

**CITY OF WATERTOWN, NEW YORK**  
**AGENDA**  
**Monday, March 7, 2016**

This shall serve as notice that the next regularly scheduled meeting of the City Council will be held on Monday, March 7, 2016, at 7:00 p.m. in the City Council Chambers, 245 Washington Street, Watertown, New York.

**MOMENT OF SILENCE**

**PLEDGE OF ALLEGIANCE**

**ROLL CALL**

**ADOPTION OF MINUTES**

**COMMUNICATIONS**

**PRESENTATION**

Cynthia L. Oddi

**PRIVILEGE OF THE FLOOR**

**RESOLUTIONS**

- Resolution No. 1 - Agreeing to the Northern New York Community Foundation's Creation of Two Separate Charitable Funds for the Support of Identified Community Projects and General Community Enhancements
- Resolution No. 2 - Approving the Assignment of the Lease Agreement Between Greater Watertown Red and Black Inc. and City of Watertown to The X-Men of Watertown, LLC
- Resolution No. 3 - Accepting Bid for Unarmed Security for the Flower Memorial Library
- Resolution No. 4 - Approving Lease Agreement Between the City of Watertown and Watertown Bucks, Inc.
- Resolution No. 5 - Approving the Site Plan for the construction of an approximately 6,066 square-foot building and a 29-space parking lot located at 1240 Arsenal Street, Parcel Number 8-53-118.000

Resolution No. 6 - Finding That Adopting a New Zoning Map and Amending Chapter 310 of the Code of the City of Watertown Will Not Have a Significant Negative Impact on the Environment

## **ORDINANCES**

Ordinance No. 1 - Amending City Municipal Code § 293-52, Schedule IV: One-Way Streets

Ordinance No. 2 - An Ordinance Authorizing the Issuance of \$550,000 Bonds of the City of Watertown, Jefferson County, New York, to Pay the Cost of the Purchase of a Fire Pumper Truck, in and for Said City

Ordinance No. 3 - Changing the Approved Zoning Classification of 724 and 728 Washington Street, Parcel Numbers 14-01-139.000 and 14-01-101.000 from Limited Business to Health Services, and to changing the approved zoning classification of 110, 150, 154 and 158 Woodruff Street, Parcel Numbers 14-01-102.000, 14-01-112.000, 14-01-113.000 and 14-01-114.000 from Residence B to Health Services

## **LOCAL LAW**

## **PUBLIC HEARING**

7:30 p.m. Community Development Block Grant (CDBG)  
2016-2020 Consolidated Plan and 2016 Annual  
Action Plan

7:30 p.m. Adopting New Zoning Map and Amending Chapter 310  
of the Code of the City of Watertown

## **OLD BUSINESS**

Tabled Resolution Authorizing Intermunicipal Cooperation  
Agreement With St. Lawrence-Lewis BOCES

## **STAFF REPORTS**

1. Request for Reduced Fee for Sunrise Service
2. New Program Fees
3. Board and Commission Appointments
4. Sales Tax Revenue – January 2016

**NEW BUSINESS**

**EXECUTIVE SESSION**

**WORK SESSION**

Next Work Session is scheduled for Monday, March 14, 2016, at 7:00 p.m.

**ADJOURNMENT**

**NEXT REGULARLY SCHEDULED CITY COUNCIL MEETING IS MONDAY,  
MARCH 21, 2016.**

Res No. 1

February 19, 2016

To: City Council Members

From: Joseph M. Butler, Jr., Mayor

Subject: Agreeing to the Northern New York Community Foundation's Creation of Two Separate Charitable Funds for the Support of Identified Community Projects and General Community Enhancements

On February 16, 2016, City Council discussed authorizing the Northern New York Community Foundation to become a repository for charitable funds from the public for projects, programs and initiatives designed to provide community enhancements within the City of Watertown.

Attached for City Council consideration is a Resolution authorizing the Northern New York Community Foundation to create two separate charitable funds for such support.

# RESOLUTION

Page 1 of 2

Agreeing to the Northern New York Community Foundation's Creation of Two Separate Charitable Funds for the Support of Identified Community Projects and General Community Enhancements

Council Member HORBACZ, Cody J.  
 Council Member JENNINGS, Stephen A.  
 Council Member MACALUSO, Teresa R.  
 Council Member WALCZYK, Mark C.  
 Mayor BUTLER, Jr., Joseph M.

Total .....

