to “yes” to reflect the presence of these facilities.

The applicant indicates in his response to Question 12b that the proposed action is located in an archeological sensitive area. The applicant should provide a letter from the New York State Historic Preservation Office (SHPO) that determines whether the proposed project has the potential to affect any archeological resources.

The applicant indicates in his response to Question 15 that the site may contain endangered or threatened species or their associated habitats. This issue should also be investigated further and additional information should be provided to address this issue. The applicant shall contact the New York State Department of Environmental Conservation (DEC), and provide copies of all correspondence between the applicant and DEC and a letter indicating DEC’s opinion on the matter.

Land Use Plan: The City’s adopted Land Use Plan designates the use of the entire parcel as Neighborhood Business. Therefore, the proposed zone change for the rear portion of the parcel would be consistent with the Land Use Plan.

cc: City Council Members
Brian Drake, Civil Engineer II
Edward G. Olley, Jr., AIA, GYMO, DPC, 220 Sterling Street, Watertown, NY 13601
James Petersen, Fast Lube of Watertown, 1552 State Street, Watertown, NY 13601

ZONE CHANGE
SOUTH SECTION of 1552 STATE STREET – PARCEL # 12-16-113.000
RESIDENCE B to NEIGHBORHOOD BUSINESS

The Planning Board then considered a zone change request submitted by Edward G. Olley Jr., AIA of GYMO, DPC, on behalf of James Petersen of Fast Lube of Watertown, to change the approved zoning classification of the south section of 1552 State Street, Parcel Number 12-16-113.000 from Residence B to Neighborhood Business.

Mr. Olley and Mr. Petersen were in attendance to represent this request.

Mr. Olley began by saying that the purpose of the request was to create the opportunity to apply at a future Planning Board meeting for site plan approval for a proposed parking lot expansion on the property. Mr. Olley said that he tried to depict on a preliminary site plan how the proposed expansion would look. He then asked if the Planning Board had any questions for him regarding Staff's comments.

Mr. Coburn asked why this application was in front of the Planning Board and not the Zoning Board of Appeals. Mr. Urda replied that the applicant was seeking a zone change, not a variance, and that zone change applications must go before the City Council with a recommendation from the Planning Board.

Ms. Capone asked if the request was consistent with the adopted Land Use Plan. Mr. Lumbis replied in the affirmative.

Mr. Neddo then moved to recommend that City Council approve the zone change request submitted by Edward G. Olley Jr., AIA of GYMO, DPC, on behalf of James Petersen of Fast Lube of Watertown, to change the approved zoning classification of the south section of 1552 State Street, Parcel Number 12-16-113.000 from Residence B to Neighborhood Business.

Ms. Fields seconded the motion and all voted in favor.

Public Hearings – 7:30 p.m.

May 10, 2016

To: The Honorable Mayor and City Council
From: Sharon Addison, City Manager
Subject: Public Hearings for 2016-17 Operating Budgets and 2016-17 through
2020-21 Capital Budget

As part of the Budget review process, the City provides the public with an opportunity to voice their opinions about the Proposed Budgets, both Operating and Capital. Public Hearings on the Proposed Budgets, as well as the Local Law to override the tax levy limit have been scheduled as follows:

Monday, May 16, 2016

7:30 p.m.	2016-17 Operating Budgets
7:30 p.m.	2016-17 through 2020-21 Capital Budget
7:30 p.m.	Local Law No. 1 of 2016 – A Local Law overriding the tax Levy limit established by New York General Municipal Law §3-c

LOCAL LAW

Page 1 of 2

A Local Law overriding the tax levy limit established by New York General Municipal Law §3-c

Council Member HORBACZ, Cody J.
 Council Member JENNINGS, Stephen A.
 Council Member MACALUSO, Teresa R.
 Council Member WALCZYK, Mark C.
 Mayor BUTLER, Jr., Joseph M.
 Total

YEA	NAY

Introduced by

Mayor Joseph M. Butler Jr.

A local law to override the tax levy limits established by New York General Municipal Law §3-c.

WHEREAS, the City Council of the City of Watertown desires to override the limit on the amount of real property taxes that may be levied by the City of Watertown pursuant to General Municipal Law §3-c, and to allow the City of Watertown to adopt a budget for the fiscal year beginning July 1, 2016 and ending June 30, 2017 that requires a real property tax levy in excess of the "tax levy limit" as defined by General Municipal Law §3-c; and

WHEREAS, such override is authorized by the provisions of subdivision 5 of General Municipal Law §3-c, which expressly authorizes the City Council to override the tax limit by adoption of a local law approved by a vote of at least sixty percent (60%) of the City Council.

WHEREAS a public hearing on this was held on May 16, 2016, at 7:30 p.m. in the City Council Chambers;

BE IT ENACTED BY THE CITY COUNCIL OF THE CITY OF WATERTOWN, NEW YORK AS FOLLOWS:

Tax Levy Limit Override: The City Council of the City of Watertown, County of Jefferson is hereby authorized to adopt a budget for the fiscal year 2016-2017 that requires a real property tax levy in excess of the amount otherwise prescribed in General Municipal Law §3-c.

Severability: If any clause, sentence, paragraph, subdivision, or part of this Local Law or the application thereof to any person, individual, firm or corporation, or circumstance, shall be adjudicated by any court of competent jurisdiction to be invalid or unconstitutional, such order or judgment shall not affect, impair, or invalidate the remainder thereof, but shall be confined in its operation to the clause, sentence, paragraph, subdivision, or part of this Local Law or in its application to the person, individual, firm or corporation or circumstance, directly involved in the

LOCAL LAW

Page 2 of 2

A Local Law overriding the tax levy limit established by New York General Municipal Law §3-c

Council Member HORBACZ, Cody J.
 Council Member JENNINGS, Stephen A.
 Council Member MACALUSO, Teresa R.
 Council Member WALCZYK, Mark C.
 Mayor BUTLER, Jr., Joseph M.

Total

YEA	NAY

controversy in which such judgment or order shall be rendered.

Effective Date: This local law shall take effect immediately upon filing with the Secretary of State.

Seconded by Council Member Teresa R. Macaluso

May 9, 2016

To: The Honorable Mayor and City Council
From: Sharon Addison, City Manager
Subject: NYS DEC MS4 Stormwater Coalition Annual Report

The attached report has been prepared by Jefferson County Soil and Water Conservation District on behalf of the Jefferson County Stormwater Coalition. This draft has been available for the public to view on our website, with notification being published in the official newspaper of the City of Watertown.

The public comment period on this draft is open until close of business on May 23, 2016. The public is welcome to comment at tonight's Council Meeting on this subject.

At the close of the public comment period, this draft will be signed and returned to the Jefferson County Soil and Water Conservation District with all relevant comments for formal submission by them to the NYS DEC.