YEA	NAY

### *Introduced by*

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WHEREAS the Northern New York Community Foundation raises, manages and administers an endowment and collection of funds for the benefit of the community. Those funds were built, and continue to be added to, by gifts from individuals and organizations committed to meeting the changing needs of Northern New York, and

WHEREAS the Northern New York Community Foundation has offered to serve as a vehicle through which public individuals, organizations, and/or businesses can make charitable/tax-deductible contributions to support public benefit enhancement projects within the City as they arise, and

WHEREAS the City Council of the City of Watertown believes that it is in the best interests of the citizens of the City to agree to the creation of two separate funds by the Northern New York Community Foundation, and that such funds will further the public interest,

NOW THEREFORE BE IT RESOLVED that the City Council of the City of Watertown agrees to the creation of a "City of Watertown Community Project Fund" by the Northern New York Community Foundation, the purpose of which would be to provide an intermediate repository for charitable funds to support specific projects, programs and initiatives designed to provide community enhancements within the geographic boundaries of the City of Watertown, and

BE IT FURTHER RESOLVED that the City Council of the City of Watertown agrees to the creation of a "City of Watertown Community Fund" by the Northern New York Community Foundation, the purpose of which would be to provide a permanent repository for charitable funds to support projects, programs and initiatives that will provide community enhancements within the geographic boundaries of the City of Watertown, and

# RESOLUTION

Page 2 of 2

Agreeing to the Northern New York Community Foundation's Creation of Two Separate Charitable Funds for the Support of Identified Community Projects and General Community Enhancements

Council Member HORBACZ, Cody J.  
 Council Member JENNINGS, Stephen A.  
 Council Member MACALUSO, Teresa R.  
 Council Member WALCZYK, Mark C.  
 Mayor BUTLER, Jr., Joseph M.  
 Total .....

YEA	NAY

BE IT FURTHER RESOLVED that the City Council of the City of Watertown greatly appreciates the good works of the Northern New York Community Foundation, and looks forward to working with it in the ongoing development of community enhancements.

**Seconded by**

Res No. 2

February 24, 2016

To: The Honorable Mayor and City Council

From: Sharon Addison

Subject: Approving the Assignment of the Lease Agreement Between Greater Watertown Red and Black Inc. and City of Watertown to The X-Men of Watertown, LLC

On March 16, 2015 City Council approved a Lease Agreement with the Greater Watertown Red and Black Inc. through the 2017 season, expiring March 31, 2018. A copy of that Agreement is attached for your review.

The Greater Watertown Red and Black Inc. has now announced that The X-Men of Watertown, LLC have purchased their assets. The Lease Agreement requires the City's consent before Assignment of the Agreement can be effective. The X-Men of Watertown, LLC agrees to be bound by each and every term of the Agreement as if it had originally entered into the Agreement with the City.

Attached for City Council consideration is a Resolution approving the Assignment of Lease to The X-Men of Watertown, LLC.

# RESOLUTION

Page 1 of 1

Approving the Assignment of the Lease Agreement Between Greater Watertown Red and Black Inc. and City of Watertown to The X-Men of Watertown, LLC

Council Member HORBACZ, Cody J.  
 Council Member JENNINGS, Stephen A.  
 Council Member MACALUSO, Teresa R.  
 Council Member WALCZYK, Mark C.  
 Mayor BUTLER, Jr., Joseph M.

Total .....

YEA	NAY

### *Introduced by*

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WHEREAS City of Watertown and Greater Watertown Red and Black Inc. entered into a Lease Agreement for the Alex T. Duffy Fairgrounds football field and other facilities, which Lease was last dated March 25, 2015, and is effective from April 1, 2015 through March 31, 2018, and

WHEREAS, Greater Watertown Red and Black Inc. has sold the assets of the Watertown Red & Black to The X-Men of Watertown, LLC, and

WHEREAS the Lease Agreement between Greater Watertown Red and Black Inc. and the City of Watertown provides that the Lease Agreement may not be assigned to any person or entity without the City’s consent, which may be withheld for any reason, and in its sole discretion, and

WHEREAS the City Council of the City of Watertown believes it to be in the best interests of the City to consent to the Assignment of the Lease Agreement in accordance with the Assignment attached to this Resolution, conditioned upon The X-Men of Watertown, LLC’s agreement to be bound by the terms of the Agreement as if it had initially entered into the Lease Agreement with the City,

NOW THEREFORE BE IT RESOLVED by the City Council of the City of Watertown that the City agrees to the Assignment of the Lease Agreement by Greater Watertown Red and Black Inc. to The X-Men of Watertown, LLC upon the condition that The X-Men of Watertown, LLC agrees to be bound by each and every term of the Lease Agreement as if it had initially entered into the Agreement with the City, a copy of which is attached and made part of this Resolution, and

BE IT FURTHER RESOLVED that the City Manager is authorized to sign the “consent” on behalf of the City as soon as practicable.

### *Seconded by*

## ASSIGNMENT OF LEASE

This Agreement is made as of the 2~~7~~ day of February, 2016 by and between Greater Watertown Red and Black Inc., a New York Not-For-Profit corporation with principal offices located at 1358 Washington Street, Watertown, New York 13601 ("Assignor") and The X-Men of Watertown, LLC, a New York limited liability company with a principal place of business located at 18476 U.S. Route 11, Watertown, New York 13601 ("Assignee").

## RECITALS

WHEREAS, Greater Watertown Red and Black Inc. entered into to a 3-year Lease Agreement with the City of Watertown, New York for the period from April 1, 2015 through March 31, 2018 for premises generally known as the Alex T. Duffy Fairgrounds football field and all incidents thereto, including the bleachers and scoreboard, pursuant to a certain written Lease Agreement effective April 1, 2015, a copy of which is attached as Exhibit "A;" and

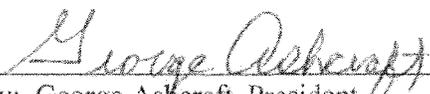
WHEREAS, The X-Men of Watertown, LLC has purchased all of the business assets, properties, and rights of Seller used in connection with the semi-professional football team known as the Greater Watertown Red and Black a/k/a Red & Black; and

WHEREAS, the parties desire to effect an assignment of all of the Greater Watertown Red and Black Inc.'s interest in and to the Lease Agreement with the City of Watertown to The X-Men of Watertown, LLC, subject to the consent of the City to the Assignment, it is hereby

AGREED, that Assignor hereby assigns all of its rights in and to a certain Lease Agreement between Greater Watertown Red and Black Inc. and the City of Watertown, New York, for the three (3) year period from April 1, 2015 through March 31, 2018 to Assignee; and it is hereby further

AGREED, that Assignee has accepted the assignment and hereby assumes all rights and obligations of Assignor in and to the Lease Agreement, and agrees to be bound to the City of Watertown with respect to all promises made by Assignor in the Lease Agreement as if made directly by Assignee to the City of Watertown.

GREATER WATERTOWN RED AND BLACK INC.

  
By: George Ashcraft, President

THE X-MEN OF WATERTOWN, LLC

  
By: William F. Caprara, member

STATE OF NEW YORK     )  
  ) SS.:  
COUNTY OF JEFFERSON )

On February 24, 2016 before me, personally appeared **GEORGE ASHCRAFT**, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity and that by his signature on the instrument, the individual or person upon whose behalf the individual acted, executed the instrument.

\_\_\_\_\_  
Notary Public  
ROBERT J. SLYE  
Notary Public, State of New York  
Qualified in Jefferson County  
Commission No. 4326341  
Commission Expires Sept. 30, 20 17

STATE OF NEW YORK )  
 ) SS.:  
COUNTY OF JEFFERSON )

On February 24, 2016 before me, personally appeared **WILLIAM F. CAPRARA**, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity and that by his signature on the instrument, the individual or person upon whose behalf the individual acted, executed the instrument.

  
\_\_\_\_\_  
Notary Public  
ROBERT J. SIYE  
Notary Public, State of New York  
Qualified in Jefferson County  
Commission No. 4829841  
Commission Expires Sept. 30, 20 17

The City of Watertown consents to the Assignment.

CITY OF WATERTOWN

Dated: \_\_\_\_\_

\_\_\_\_\_  
By: Sharon Addison, City Manager

**LEASE AGREEMENT**

**THE CITY OF WATERTOWN, NEW YORK  
AND  
GREATER WATERTOWN RED AND BLACK, INC.**

This Lease is being made and is intended to be effective as of April 1, 2015 between the City of Watertown, New York, with its principal offices located at 245 Washington Street, Watertown, New York 13601 ("City") and Greater Watertown Red and Black, Inc., with its principal offices located at 1358 Washington Street, Watertown, New York, ("Football").