To: Jefferson County Stormwater Coalition

Re: NYS DEC MS4 Stormwater Coalition Annual Report

Dear Stormwater Coalition Members,

Attached to this letter is the NYS Department of Environmental Conservation MS4 Annual Report for the 2015-2016 reporting year. You need to do the following to meet the requirements of the NYS DEC permit:

Part VII.A.2. Annual Report Presentation

Below are the requirements for the annual report presentation:

- i. Prior to submitting the final annual report to the Department, by June 1 of each reporting year, present the draft report in a format that is open to the public, where the public can ask questions about and make comments on the report. This can be done:*
 - At a meeting that is open to the public, where the public attendees are able to ask questions about and make comments on the report. This may be a regular meeting of an existing board, such as planning, zoning or the town/village/city board. It may also be a separate meeting, specifically for stormwater. If multiple covered entities are working together, they may have a group meeting; or*
 - On the internet by:*
 - Making the annual report available to the public on a website;*
 - Providing the public the opportunity to provide comments on the internet or otherwise; and*
 - Making available the opportunity for the public to request an open meeting to ask questions about and make comments on the report. If a public meeting is requested by 2 or more persons, the covered entity must hold such a meeting. However, the covered entity need only hold a public meeting once to satisfy this requirement.*

- ii. Provide public notice about the presentation, making public the following information when noticing the presentation in accordance with the local public notice requirements:*
 - The placement of the annual report on the agenda of this meeting or location on the internet;*
 - The opportunity for public comment. This SPDES general permit does not require a specified time frame for public comments, although it is recommended that covered entities do provide the public an opportunity to comment for a period after the meeting. Comments received after the final annual report is submitted shall be reported with the following year's annual report. Covered entities must take into account those comments in the*

following year;

- *The availability of the draft report for prior review prior to the public meeting or duration of availability of annual report on the internet;*
- iii. *The Department recommends that announcements be sent directly to individuals (public and private) known to have a specific interest in the covered entity's SWMP;*
- iv. *Include a summary of comments and (intended) responses with the final annual report. Changes made to the SWMP in response to comments should be described in the annual report; and*
- v. *Ensure that a copy of the final report is available for public inspection.*

The draft Annual Report for 2015-2016 will be posted on the Stormwater Coalition's website:

www.jcnystormwater.com

We will also have a link available for the public to submit comments. We will also provide each community with an electronic and hard copy of the final report. This can be placed on your municipal website and retained at your municipal office with directions on how comments can be submitted.

The annual report is due to NYS DEC by **June 1**, therefore it is important that you get this information out as soon as possible. Also, please save a copy of the public notice that is posted and any comments received and provide that to us.

The Annual report has a post-it tab in one place. This is where the municipality Principal Executive Officer signs and dates after your May Board meeting.

Once you have the signed copy and documented on separate paper any public comments **you will need to make a copy of pages 1 through 7** and send them to JCSWCD. We will add the pages to the Annual Report and upload it to the Stormwater Coalition's website.

JCSWCD will submit the Final 2015-2016 Annual Report to NYSDEC by June 1 for all of the Coalition members. It will be sent as one document. Please keep the folder as your hard copy of the Annual Report.

Please let me know if you have any questions.

Sincerely,



Christine Watkins

MS4 Annual Report Cover Page

MCC form for period ending March 9, 2016

Provide SPDES ID of each permitted MS4 included in this report.

SPDES ID
N Y R 2 0 A

MS4 Municipal Compliance Certification(MCC) Form

MCC form for period ending March 9, 2016

Name of MS4

SPDES ID
N Y R 2 0 A 5 6 5

Section 2 - Contact Information

Important Instructions - Please Read

Contact information must be provided for each of the following positions as indicated below:

1. Principal Executive Officer, Chief Elected Official or other qualified individual (per GP-0-08-002 Part VI.J).
2. Duly Authorized Representative (Information for this contact must only be submitted if a Duly Authorized Representative is signing this form)
3. The Local Stormwater Public Contact (required per GP-0-08-002 Part VII.A.2.c & Part VIII.A.2.c).
4. The Stormwater Management Program (SWMP) Coordinator (Individual responsible for coordination/implementation of SWMP).
5. Report Preparer (Consultants may provide company name in the space provided).

A separate sheet must be submitted for each position listed above unless more than one position is filled by the same individual. If one individual fills multiple roles, provide the contact information once and check all positions that apply to that individual.

If a new Duly Authorized Representative is signing this report, their contact information must be provided and a signature authorization form, signed by the Principal Executive Officer or Chief Elected Official must be attached.

For each contact, select all that apply:

- Principal Executive Officer/Chief Elected Official
- Duly Authorized Representative
- Local Stormwater Public Contact
- Stormwater Management Program (SWMP) Coordinator
- Report Preparer

First Name	MI	Last Name
S h a r o n		A d d i s o n

Title
C i t y M a n a g e r

Address
2 4 5 W a s h i n g t o n S t r e e t

City	State	Zip
W a t e r t o w n	N Y	1 3 6 0 1 -

eMail
s a d d i s o n @ w a t e r t o w n - n y . g o v

Phone	County
(3 1 5) 7 8 5 - 7 7 3 0	J e f f e r s o n

MS4 Municipal Compliance Certification(MCC) Form

MCC form for period ending March 9, 2016

Name of MS4

SPDES ID
N Y R 2 0 A 5 6 5

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- Report Preparer

First Name MI Last Name

Title

Address

City State Zip

eMail

Phone County

MS4 Municipal Compliance Certification(MCC) Form

MCC form for period ending March 9, 2016

Name of MS4 City of Watertown

SPDES ID

N Y R 2 0 A 5 6 5

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- Report Preparer

First Name

J e f f r e y

MI

M

Last Name

P o l k o w s k i

Title

P l a n n e r

Address

2 4 5 W a s h i n g t o n S t r e e t

City

W a t e r t o w n

State

N Y

Zip

1 3 6 0 1 -

eMail

j p o l k o w s k i @ w a t e r t o w n - n y . g o v

Phone

(3 1 5) 7 8 5 - 7 8 8 4

County

J e f f e r s o n

MS4 Municipal Compliance Certification(MCC) Form

MCC form for period ending March 9,

2	0	1	6
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Name of MS4

City of Watertown

SPDES ID

N	Y	R	2	0	A	5	6	5
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5. Report Preparer (Consultants may provide company name in the space provided).

A separate sheet must be submitted for each position listed above unless more than one position is filled by the same individual. If one individual fills multiple roles, provide the contact information once and check all positions that apply to that individual.

If a new Duly Authorized Representative is signing this report, their contact information must be provided and a signature authorization form, signed by the Principal Executive Officer or Chief Elected Official must be attached.

For each contact, select all that apply:

- Principal Executive Officer/Chief Elected Official
- Duly Authorized Representative
- Local Stormwater Public Contact
- Stormwater Management Program (SWMP) Coordinator
- Report Preparer

First Name

C	h	r	i	s	t	i	n	e						
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 MI

M

 Last Name

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Title

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Address

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City

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 State

N	Y
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 Zip

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eMail

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Phone

(3	1	5)		7	8	2	-	2	7	4	9	
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 County

J	e	f	f	e	r	s	o	n						
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MS4 Municipal Compliance Certification (MCC) Form

MCC form for period ending March 9, 2016

Name of MS4

SPDES ID

Section 3 - Partner Information

Did your MS4 work with partners/coalition to complete some or all permit requirements during this reporting period? Yes No

If Yes, complete information below.

Submit a separate sheet for each partner. Information provided in other formats will not be accepted. If your MS4 cooperated with a coalition, submit one sheet with the name of the coalition. It is not necessary to include a separate sheet for each MS4 in the coalition.

If No, proceed to Section 4 - Certification Statement.

Partner/Coalition Name

Partner/Coalition Name (cont.) SPDES Partner ID - If applicable

Address

City State Zip -

eMail

Phone
 () -

Legally Binding Agreement in accordance with GP-0-08-002 Part IV.G? Yes No

What tasks/responsibilities are shared with this partner (e.g. MM1 School Programs or Multiple Tasks)?

- MM1
- MM2
- MM3
- MM4
- MM5
- MM6

Additional tasks/responsibilities

- Watershed Improvement Strategy Best Management Practices* required for MS4s in impaired watersheds included in GP-0-08-002 Part IX.

MS4 Municipal Compliance Certification(MCC) Form

MCC form for period ending March 9, 2 0 1 6

Name of MS4

SPDES ID
N Y R 2 0 A 5 6 5

Section 4 - Certification Statement

"I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations."

This form must be signed by either a principal executive officer or ranking elected official, or duly authorized representative of that person as described in GP-0-08-002 Part VI.J.

First Name MI Last Name

Title (Clearly print title of individual signing report)

Signature

Date / /

Send completed form and any attachments to the DEC Central Office at:

MS4 Permit Coordinator
Division of Water
4th Floor
625 Broadway
Albany, New York 12233-3505

MS4 Annual Report Form

This report is being submitted for the reporting period ending March 9, 2016

If submitting this form as part of a joint report on behalf of a coalition leave SPDES ID blank.

Name of MS4/Coalition: Jefferson County Storm Water Coalition

SPDES ID: N Y R 2 0

Water Quality Trends

The information in this section is being reported (check one):

- On behalf of an individual MS4
- On behalf of a coalition

How many MS4s are contributed to this report? 10

1. Has this MS4/Coalition produced any reports documenting water quality trends related to stormwater? If not, answer No and proceed to Minimum Control Measure One. Yes No

If Yes, choose one of the following

- Report(s) attached to the annual report
- Web Page(s) where report(s) is/are provided below

Please provide specific address of page where report(s) can be accessed - not home page.

URL: www.jcnystormwater.com

URL:

URL:

URL:

MS4 Annual Report Form

This report is being submitted for the reporting period ending March 9, 2016

If submitting this form as part of a joint report on behalf of a coalition leave SPDES ID blank.

Name of MS4/Coalition: Jefferson County Storm Water Coalition

SPDES ID
N Y R 2 0

3. Web Page cont.: Provide specific web addresses - not home page.

URL
E d u c a t i o n S t r a t e g i e s :
B l a c k R i v e r W a t e r s h e d C o n f e r e n c e
L o c a l G o v t C o n f e r e n c e

URL
F o r t D r u m E n v i r o n m e n t a l A w a r e n e s
E n v i r o t h o n
D A N C R e c y c l e C o m m e r c i a l

URL
4 h r E & S C C o n t r a c t o r T r a i n i n g
B i - m o n t h l y C o a l i t i o n M e e t i n g
M o n t h l y C o a l i t i o n C o o r d i n a t o r M t

URL

URL

URL

URL

MS4 Annual Report Form

This report is being submitted for the reporting period ending March 9,

2	0	1	6
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If submitting this form as part of a joint report on behalf of a coalition leave SPDES ID blank.

Name of MS4/Coalition

Jefferson County Storm Water Coalition
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SPDES ID

N	Y	R	2	0				
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4. Evaluating Progress Toward Measurable Goals MCM 1

Use this page to report on your progress and project plans toward achieving measurable goals identified in your Stormwater Management Program Plan (SWMPP), including requirements in Part III.C.1. Submit additional pages as needed.

A. Briefly summarize the Measurable Goal identified in the SWMPP in this reporting period.

Monitor the number of "hits" to the website. Number of brochures, fact sheets and news letters "developed". Number of people "trained".

B. Briefly summarize the observations that indicated the overall effectiveness of this Measurable Goal.

The website is showing an increase in use by the public, MS4s are handing out newsletters to the public when they stop in. The number of trained people with regard to E&SC is increasing annually.

C. How many times was this observation measured or evaluated in this reporting period?

2	4	0	0
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(ex.: samples/participants/events)

D. Has your MS4 made progress toward this Measurable Goal during this reporting period?

Yes No

E. Is your MS4 on schedule to meet the deadline set forth in the SWMPP?

Yes No

F. Briefly summarize the stormwater activities planned to meet the goals of this MCM during the next reporting cycle (including an implementation schedule).

The storm-water coalition will continue to add new material to the website. This will include additional printed material with uploaded pdfs. The coalition will continue to host the 4hr contractor training classes for erosion and sediment control. The coalition will work with SUNY JCC to add stormwater questions to their annual survey of JC residents. The results will be used to help determine the level of storm water understanding in JC.
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MS4 Annual Report Form

This report is being submitted for the reporting period ending March 9,

2	0	1	6
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If submitting this form as part of a joint report on behalf of a coalition leave SPDES ID blank.

Name of MS4/Coalition

Jefferson County Storm Water Coalition																			
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 SPDES ID

N	Y	R	2	0															
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4.a. If this report was made available on the internet, what date was it posted?

Leave blank if this report was not posted on the internet.

0	5
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 /

0	1
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2	0	1	6
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4.b. For how many days was/will this report be posted?

3	6	5
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If submitting a report for single MS4, answer 5.a.. If submitting a joint report, answer 5.b..

5.a. Was an Annual Report public meeting held in this reporting period?

Yes No

If Yes, what was the date of the meeting?

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If No, is one planned?

Yes No

5.b. Was an Annual Report public meeting held for all MS4s contributing to this report during this reporting period?

Yes No

If No, is one planned for each?

Yes No

6. Were comments received during this reporting period?

Yes No

If Yes, attach comments, responses and changes made to SWMP in response to comments to this report.

MS4 Annual Report Form

This report is being submitted for the reporting period ending March 9,

2	0	1	6
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If submitting this form as part of a joint report on behalf of a coalition leave SPDES ID blank.

Name of MS4/Coalition

Jefferson County Storm Water Coalition
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SPDES ID

N	Y	R	2	0				
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7. Evaluating Progress Toward Measurable Goals MCM 2

Use this page to report on your progress and project plans toward achieving measurable goals identified in your Stormwater Management Program Plan (SWMPP), including requirements in Part III.C.1. Submit additional pages as needed.

A. Briefly summarize the Measurable Goal identified in the SWMPP in this reporting period.

- Number of comments received from the public regarding the SWMPP.
- Number of comments received from the public regarding the Annual Report.
- Number of attendees at bi-monthly coalition meetings.

B. Briefly summarize the observations that indicated the overall effectiveness of this Measurable Goal.

The Jefferson County Storm Water Coalition prepared an annual report with public comments and responses. Through stake holder meetings (coalition bi-monthly and coordinator meetings), newsletters, and the web site the public has been informed and allowed to participate in the SWMP process. The Annual report and SWMP are posted on the website. There were no comments during this reporting period. The number of attendees at coalition meetings is increasing and at the

C. How many times was this observation measured or evaluated in this reporting period?

			9
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(ex.: samples/participants/events)

D. Has your MS4 made progress toward this measurable goal during this reporting period?

Yes No

E. Is your MS4 on schedule to meet the deadline set forth in the SWMPP?

Yes No

F. Briefly summarize the stormwater activities planned to meet the goals of this MCM during the next reporting cycle (including an implementation schedule).

The Jefferson County Storm Water Coalition will continue to prepare an annual report with public comments and responses. The report will be available on the website.
 The Jefferson County Storm Water Coalition will continue to prepare and implement the SWMP with public comments and responses. The report will be available on the website.
 The Jefferson County Storm Water Coalition will continue to hold bi-monthly coalition meetings where the public is welcome and comments and questions can be documented.

MS4 Annual Report Form

This report is being submitted for the reporting period ending March 9,

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If submitting this form as part of a joint report on behalf of a coalition leave SPDES ID blank.

Name of MS4/Coalition

Jefferson County Storm Water Coalition									
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SPDES ID

N	Y	R	2	0					
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12. Evaluating Progress Toward Measurable Goals MCM 3

Use this page to report on your progress and project plans toward achieving measurable goals identified in your Stormwater Management Program Plan (SWMPP), including requirements in Part III.C.1. Submit additional pages as needed.

A. Briefly summarize the Measurable Goal identified in the SWMPP in this reporting period.

Percent of outfalls mapped.
 Percent of sewersheds mapped.
 Percent of total storm sewer system mapped.
 Percent of outfalls for which an outfall reconnaissance inventory has been performed.
 Adoption and enforcement of local IDDE law or ordinance.
 Utilization of GIS based data collection and reconnaissance procedures.

B. Briefly summarize the observations that indicated the overall effectiveness of this Measurable Goal.

The Coalition has identified and mapped 100% of the outfalls for the MS4 coalition.
 The coalition has mapped 100% of the storm sewer-sheds for the MS4 coalition.
 The Coalition has identified and mapped 100% of the Total storm sewer systems for the coalition.
 The Coalition has re-conned 100% of the outfalls in 2014.