**INTRODUCTION**

WHEREAS, the City is a municipal corporation organized under the laws of the State of New York and, as such, owns a facility known as the Alex T. Duffy Fairgrounds (the "Fairgrounds") within the City of Watertown, and the Fairgrounds are a community recreational facility; and

WHEREAS, the City desires to promote future recreational activities at the Fairgrounds for the valid public purpose of the benefit, recreation, entertainment, amusement, convenience and welfare of the people of the City; and

WHEREAS, in pursuit of that public purpose, the City desires to contract for the use, operation, management and maintenance of the Fairgrounds multi-purpose field and all Empire League football-related activities; and

WHEREAS, Football owns and operates a seasonal football team as a member and franchise of the Empire Football League; and

WHEREAS Football desires to have its team, Red and Black (the "Team"), play football games within the confines of the Fairgrounds; and

WHEREAS, the City has undertaken a substantial capital improvement project for the Fairgrounds in furtherance of the public purpose of keeping football in the City for the recreation, entertainment and welfare of the people of the City, including the economic benefit such a team can bring.

NOW, THEREFORE, in consideration of mutual covenants and agreements as stated herein, the City and Football agree as follows:

## AGREEMENT

### Section I – Term of Lease

The initial term of this Lease shall be for a three-year period from April 1, 2015 through March 31, 2018.

### Section II – Premises Leased

The City agrees to lease to Football the premises generally known as the Alex T. Duffy Fairgrounds football field and all incidents thereto, including the bleachers and scoreboard, consisting of essentially that area bounded by the multi-purpose field fence separating the field from the remainder of the Fairgrounds, together with the immediately adjacent parking areas (the “Premises”). This lease also provides for rental of the storage/locker areas highlighted in yellow on the map attached as Exhibit A to this Agreement. Restrooms and locker rooms in the Grandstand are part of the Leased Premises when Football is practicing or playing a game on leased fields owned by the City. Restrooms and additional locker rooms may be used as needed depending upon availability. The Fairgrounds multi-purpose #5 field will be made available for practice purposes. In the event this field cannot be used, one of the other nearby fields may be used.

### Section III – Non-Assignability and Non-Exclusivity

a. The City and Football agree that it is the purpose of this Agreement to contract for the use, operation, management and maintenance of the Premises, and that this is an agreement for the privilege of Football to use the Premises only for the purpose of semi-pro football. This Lease Agreement may not be assigned by Football to any person or entity, and Football agrees that the City’s consent to any assignment may be withheld for any reason, and in its sole discretion.

b. The City agrees not to enter into a lease for the Premises with any other Professional or Semi-Pro Football team during the term of this lease, without the written consent of Football.

c. It is further understood that this Lease Agreement is non-exclusive, meaning that, at those times when the Premises are not being used for Football’s purposes, the City retains the right to make the Premises available for other uses to the extent that the use will not interfere with those purposes. By express understanding, it will not be interference for the City to allow the playing field to be used by college, high school, youth leagues or other sporting teams. At such times, it shall be the City’s responsibility to maintain the Premises in good repair.

Section IV – Compensation (Rent)

a. As a compensation for the use of the Premises, and during the term of this Lease, Football shall pay to the City fees as follows:

Rental of Storage Space	\$600.00 per year
Day Game	\$150.00 per game
Night Game	\$200.00 per game
Practice	\$1400.00 for the season

Day game means any game that ends before 6:00 p.m.

Night game means any game that begins at or extends beyond 6:00 p.m.

When scheduling the use of the City's fields, the City will give games priority over practices and events.

Football will provide the City Department of Parks and Recreation and the City Comptroller's Office with a schedule detailing all planned field use for games, practices and camps no later than April 1<sup>st</sup> of each year

b. Payment must be made to the City by the 1<sup>st</sup> day of the month for that month's scheduled field time. If full payment is not made by Football by the 1<sup>st</sup> day of the month for that month's scheduled field time or any other unpaid invoice is over 30 days outstanding, Football will not be authorized use of the facility until full payment is made. An invoice will be generated by the City at the month's end for any additional field time used above and beyond scheduled time by Football, payable within 30 days. Football shall not receive credit for any unused, but scheduled, field time unless 48 hours of notice is given to the Parks and Recreation Department or in the event of inclement weather.

Section V – Concessions and Advertising

a. The City and Football agree that for Football events during the term of this Lease Agreement, concessions rights for the sale of food and non-alcoholic drink as well as for football souvenir items sold on the Premises shall be exclusive to Football. The City shall not permit nor allow mobile units or other vendors or concessions upon the Premises during events or activities being conducted by Football without the written consent of Football

b. All expenses incurred in providing concessions shall be at the sole expense of Football.

c. Football shall pay the City \$750.00 for rights to sell concessions on the Leased Premises for the term of this lease. Full payment must be made to the City by April 1<sup>st</sup> of each year.

d. Football will be allowed to sell Advertising to be placed upon the side line fences, ticket booths and the press box, on the Leased Premises and on the scoreboard. Mounting of advertising on City property must be approved in advance by the City. Football is not authorized to hang political signage of any kind. Football is not authorized to sell advertising and install signs in any other areas of the Leased Premises without the written consent of the City. It will be the responsibility of Football to install and remove the Advertising. By April 1<sup>st</sup> of each year, Football will be responsible for a flat fee of \$300 to have exclusive rights for signage.