C. How many times was this observation measured or evaluated in this reporting period?

			0
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(ex.: samples/participants/events)

D. Has your MS4 made progress toward this measurable goal during this reporting period?

Yes No

E. Is your MS4 on schedule to meet the deadline set forth in the SWMPP?

Yes No

F. Briefly summarize the stormwater activities planned to meet the goals of this MCM during the next reporting cycle (including an implementation schedule).

Each municipality will develop a regulatory mechanism equivalent to NYS IDE model law, and procedures to follow that law.
 Each municipality will train their employees with regard to IDDE laws, policies, and procedures.

MS4 Annual Report Form

This report is being submitted for the reporting period ending March 9,

2	0	1	6
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If submitting this form as part of a joint report on behalf of a coalition leave SPDES ID blank.

Name of MS4/Coalition

Jefferson County Storm Water Coalition
--

SPDES ID

N	Y	R	2	0					
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Minimum Control Measures 4 and 5.
Construction Site and Post-Construction Control

The information in this section is being reported (check one):

On behalf of an individual MS4

On behalf of a coalition

How many MS4s contributed to this report?

	1	0
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1a. Has each MS4 contributing to this report adopted a law, ordinance or other regulatory mechanism that provides equivalent protection to the NYS SPDES General Permit for Stormwater Discharges from Construction Activities? Yes No

1b. Has each Town, City and/or Village contributing to this report documented that the law is equivalent to a NYSDEC Sample Local Law for Stormwater Management and Erosion and Sediment Control through either an attorney certification or using the NYSDEC Gap Analysis Workbook? Yes No NT

If Yes, Towns, Cities and Villages provide date of equivalent NYS Sample Local Law.

09/2004 03/2006 NT

2. Does your MS4/Coalition have a SWPPP review procedure in place? Yes No

3. How many Construction Stormwater Pollution Prevention Plans (SWPPPs) have been reviewed in this reporting period?

		0
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4. Does your MS4/Coalition have a mechanism for receipt and consideration of public comments related to construction SWPPPs? Yes No NT

If Yes, how many public comments were received during this reporting period?

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5. Does your MS4/Coalition provide education and training for contractors about the local SWPPP process? Yes No

6. Identify which of the following types of enforcement actions you used during the reporting period for construction activities, indicate the number of actions, or note those for which you do not have authority:

- | | | | | | | | | |
|--|---|--|--|--|--|--|--|---|
| <input type="radio"/> Notices of Violation | # | <table border="1" style="display: inline-table; vertical-align: middle;"><tr><td style="width: 20px; height: 20px;"></td><td style="width: 20px; height: 20px;"></td><td style="width: 20px; height: 20px;"></td><td style="width: 20px; height: 20px;"></td><td style="width: 20px; height: 20px;"></td></tr></table> | | | | | | <input checked="" type="radio"/> No Authority |
| | | | | | | | | |
| <input type="radio"/> Stop Work Orders | # | <table border="1" style="display: inline-table; vertical-align: middle;"><tr><td style="width: 20px; height: 20px;"></td><td style="width: 20px; height: 20px;"></td><td style="width: 20px; height: 20px;"></td><td style="width: 20px; height: 20px;"></td><td style="width: 20px; height: 20px;"></td></tr></table> | | | | | | <input checked="" type="radio"/> No Authority |
| | | | | | | | | |
| <input type="radio"/> Criminal Actions | # | <table border="1" style="display: inline-table; vertical-align: middle;"><tr><td style="width: 20px; height: 20px;"></td><td style="width: 20px; height: 20px;"></td><td style="width: 20px; height: 20px;"></td><td style="width: 20px; height: 20px;"></td><td style="width: 20px; height: 20px;"></td></tr></table> | | | | | | <input checked="" type="radio"/> No Authority |
| | | | | | | | | |
| <input type="radio"/> Termination of Contracts | # | <table border="1" style="display: inline-table; vertical-align: middle;"><tr><td style="width: 20px; height: 20px;"></td><td style="width: 20px; height: 20px;"></td><td style="width: 20px; height: 20px;"></td><td style="width: 20px; height: 20px;"></td><td style="width: 20px; height: 20px;"></td></tr></table> | | | | | | <input checked="" type="radio"/> No Authority |
| | | | | | | | | |
| <input type="radio"/> Administrative Fines | # | <table border="1" style="display: inline-table; vertical-align: middle;"><tr><td style="width: 20px; height: 20px;"></td><td style="width: 20px; height: 20px;"></td><td style="width: 20px; height: 20px;"></td><td style="width: 20px; height: 20px;"></td><td style="width: 20px; height: 20px;"></td></tr></table> | | | | | | <input checked="" type="radio"/> No Authority |
| | | | | | | | | |
| <input type="radio"/> Civil Penalties | # | <table border="1" style="display: inline-table; vertical-align: middle;"><tr><td style="width: 20px; height: 20px;"></td><td style="width: 20px; height: 20px;"></td><td style="width: 20px; height: 20px;"></td><td style="width: 20px; height: 20px;"></td><td style="width: 20px; height: 20px;"></td></tr></table> | | | | | | <input checked="" type="radio"/> No Authority |
| | | | | | | | | |
| <input type="radio"/> Administrative Orders | # | <table border="1" style="display: inline-table; vertical-align: middle;"><tr><td style="width: 20px; height: 20px;"></td><td style="width: 20px; height: 20px;"></td><td style="width: 20px; height: 20px;"></td><td style="width: 20px; height: 20px;"></td><td style="width: 20px; height: 20px;"></td></tr></table> | | | | | | <input checked="" type="radio"/> No Authority |
| | | | | | | | | |
| <input type="radio"/> Enforcement Actions or Sanctions | # | <table border="1" style="display: inline-table; vertical-align: middle;"><tr><td style="width: 20px; height: 20px;"></td><td style="width: 20px; height: 20px;"></td><td style="width: 20px; height: 20px;"></td><td style="width: 20px; height: 20px;"></td><td style="width: 20px; height: 20px;"></td></tr></table> | | | | | | <input checked="" type="radio"/> No Authority |
| | | | | | | | | |
| <input type="radio"/> Other | # | <table border="1" style="display: inline-table; vertical-align: middle;"><tr><td style="width: 20px; height: 20px;"></td><td style="width: 20px; height: 20px;"></td><td style="width: 20px; height: 20px;"></td><td style="width: 20px; height: 20px;"></td><td style="width: 20px; height: 20px;"></td></tr></table> | | | | | | <input checked="" type="radio"/> No Authority |
| | | | | | | | | |

MS4 Annual Report Form

This report is being submitted for the reporting period ending March 9,

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If submitting this form as part of a joint report on behalf of a coalition leave SPDES ID blank.

Name of MS4/Coalition

Jefferson County Storm Water Coalition
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SPDES ID

N	Y	R	2	0				
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Minimum Control Measure 4. Construction Site Stormwater Runoff Control

The information in this section is being reported (check one):

- On behalf of an individual MS4
 On behalf of a coalition

How many MS4s contributed to this report?

	1	0
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1. How many construction projects have been authorized for disturbances of one acre or more during this reporting period?

		0
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 2. How many construction projects disturbing at least one acre were active in your jurisdiction during this reporting period?

		0
--	--	---
 3. What percent of active construction sites were inspected during this reporting period? NT

		0
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 %
 4. What percent of active construction sites were inspected more than once? NT

		0
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 %
 5. Do all inspectors working on behalf of the MS4s contributing to this report use the NYS Construction Stormwater Inspection Manual? Yes No NT
 6. Does your MS4/Coalition provide public access to Stormwater Pollution Prevention Plans (SWPPPs) of construction projects that are subject to MS4 review and approval? Yes No NT
- If your MS4 is Non-Traditional, are SWPPPs of construction projects made available for public review? Yes No

If Yes, use the following page to identify location(s) where SWPPPs can be accessed.