#### Section VI – Franchise for Sale of Alcoholic Beverages

a. Football desires to provide for the sale of beer at the professional games to be held pursuant to this Agreement, and the City grants such franchise upon the terms outlined in this section. Football may provide such sales itself or enter into a sub-franchise agreement with a person or entity who or which shall obtain a SLA license for beer sales for the Watertown Municipal Fairgrounds Main Multi-Purpose Field at 667 William T. Field Drive is limited to the term of this Agreement.

Football; and any sub-franchise agreement with a licensed vendor shall provide that both Football and the vendor, shall be bound by the terms of the City's "ABC Law, Rules and Guidelines," as the same may, from time to time, be amended. A copy of the City's current "ABC Law, Rules and Guidelines" is attached to this Agreement as Exhibit "B" Football and any sub-franchisee shall also be specifically bound by the terms and conditions of any license issued by the State Liquor Authority.

Football or its sub-franchisee shall provide the City with a copy of any application for the license, and shall, at a minimum as part of the application, show the locations of all points of sale; indicate the manner in which control of the sale of alcoholic beverages will be maintained; contain an acknowledgement that it will discontinue the service of alcohol at any time when directed to do so by the shift supervisor of the Watertown City Police; provide proof of its liquor liability insurance coverage in the amount of \$1,000,000.00 individual/\$2,000,000.00 aggregate; and represent that the times of alcohol service must be no earlier than one hour prior to the commencement of any game and that all service will be discontinued by the end of the third quarter.

Football acknowledges that, as the party responsible for the sub-franchisee, it is obligated not to permit the sale of alcoholic beverages in violation of the New York Alcoholic Beverage and Control Law, the New York Penal Law, and/or the New York General Obligations Law. If it is determined that Football or its sub-franchisee has sold beverages in violation of any of the applicable rules and regulations, including any term of this agreement, Football's right to sell or contract with a sub-franchisee for the sale of alcohol on the premises will be immediately revoked.

Football acknowledges that the City of Watertown is not involved in the sale of alcoholic beverages, and agrees to defend and indemnify the City, including reimbursement of the City's reasonable attorneys' fees, from any and all claims, civil or criminal, arising from any claimed violations of law pertaining to, or statutory duty arising from, the sale of alcoholic beverages.

(1) Football Games: At no time shall alcohol sales begin more than one hour prior to the start of the game, and all alcohol sales will cease at the end of the third quarter.

(2) Other events: The sale of alcohol shall not be allowed more than one hour prior to the commencement of the event and shall stop at least one half hour prior to the scheduled conclusion of the event. "Other events" are defined as only the events taking place during the week of the Jefferson County Fair, or as specifically approved by the City Manager. Football acknowledges that this Lease Agreement contains no right to sponsor concerts or other events, and that City consent for the same may be withheld for any reason whatsoever.

#### Section VII – Adequacy of Leased Premises

a. Football represents that the premises satisfy the requirements of the Empire Football League and that the City shall not be obligated to make any change to the Premises during the term of this Lease to satisfy any requirements of Football or the Empire Football League.

b. Football shall certify in writing to the City that it has accepted, in good order and repair, the Premises. This certification by Football shall include a statement that Football has examined and knows the condition of the Premises and has received the same in good repair and working order. Any exceptions by Football to the condition of the Premises at the time of their receipt shall be provided to the City in writing.

#### Section VIII – Maintenance

a. The City agrees that it will keep the Premises, including any structural or capital repairs and improvements, in good repair during the term of this Lease, and at its own expense. The City further agrees that it shall bear the cost of electric facilities and electric service to the Premises.

b. Football agrees to provide custodial maintenance of the Premises during the term of the Lease. Football is responsible for cleaning the Leased Premises after every game or practice. If Football has not cleaned the Leased Premises by 10:00 a.m. the day following a game or practice, the City will clean the Leased Premises and Football will reimburse the City as described below:

1 <sup>st</sup> offense	\$50 Fee, plus actual cost
2 <sup>nd</sup> offense	\$100 Fee plus, actual cost
3 <sup>rd</sup> offense	\$250 Fee plus, actual cost
After 3 offenses (each offense)	\$500 Fee plus, actual cost