MS4 Annual Report Form

This report is being submitted for the reporting period ending March 9, 2016

If submitting this form as part of a joint report on behalf of a coalition leave SPDES ID blank.

Name of MS4/Coalition: Jefferson County Storm Water Coalition

SPDES ID: NYR20

6. con't.:

Submit additional pages as needed.

● MS4/Coalition Office

Department

J e f f e r s o n C o u n t y S t o r m W a t e r C o

Address

P O B o x 1 3 9

City

W a t e r t o w n

N Y

Zip

1 3 6 0 1 -

Phone

(3 1 5) 7 8 2 - 2 7 4 9

○ Library

Address

City

Zip

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Phone

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● Other

Address

E a c h M u n i c i p a l i t y

City

Zip

-

Phone

() -

● Web Page URL(s): Please provide specific address where SWPPPs can be accessed - not home page.

URL

w w w . j c n y s t o r m w a t e r . c o m

URL

MS4 Annual Report Form

This report is being submitted for the reporting period ending March 9,

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If submitting this form as part of a joint report on behalf of a coalition leave SPDES ID blank.

Name of MS4/Coalition

Jefferson County Storm Water Coalition

SPDES ID

N	Y	R	2	0					
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7. Evaluating Progress Toward Measurable Goals MCM 4

Use this page to report on your progress and project plans toward achieving measurable goals identified in your Stormwater Management Program Plan (SWMPP), including requirements in Part III.C.1. Submit additional pages as needed.

A. Briefly summarize the Measurable Goal identified in the SWMPP in this reporting period.

- Development of procedures, activities and identify personnel to educate and train construction site operators about requirements to develop and implement a SWPPP and any other requirements that must be met within the Town's jurisdiction.
- A description of procedures for the receipt and consideration of information submitted by the public and identify responsible personnel.

B. Briefly summarize the observations that indicated the overall effectiveness of this Measurable Goal.

The MS4 has completed all measurable goals above except adoption of the Local Law.

C. How many times was this observation measured or evaluated in this reporting period?

			0
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(ex.: samples/participants/events)

D. Has your MS4 made progress toward this measurable goal during this reporting period?
 Yes No
E. Is your MS4 on schedule to meet the deadline set forth in the SWMPP?
 Yes No
F. Briefly summarize the stormwater activities planned to meet the goals of this MCM during the next reporting cycle (including an implementation schedule).

The MS4 will develop and adopt a model local law for IDDE.

MS4 Annual Report Form

This report is being submitted for the reporting period ending March 9,

2	0	1	5
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If submitting this form as part of a joint report on behalf of a coalition leave SPDES ID blank.

Name of MS4/Coalition

Jefferson County Storm Water Coalition									
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SPDES ID									
N	Y	R	2	0					

4a. Are the MS4s contributing to this report involved in a regional/watershed wide planning effort?

Yes No

4b. Does the MS4 have a banking and credit system for stormwater management practices?

Yes No

4c. Do the SWMP Plans for each MS4 contributing to this report include a protocol for evaluation and approval of banking and credit of alternative siting of a stormwater management practice?

Yes No

4d. How many stormwater management practices have been implemented as part of this system in this reporting period?

		0
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5. What percent of municipal officials/MS4 staff responsible for program implementation attended training on Low Impace Development (LID), Better Site Design (BSD) and other Green Infrastructure principles in this reporting period?

		1
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 %

MS4 Annual Report Form

This report is being submitted for the reporting period ending March 9,

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If submitting this form as part of a joint report on behalf of a coalition leave SPDES ID blank.

Name of MS4/Coalition

Jefferson County Storm Water Coalition
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SPDES ID

N	Y	R	2	0				
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6. Evaluating Progress Toward Measurable Goals MCM 5

Use this page to report on your progress and project plans toward achieving measurable goals identified in your Stormwater Management Program Plan (SWMPP), including requirements in Part III.C.1. Submit additional pages as needed.

A. Briefly summarize the Measurable Goal identified in the SWMPP in this reporting period.

- Develop and certify a regulatory mechanism equivalent to the NYS DEC Sample Local Laws for Storm-water Management and Erosion and Sediment Control.
 - Initiate procedures for SWPPP review to ensure that post-construction storm-water management practices meet the most current version of the state technical standards, for the inspection and maintenance of post-construction management practices, for the enforcement and penalization of

B. Briefly summarize the observations that indicated the overall effectiveness of this Measurable Goal.

The Coalition members have completed all measurable goals with exception to adoption of a local law.

C. How many times was this observation measured or evaluated in this reporting period?

			0
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(ex.: samples/participants/events)

D. Has your MS4 made progress toward this measurable goal during this reporting period?

Yes No

E. Is your MS4 on schedule to meet the deadline set forth in the SWMPP?

Yes No

F. Briefly summarize the stormwater activities planned to meet the goals of this MCM during the next reporting cycle (including an implementation schedule).

The MS4 will develop and adopt a local law.

MS4 Annual Report Form

This report is being submitted for the reporting period ending March 9,

2	0	1	6
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If submitting this form as part of a joint report on behalf of a coalition leave SPDES ID blank.

Name of MS4/Coalition

Jefferson County Storm Water Coalition
--

SPDES ID

N	Y	R	2	0				
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Minimum Control Measure 6. Stormwater Management for Municipal Operations

The information in this section is being reported (check one):

- On behalf of an individual MS4
- On behalf of a coalition

How many MS4s contributed to this report?

	1	0
--	---	---

1. Choose/list each municipal operation/facility that contributes or may potentially contribute Pollutants of Concern to the MS4 system. For each operation/facility indicate whether the operation/facility has been addressed in the MS4's/Coalition's Stormwater Management Program(SWMP) Plan and whether a self-assessment has been performed during the reporting period. A self-assessment is performed to: 1) determine the sources of pollutants potentially generated by the permittee's operations and facilities; 2) evaluate the effectiveness of existing programs and 3) identify the municipal operations and facilities that will be addressed by the pollution prevention and good housekeeping program, if it's not done already.

<u>Operation/Activity/Facility</u>	<u>Addressed in SWMP?</u>		<u>Self-Assessment Operation/Activity/Facility performed within the past 3 years?</u>	
	<input checked="" type="radio"/> Yes	<input type="radio"/> No	<input type="radio"/> Yes	<input checked="" type="radio"/> No
Street Maintenance.....	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>
Bridge Maintenance.....	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>
Winter Road Maintenance.....	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>
Salt Storage.....	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>
Solid Waste Management.....	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>
New Municipal Construction and Land Disturbance..	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>
Right of Way Maintenance.....	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>
Marine Operations.....	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>
Hydrologic Habitat Modification.....	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>
Parks and Open Space.....	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>
Municipal Building.....	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>
Stormwater System Maintenance.....	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>
Vehicle and Fleet Maintenance.....	<input checked="" type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input checked="" type="radio"/>
Other.....	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>

MS4 Annual Report Form

This report is being submitted for the reporting period ending March 9,

2	0	1	6
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If submitting this form as part of a joint report on behalf of a coalition leave SPDES ID blank.

Name of MS4/Coalition

Jefferson County Storm Water Coalition

SPDES ID

N	Y	R	2	0				
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2. Provide the following information about municipal operations good housekeeping programs:

- Parking Lots Swept (Number of acres X Number of times swept) # Acres

			1	8
--	--	--	---	---
- Streets Swept (Number of miles X Number of times swept) # Miles

		2	5	3
--	--	---	---	---
- Catch Basins Inspected and Cleaned Where Necessary #

		2	5	2
--	--	---	---	---
- Post Construction Control Stormwater Management Practices Inspected and Cleaned Where Necessary #

--	--	--	--	--
- Phosphorus Applied In Chemical Fertilizer # Lbs.