If the City is compelled to do custodial maintenance, as described above, Football will pay the bill for such work performed by the City before they will be allowed to use the Leased Premises for a game or practice.

c. Football shall keep the Premises secure and keep unauthorized persons out of the grandstand area.

d. The City agrees that it will maintain the football field. Football acknowledges, however, that the City's employees are not responsible for the laying and removal of football equipment prior to, during, or after any particular football game or practice.

e. If all or any part of the Premises are damaged or destroyed by Football, or by any of its agents or employees, or by any of Football's patrons, or during any event for which Football is responsible, (for example, damage, or destruction to the goal post), Football agrees that it will immediately cause repairs or, if the City repairs the damage, that it will reimburse the City for such damage or destruction. The City reserves the right to close any non-paved or unimproved areas from parking in order to avoid damage to our fields and green areas.

#### Section IX – Parking Fees

Football acknowledges that the City reserves the right to assess a one dollar (\$1.00) parking charge, per car, at each home game for the Team. This amount may increase at the City's sole discretion. The parties agree that the City shall be responsible for collecting the fee, and that all proceeds from parking shall inure to the City.

#### Section X – Insurance

a. Football agrees to name the City as an additional named insured for its liability coverages, and to provide proof of general liability insurance in the amount of \$500,000/\$1,000,000 combined single limit. Football shall provide the City with copies of its declaration pages for the policy or policies during the duration of the Lease Agreement. Football's policies of insurance may not limit the City's coverage as an additional insured to vicarious liability issues only.

b. The City will insure the Premises to cover only the City's interest in the event of damage due to fire or other hazard. Football agrees that, if the Premises are materially damaged by fire or other casualty, the City is not obligated to restore the Premises, and

Football will have no claim under this Lease against the City for not restoring the Premises.

c. Football shall procure and maintain Workers' Compensation insurance and disability insurance in accordance with the laws of the State of New York. This insurance shall cover all persons who are employees of Football under the laws of the State of New York. Proof of said insurance shall be provided to the City of Watertown upon signing of this Agreement.

#### Section XI – Hold Harmless

Football shall indemnify and hold the City harmless, including reimbursement for reasonable attorneys' fees, from any and all loss, costs or expense arising out of any liability or claim of liability for injury or damages to persons or to property sustained by any person or entity by reason of Football's operation, use, or occupation of the Premises, or by or resulting from any act or omission of Football or any of its officers, agents, employees, guests, patrons or invitees. The liability insurance in the type and amounts identified at Section X, naming the City as an additional named insured, shall be sufficient for purposes of meeting Football's obligations under this paragraph.

#### Section XII – Venue and Applicable Law

a. The City and Football agree that the venue of any legal action arising from a claimed breach of this Lease is in the Supreme Court, State of New York, in and for the County of Jefferson.

b. This Agreement shall be construed in accordance with the laws of the State of New York.

#### Section XIII – Right of Access

The City reserves the right to enter the Premises by its duly authorized representatives at any reasonable time which does not interfere or conflict with the conduct of business of Football, for the purposes of inspecting the Premises, performing any work necessary required on the part of the City, exhibiting the Premises, or in the performance of its police powers.

#### Section XIV – Return of Premises

Football agrees to return the Premises to the City, upon the expiration of this Lease, in as good condition as when Football received possession of the Premises, reasonable wear and tear excepted, and excepting damage to the Premises caused by

others when the Premises were not under the control of Football. The City and Football will conduct a walk-through of the Premises at the beginning of the Lease term. The City and Football will conduct an initial walk-through of the Premises at the end of each season. Upon expiration of the Lease, the City and Football will conduct a final walk through of the Premises.

Section XV – Desire to Renew Notice

Football shall provide the City with a ninety (90) day written notice of its desire to discuss the option to renew this Agreement.

Section XVI – Notice

All notices required to be given under this Lease shall be in writing and shall be deemed to have been duly given on the date mailed if sent by certified mail, return receipt requested, to:

To City: Sharon Addison, City Manager  
City of Watertown  
245 Washington Street  
Watertown, New York 13601

To Football: George Ashcraft, General Manager  
Greater Watertown Red and Black, Inc.  
1358 Washington Street  
Watertown, New York 13601

A party may change the address to which notices are to be sent by written notice actually received by the other party.

IN WITNESS WHEREOF, the City and Football will have caused this Lease to be executed by authorized agents to be effective as of April 1, 2015

THE CITY OF WATERTOWN, NEW YORK

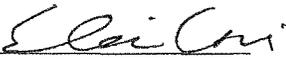
By: Sharon Addison  
Sharon Addison, City Manager

GREATER WATERTOWN RED AND BLACK,  
INC.