--	--	--	--	--
- Nitrogen Applied In Chemical Fertilizer # Lbs.

--	--	--	--	--
- Pesticide/Herbicide Applied # Acres

					.	
--	--	--	--	--	---	--

(Number of acres to which pesticide/herbicide was applied X Number of times applied to the nearest tenth.)

3. How many stormwater management trainings have been provided to municipal employees during this reporting period?

				6
--	--	--	--	---

4. What was the date of the last training?

	0	/	4	2	/	8	2	0	1
--	---	---	---	---	---	---	---	---	---

5. How many municipal employees have been trained in this reporting period?

	1	0
--	---	---

6. What percent of municipal employees in relevant positions and departments receive stormwater management training?

	2	5	%
--	---	---	---

MS4 Annual Report Form

This report is being submitted for the reporting period ending March 9,

2	0	1	6
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If submitting this form as part of a joint report on behalf of a coalition leave SPDES ID blank.

Name of MS4/Coalition

Jefferson County Storm Water Coalition
--

SPDES ID

N	Y	R	2	0				
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7. Evaluating Progress Toward Measurable Goals MCM 6

Use this page to report on your progress and project plans toward achieving measurable goals identified in your Stormwater Management Program Plan (SWMPP), including requirements in Part III.C.1. Submit additional pages as needed.

A. Briefly summarize the Measurable Goal identified in the SWMPP in this reporting period.

- Identification of the municipal operations and facilities that will be considered for inclusion in the pollution prevention and good housekeeping program.
 - A description of the pollution prevention and good housekeeping priorities to improve water quality and existing facilities or operations in need of improvement.
 - A description of management practices, policies and procedures that will be developed or modified.

B. Briefly summarize the observations that indicated the overall effectiveness of this Measurable Goal.

The coalition began identifying municipal operations and facilities to include in pollution prevention good housekeeping.

C. How many times was this observation measured or evaluated in this reporting period?

--	--	--	--	--

(ex.: samples/participants/events)

D. Has your MS4 made progress toward this measurable goal during this reporting period?

Yes No

E. Is your MS4 on schedule to meet the deadline set forth in the SWMPP?

Yes No

F. Briefly summarize the stormwater activities planned to meet the goals of this MCM during the next reporting cycle (including an implementation schedule).

The MS4 will begin implementing MCM6 measurable goals:
 - Identification of the municipal operations and facilities that will be considered for inclusion in the pollution prevention and good housekeeping program.
 - A description of the pollution prevention and good housekeeping priorities to improve water quality and existing facilities or operations in need of improvement.
 - A description of management practices, policies and procedures that will be developed or modified.

MS4 Annual Report Form

This report is being submitted for the reporting period ending March 9,

2	0	1	6
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If submitting this form as part of a joint report on behalf of a coalition leave SPDES ID blank.

Name of MS4/Coalition

Jefferson County Storm Water Coalition																			
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SPDES ID

N	Y	R	2	0															
---	---	---	---	---	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--

3. Does your MS4/Coalition have a Stormwater Conveyance System (infrastructure) Inspection and Maintenance Plan Program? Yes No N/A

4. Estimate the percentage of on-site wastewater treatment systems that have been inspected and maintained or rehabilitated as necessary in this reporting period?

		0
--	--	---

 %

5. Has your MS4/Coalition developed a program that provides protection equivalent to the NYSDEC SPDES General Permit for Stormwater Discharges from Construction Activities (GP-0-08-001) to reduce pollutants in stormwater runoff from construction activities that disturb five thousand square feet or more? Yes No N/A

6. Has your MS4/Coalition developed a program to address post-construction stormwater runoff from new development and redevelopment projects that disturb greater than or equal to one acre that provides equivalent protection to the NYS DEC SPDES General Permit for Stormwater Discharges from Construction Activities (GP-0-08-001), including the New York State Stormwater Design Manual Enhanced Phosphorus Removal Standards? Yes No N/A

7a. Does your MS4/Coalition have a retrofitting program to reduce erosion or phosphorus/nitrogen/pathogen loading? Yes No N/A

7b. How many projects have been sited in this reporting period?

		0
--	--	---

7c. What percent of the projects included in 7b have been completed in this reporting period?

		0
--	--	---

 %

7d. What percent of projects planned in previous years have been completed?

		0
--	--	---

 %
 No Projects Planned

8a. Has your MS4/Coalition developed and implemented a turf management practices and procedures policy that addresses proper fertilizer application on municipally owned lands? Yes No N/A

8b. Has your MS4/Coalition developed and implemented a turf management practices and procedures policy that addresses proper disposal of grass clippings and leaves from municipally owned lands? Yes No N/A

MS4 Annual Report Form

This report is being submitted for the reporting period ending March 9,

2	0	1	6
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If submitting this form as part of a joint report on behalf of a coalition leave SPDES ID blank.

Name of MS4/Coalition

Jefferson County Storm Water Coalition

SPDES ID

N	Y	R	2	0				
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9. Has your MS4/Coalition developed and implemented a program of native planting?
 Yes No N/A

10. Has your MS4/Coalition enacted a local law prohibiting pet waste on municipal properties and prohibiting goose feeding?
 Yes No N/A

11. Does your MS4/Coalition have a pet waste bag program?
 Yes No N/A

12. Does your MS4/Coalition have a program to manage goose populations?
 Yes No N/A



CITY OF WATERTOWN, NEW YORK
PARKS & RECREATION DEPARTMENT

Watertown Municipal Arena
600 William T. Field Drive
Watertown, New York 13601
parksrec@watertown-ny.gov
Phone (315) 785-7775 • Fax (315) 785-7776



ERIN E. GARDNER
Superintendent

May 12, 2016

To: Sharon Addison, City Manager
From: Erin E. Gardner, Superintendent of Parks and Recreation
Subject: Naming rights for the Municipal Arena

At the request of Council, several phone calls were made to sporting venues throughout the United States that were relative in size to the Municipal Ice Arena to inquire how their naming rights were acquired. As a result of these calls, it was determined that the two most common methods for acquisition were either hiring a law firm that specializes in naming rights or through dedicated sales and marketing staff. Many general managers from these venues indicated that the first time their naming rights went out to bid, they hired a law firm to handle the process. Once the process was established, sales and marketing staff worked on renewals or new bids. A conversation was also had with General Manager, Mark Miller from the Town Toyota Center in Wenatchee, Washington. Mr. Miller indicated that, in his tenure, he has been involved in four naming rights deals. His advice was to find a business that has the strong ties to Watertown. He indicated that naming rights go simply beyond the return on investment.

A law firm from Vancouver, BC reached out to the City to discuss how they might be able to assist the City with the process of establishing naming rights. Superintendent Gardner, Assistant Superintendent Weller and Purchasing Manger Pastuf had a conference call with President and CEO Thomas A. Wills from Bonham and Wills Law Firm. During the call he indicated that he has done naming rights for many NFL teams, the Mall of America and numerous athletic venues. He emphasized that a needs analysis and a values analysis was necessary to determine the area market and the value of the naming rights. After our call, Mr. Wills emailed a proposal for performing a naming rights analysis. The cost of the naming rights analysis is \$7,500.

It was Council's intent to comply with the 200 sq/ft of signage rather than amending the ordinance. Assessor Brian Phelps has completed the process of splitting the Municipal Arena parcel from the

Fairgrounds parcel. This will grant the Arena the full 200 feet of signage on the exterior of the building without further need for zoning changes.

Upon further investigation, staff has developed an idea for selling advertisement within the arena lobby and non-ice areas within the arena that would be independent from the exterior signage. This would allow sponsorship at a lower dollar level and give extra opportunity for local participants.