By: George Ashcraft  
George Ashcraft, General Manager  
George Ashcraft

STATE OF NEW YORK )  
 ) ss:  
COUNTY OF JEFFERSON )

On March 17, 2015 before me, the undersigned, a Notary Public, in and for said State personally appeared Sharon Addison, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me he executed the same in his capacity and that by his signature on the instrument, the individual or the person upon whose behalf the individual acted, executed the instrument.

  
Notary Public

**ELAINE GISO**  
Notary Public, State of New York  
Qualified in Jefferson County  
No. 01GI4619507  
Commission Expires 1/31/18

STATE OF NEW YORK )  
 ) ss:  
COUNTY OF JEFFERSON )

On March 25, 2015, before me, the undersigned, a Notary Public, in and for said State, personally appeared George Ashcraft, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me he executed the same in his capacity and that by his signature on the instrument, the individual or the person upon whose behalf the individual acted, executed the instrument.

  
Notary Public

**JENNIFER L. WHITNEY**  
Notary Public, State of New York  
No. 01WH5018823  
Qualified in Jefferson County  
My Commission Expires October 12, 2017

Res No. 3

March 1, 2016

To: The Honorable Mayor and City Council

From: Sharon Addison, City Manager

Subject: Accepting Bid for Unarmed Security for the Flower Memorial Library

The City Purchasing Department has advertised and received sealed bids for unarmed security for the Flower Memorial Library, as per City specifications, which will run from the date of the award through June 30, 2018, with the option to renew for three additional one-year periods.

Invitations to bid were issued to twelve (12) security service firms, with three (3) bids submitted to the Purchasing Department where they were publicly opened and read on Monday, February 29, 2016, at 11:00 a.m.

City Purchasing Manager Amy M. Pastuf reviewed the bids received with Library Director Yvonne Reff, and it is their recommendation that the City Council accept the bid submitted by ICU Security & PI as the lowest qualified bidder meeting our specifications. The other bids submitted are detailed in the attached report of Mrs. Pastuf.

RESOLUTION

Page 1 of 1

Accepting Bid for Unarmed Security for the Flower Memorial Library, ICU Security & PI

Council Member HORBACZ, Cody J.  
 Council Member JENNINGS, Stephen A.  
 Council Member MACALUSO, Teresa R.  
 Council Member WALCZYK, Mark C.  
 Mayor BUTLER, Jr., Joseph M.  
 Total .....

YEA	NAY

**Introduced by**

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WHEREAS the City Purchasing Manager has advertised and received sealed bids for the unarmed security for the Flower Memorial Library, as per City specifications, which will run from the date of the award through June 30, 2018, with the option to renew for three additional one-year periods, and

WHEREAS invitations to bid were issued to twelve (12) security service firms with three (3) bids submitted to the Purchasing Department, and

WHEREAS on Monday, February 29, 2016, at 11:00 a.m., the bids received were publicly opened and read, and

WHEREAS City Purchasing Manager Amy M. Pastuf reviewed the bids received with Library Director Yvonne Reff, and it is their recommendation that the City Council accept the bid submitted by ICU Security & PI,

NOW THEREFORE BE IT RESOLVED that the City Council of the City of Watertown accepts the bid of ICU Security & PI in the bid amount of \$23.20 total hourly wage paid by the City for unarmed security at the Flower Memorial Library, and

BE IT FURTHER RESOLVED that City Manager Sharon Addison is hereby authorized and directed to sign all contracts associated with implementing the award to ICU Security & PI.

**Seconded by**



# CITY OF WATERTOWN, NEW YORK

ROOM 205, CITY HALL  
245 WASHINGTON STREET  
WATERTOWN, NEW YORK 13601-3380  
E-MAIL APastuf@watertown-ny.gov  
Phone (315) 785-7749 Fax (315) 785-7752

Amy M. Pastuf  
Purchasing Manager

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## MEMORANDUM

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**TO:** Sharon Addison, City Manager  
**FROM:** Amy M. Pastuf, Purchasing Manager  
**SUBJECT:** Bid 2016-03 – Unarmed Security for the FML - Bid Recommendation  
**DATE:** 2/29/2016

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The City's Purchasing Department advertised in the Watertown Daily Times on January 31, 2016 calling for sealed bids for Unarmed Security for the Flower Memorial Library as per City specifications. Bid Specifications were sent to twelve (12) security service firms. Three (3) sealed bids were submitted to the Purchasing Department. The sealed bids were publically opened and read on February 29, 2016, at 11:00 am, local time. The bid tally is provided below.