At this time, we are prepared to go forward with a RFP for Naming Rights for the City Municipal Arena. It is the understanding of Staff that the Council wishes to place a \$50,000.00 minimum on the building naming rights. These rights will include the privilege of naming the building, placing signage on the exterior, and signage on the sheet of ice.

May 11, 2016

To: The Honorable Mayor and City Council
From: James E. Mills, City Comptroller
Subject: Tax sale certificates assignment request

The City has been approached by Craig Schafer, 728 Morrison Street, requesting to be assigned the City's tax sale certificate for 710 Morrison Street. The tax sale certificate was acquired by the City as the default bidder from the tax sale certificate auction held on June 25, 2014. The current redemption price of the certificate is \$6,169.97. Mr. Schafer intends on demolishing the current structure and building a storage building. If City Council is agreeable to the request a resolution will be prepared for the June 6, 2016 City Council meeting.

The owner of 710 Morrison Street is William O'Neill. The property is vacant and water service has been shut off since 2009.



May 11, 2016

To: The Honorable Mayor and City Council
From: Michael A. Lumbis, Planning and Community Development Director
Subject: GAR Associates LLC Housing Strategy Proposal

Attached for City Council review is a copy of a proposal from GAR Associates LLC to conduct a comprehensive analysis of the housing supply and housing situation in the City in order to develop a detailed housing strategy for the City of Watertown.

The proposal was developed by GAR Associates for the Development Authority of the North Country (DANC) at the request of Mayor Butler. DANC would oversee the work completed by GAR Associates and would pay for the cost of the study.

As part of their work, GAR Associates plans to evaluate and analyze the existing housing inventory and supply in the City as well as housing patterns and various influences on the housing market. They will also make a determination of whether affordable or market rate housing and rental options are needed and will evaluate the impact of the trends at Fort Drum on the housing market within the City.

GAR Associates has completed various studies in the area including work in Jefferson and Lewis County and a 2011 housing analysis for the Fort Drum Regional Liaison Organization.



GAR ASSOCIATES LLC

Real Estate Appraisers and Consultants

February 10, 2016

Ms. Michelle Capone
Director of Regional Development
The Development Authority of the North County (DANC)
317 Washington Street, Suite 414
Watertown, New York 13601

Re: Comprehensive Housing Study/Analysis
Watertown, Jefferson County, New York
B-14194

Dear Ms. Capone:

Thank you for considering GAR Associates for preparation of work effort to be used in conjunction with a detailed and ***Comprehensive Analysis*** of the housing supply and housing situation in the City of Watertown. There are many variable influences impacting the housing market within the City of Watertown, as it relates to both owner-occupied and rental units. As we will outline, and as you are aware, our firm has been active in analyzing a wide variety of housing types and product concepts in the City of Watertown and throughout other portions of Jefferson County over the years. We are very familiar with the influences associated with your market related to the presence of Fort Drum and the economic characteristics that are unique to your specific market.

The context of this analysis has initiated from conversations with the city, your organization and others related to some concerns pertaining to housing needs, influences on the housing market, and the need to set and establish some key priorities and goals/objectives as it relates to various decision-making relating to housing decisions.

Generally, we are aware of the older and dated nature of the housing inventory within the City of Watertown, and many of the current concerns relate to the influences regarding price and value trends, and also inventory which has apparently increased; foreclosures and out-of-area owners who have simply abandoned various properties. Some of the key concerns that require evaluation include:

- Homeowners and renters/tenants leaving the City of Watertown boundaries, and moving to new housing options that have been developed outside of the city. We are aware of the recent, historical and ongoing development that has occurred in surrounding periphery areas of Jefferson County and on the Fort Drum Base. In part, this is being stimulated by what is perceived as substandard housing options within the City of Watertown and the somewhat aged and dated nature of many of the physical properties.
- Evaluate and analyze prospective homeownership opportunities. The thinking is that the ratio of rental units within the city is fairly high and one of the goals and objectives is to attempt to create an environment for a shift in the tenure ratio from rental to owner.

CORPORATE OFFICE:

2399 SWEET HOME ROAD AMHERST, NEW YORK 14228 TEL.716-691-7100 FAX.716-691-7770 TOLL FREE: 1.800.836.0382

ALBANY OFFICE:

632 PLANK ROAD, SUITE 203 CLIFTON PARK, NEW YORK 12207 TEL.518.579-3770 FAX.518.579-3773 TOLL FREE: 1.800.836.0382



Ms. Michelle Capone
February 10, 2016

Page 2

- Impact of some of the 801 housing units throughout the community and how they have and will continue to influence housing options.

Other areas of consideration include determination of whether affordable or market rate housing/rental options are necessary, and evaluation of the impact of the trends at Fort Drum on the housing market within the City of Watertown.

Basically, your organization and the City of Watertown desire to evaluate and analyze housing patterns in order to provide better long term support for community wide objectives. This study will be a start and provide input on the housing stock, inventory, and physical assets in order to start the process of formulating a detailed **housing strategy**.

Scope of Work:

The scope associated with this analysis will clearly evolve as GAR Associates begins the research effort, meets with stakeholders active in the market, and begins the process of evaluating inventory and supply. At this point, we do not have a set or definitive objective related to the deliverables but rather, feel that the process should initiate and the specific reporting options will be advanced and established as we begin to uncover some of the key variables related to the comprehensive housing strategy needs. The scope will involve the following:

- Identification of physical property records to review current housing options and inventory.
- A site visit to the area and meetings with stakeholders including:
 - Representatives of DANC
 - City of Watertown representatives.
 - In addition to your organization, we feel that meetings with the following would be helpful to not only establish parameters for this report but obtain necessary data for the analysis:
 - Community Development Director
 - Planning officials
 - Assessor
 - We will also set up meetings with developers active in the area and realtors who are familiar with some of the current and ongoing patterns and trends.
- Review and analyze demographics that apply to the City of Watertown and Jefferson County.

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Ms. Michelle Capone
February 10, 2016

Page 3

- Consider and evaluate trends related to the economics associated with Fort Drum. Through previous work efforts, we are familiar with the current and historical patterns at the Fort and clearly, the economics of the region are driven by these trends. ***However, as we discussed, it is generally felt that for the purposes of this study that we should set the current Fort Drum status as a standard for the analysis moving forward. What this means is that the current troop strength and recent deployment strategy should be used as the basis for the analysis, meaning that the current situation reflects market stability moving forward. By setting this as the basis, we can evaluate different options and then subsequently make some recommendation as to how these options might vary if the troop strength or deployment strategies change/waiver.***
- Analysis of competitive supply. The supply will include:
 - Review of 'for sale' product and 'for sale' pricing and trends.
 - Analysis of the rental market. This will involve a wide variety of development components including:
 - *Market rate multi-family apartment complexes.*
 - *Analysis and evaluation of the former 801 housing units.*
 - *Analysis of rental units within smaller single-family to four-unit type properties throughout the city; (the most predominant rental option within the City of Watertown).*
 - *Analysis and evaluation of affordable housing. This will include Low Income Housing Tax Credit projects as well as Deep Subsidy Project-Based units.*
 - *Analysis of demand and parameters associated with prospective market support. We are not sure specific demand models will actually be created or whether the demand will be evaluated in a more global, and broad-based fashion.*

As indicated, the specific extent of the deliverables will be evaluated as we progress through the analysis and evaluation process. We are fully expecting that a comprehensive report summarizing the scope of work and the conclusions will be provided as the project progresses. We do not necessarily feel however, that this will be a firm/final document but rather, that the deliverables will evolve as the development strategy and use for a comprehensive housing report evolve.

GAR Work Experience

DANC is familiar with our work experience, having participated with GAR Associates in numerous studies over time. This includes the most recent comprehensive report prepared by GAR Associates for FDRLO in 2011. DANC is also familiar with our work for two other projects throughout various North Country communities;

- Preliminary analysis used to evaluate housing patterns and trends in Lewis County New York.
- Preliminary report used for site selection and evaluation/housing options for project in Ogdensburg, St. Lawrence County, New York.

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Ms. Michelle Capone
February 10, 2016

Page 4

In Jefferson County, recent work that we have completed in the past few years includes:

- Valuation and analysis of development options for some of the 801 housing units.
- Real estate appraisal of multiple phases associated with a new development of Beaver Meadows project.
- Multiple market studies associated with Low Income Housing Tax Credit submissions for affordable housing. We prepared two reports for the 2015 funding round, both of which are Deep Subsidy Project-Based developments in the City of Watertown.
- Refinancing appraisal of the Kamargo Apartments on Leray Street in Black River, New York.
- Rent comparability study for the Bugbee Apartments on Washington Street in the city.

The attached qualifications document and outline some additional work experience that we have throughout the area and region.

Cost and Timing

It is always difficult to specifically set of cost for this type of analysis as we fully expect that the goals and objectives will evolve as we begin the work. We will set a fee structure at a certain threshold but request a retainer which will serve as the basis for the initial scope. Meaning that for the cost of the retainer, we will begin the evaluation process and as we progress, we can discuss status, deliverables and intent to determine of the progression of the analysis and report. The cost parameters are:

<i>Fee for the Initial Comprehensive Analysis:</i>	<i>Up to \$12,000</i>
<i>Retainer for initial work:</i>	<i>\$6,000</i>

It is not clear as to whether or not we will advance beyond the retainer to the \$12,000 maximum but this should be considered the cap for the initial phase of the work. Depending on how the initial scope and analysis progresses, the cost could very well extend beyond the \$12,000 cap, but for now this is used as a guide.

If the terms are acceptable, the attached acknowledgment can be signed and resubmitted as our authorization to begin work effort. We will discuss any other documentation necessary as we begin the work and we look forward to working with the Development Authority and the City of Watertown on this important project.

Respectfully,

GAR ASSOCIATES LLC

M. Scott Allen
Principal-Housing/Market Analysis

MSA:nw
Attachment
CC: Matthew A. Taylor

CORPORATE OFFICE:

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February 10, 2016

Ms. Michelle Capone
Director of Regional Development
The Development Authority of the North County (DANC)
317 Washington Street, Suite 414
Watertown, New York 13601

Re: Comprehensive Housing Study/Analysis
Watertown, Jefferson County, New York
B-14194

Fee: Initial Comprehensive Analysis: **Up to \$12,000**
50% Retainer: **\$6,000**

Timing: Initial work within six weeks of authorization

** When sending payment, please be sure to note the GAR Bid Number on the check. The remaining balance will be due and payable 30 days upon submission of the report. There will be a 1.5% interest charge per month on late invoices.*

ACKNOWLEDGMENT

The undersigned is the duly authorized representative for the property to be subjected to the real estate analysis discussed herein, for the purposes identified. Further, the undersigned agrees to engage GAR Associates LLC to undertake the analysis of the real estate captioned above in accordance with the scope of services in the above listed proposal and subject to the attached limiting conditions.

Date: _____ Signature: _____

Name (print): _____

Title: _____

NOTE: Please retain one copy for your files and return one signed copy to GAR Associates LLC. Thank you.

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May 9, 2016

To: The Honorable Mayor and City Council

From: Michael A. Lumbis, Planning and Community Development Director

Subject: 2015-2016 Crow Management Program Report – Loomacres Wildlife Management

Attached for City Council review is a report provided by Loomacres Wildlife Management that summarizes the crow hazing activities that were conducted in the City during the 2015-2016 winter season.



LOOMACRES
Wildlife Management

May 5th, 2016

Geoffrey T. Urda, Planner
City of Watertown Planning Office
245 Washington Street, Room 304
Watertown, New York 13601

Dear Mr. Urda,

Below you will find a summary of our efforts during the 2015-2016 crow management program.

Loomacres Wildlife Management Inc. conducted crow harassments from November 2015 through March 2016 in the city of Watertown, New York. Loomacres was requested to conduct harassment in response to the thousands of American crows (*Corvus branchyrhynchos*) that roost throughout the city's residential and commercial areas. In large concentrations, these birds produce undesirable conditions throughout the city including: noise disturbances and human health concerns from large concentrations of fecal matter near roosting locations. The acidic nature of their droppings can cause damage to vehicles, and stone buildings through corrosion.

Initial harassment commenced on the 2nd of November. A large flock of crows, consisting of 7,000-10,000 individuals were roosting in the city center. The crows were observed in a concentrated flock, perched in the trees and on buildings in the vicinity of the Jefferson County Historical Society. Loomacres staff utilized several non-lethal harassment techniques, including walking, clapping, pyrotechnics, distress callers, spotlights, and lasers. Using the various harassment techniques, the flock was broken down into smaller groups, ranging between 150-250 individuals, dispersed throughout the city. On succeeding visits, initially observed flocks sizes ranged between 350-12,000 individuals. Again, utilizing non-lethal harassment techniques the flocks were subsequently dispersed throughout the city. The greatest concentrations of flocks were found near the Historical Society, along Newell Drive, and on Factory Street. Large flocks were also seen on Court Street and at the city center.

Loomacres Staff received phone calls and emails (through our reporting website) from city residents to help locate and confirm crow related problems throughout the city. A total of 41 sighting reports were filed, with the first submitted in late October. December had the highest number of submissions, with a total of 13 entries, closely followed by October with 12 entries. Five reports were submitted in November, 7 in January, 2 in February, and 4 in March. Flock size estimates reported by Watertown residents rarely included numerical estimates this year, however, in December, multiple reports estimating thousands of birds were submitted.

Harassment efforts concluded by the end of March 2015 as flock sizes of crows attempting to roost in the city decreased to 3,000 or fewer crows. The remaining crows were continually harassed until they were spread out in flocks consisting of a couple hundred individuals, reducing the nuisance effects they had on residents and city property.

" Bringing Wildlife Management To A Higher Level "
Loomacres Wildlife Management • P.O. 361 • Warnerville, NY 12187
Ph: 800-243-1462 • Fax: 518-618-3129 • www.loomacres.com
E-mail: info@loomacres.com



LOOMACRES

Wildlife Management

American crows are intelligent birds that can become habituated to non-lethal harassment techniques very quickly. As a result lethal control efforts were started in January 2016 to reinforce non-lethal harassment techniques. Loomacres personnel removed 20 American crows. The combination of non-lethal harassment techniques with lethal reinforcement caused a very positive response, especially when lethal control was used in conjunction with the distress caller. Large flocks fragmented quickly, either scattering into considerably smaller groups or leaving the city entirely. Crows did not return to the areas where lethal control was conducted and were observed in lower numbers during proceeding visits. After lethal control was conducted the remaining crows responded more positively to non-lethal harassment techniques.

Loomacres personnel conducted harassments on 10 occasions, with a total of 125 harassment events performed. The goals of reducing overall flock size through harassment and dispersal were attained with great success. Public participation in reporting efforts helped to establish an overall positive perception on the effects the harassment has on the city's crows.

Total Number of Crows Harassed: 280,700

Total Number of Harassment Events: 125

Total Number of Pyrotechnics Used: 98

Total Number of Laser/Distress Deterrents Used: 99

Total Number of Lethal Crow Takes: 20

Total Number of Miles Exerted for Control Efforts: 257

American crows are likely to be a continued issue for the city of Watertown during the winter. Loomacres recommends that the city continue to take a proactive approach to manage the crow population. Thank you for the opportunity to work with the City of Watertown. I hope that you will find this information useful. If you have any questions or would like additional information please to not hesitate to contact me.

Sincerely,

James R. Kelly
Wildlife Biologist
(845) 709-0505
jkelly@loomacres.com