Firm Name	Current Prevailing Hourly Wage	Bid Rate	Total Wage paid by the City
<b>ICU Security &amp; PI</b>	<b>\$15.88</b>	<b>7.32</b>	<b>\$23.20</b>
U.S. Security Associates, Inc.	\$15.88	9.11	\$24.99
Vets Securing America	\$15.88	9.86	\$25.74

As per the New York State Department of Labor, this service is considered a Public Work Building Service that requires the payment of prevailing wages to the employees hired to provide security. Prevailing Wage Rates are provided by the Department of Labor and are updated once a year in July. The prevailing wage rate for security services is \$15.88 per hour plus supplemental benefits of \$1.70 per hour worked. The basis for award for this sealed bid is a dollar hourly rate that represents the costs, supplemental benefits and profit for the security providers. The bid rate provided by the security provider is added to the current prevailing wage to equal the hourly rate the City will pay for Library Security:

Current Prevailing Hourly Wage + **Bid Rate** = Total Hourly Wage paid by the City

This contract will run from the date of award through June 30, 2018. The contract may be renewed under the same terms and conditions for three (3) one year periods upon written consent of both parties.

The bids were reviewed by Library Director Yvonne Reff and the Purchasing Department to ensure that the bid meets the required specifications. It is recommended that we accept the bid proposal from ICU Security and PI for the hourly rate of **\$7.32**, which will be added to the current prevailing wage to equal the total wage paid by the City of Watertown.

If there are any questions concerning this recommendation, please contact me at your convenience.

Res No. 4

March 2, 2016

To: The Honorable Mayor and City Council  
From: Erin E. Gardner, Superintendent of Parks and Recreation  
Subject: Lease Agreement with the Watertown Bucks, Inc.

Attached for Council consideration and approval is the Lease Agreement for the Watertown Bucks for the 2016 season. Mr. Eddie Gonzalez will be the owner of the new Empire Professional Baseball League team. The season will run from May 15, 2016 through August 31, 2016. The Bucks are aware that this Agreement is for the 2016 season only.

A representative from the Parks and Recreation Department will be present at the Council Meeting should Council have questions.

RESOLUTION

Page 1 of 1

Approving Lease Agreement Between the City of Watertown and Watertown Bucks, Inc.

**Introduced by**

Council Member HORBACZ, Cody J.  
 Council Member JENNINGS, Stephen A.  
 Council Member MACALUSO, Teresa R.  
 Council Member WALCZYK, Mark C.  
 Mayor BUTLER, Jr., Joseph M.  
 Total .....

YEA	NAY

WHEREAS the City of Watertown owns and operates a facility known as the Alex T. Duffy Fairgrounds and the Fairgrounds are a community recreational facility, and

WHEREAS the City of Watertown desires to promote recreational activities at the Fairgrounds for the valid public purpose of the benefit, recreation, entertainment, amusement, convenience and welfare of the people of the City, and

WHEREAS in pursuit of that valid public purpose, the City of Watertown desires to contract for the use, operation, management and maintenance of the Fairgrounds baseball facilities and all baseball-related activities, and

WHEREAS the Watertown Bucks, Inc. owns and operates a summer professional baseball team, as a member and franchisee of the Empire Professional Baseball League, and

WHEREAS the Watertown Bucks, Inc. desires to have its team play baseball games within the confines of the Fairgrounds baseball fields and is in a unique position to contract to use, operate, manage and maintain the Fairgrounds baseball facilities,

WHEREAS the City has undertaken a substantial capital improvement project for the Fairgrounds in furtherance of the public purpose of keeping baseball in the City for the recreation, entertainment, and welfare of the people of the City, including the economic benefit such a team can bring,

NOW THEREFORE BE IT RESOLVED that the City Council of the City of Watertown hereby approves the Lease Agreement between the City and the Watertown Bucks, Inc., a copy of which is attached hereto and made part of this resolution, and

BE IT FURTHER RESOLVED that City Manager Sharon Addison is hereby authorized and directed to execute the Lease Agreement on behalf of the City of Watertown.

**Seconded by**

**LEASE AGREEMENT**

**THE CITY OF WATERTOWN, NEW YORK AND  
WATERTOWN BUCKS, INC**

This Lease is being made and is intended to be effective as of May 15, 2016 between the City of Watertown, New York, with its principal offices located at 245 Washington Street, Watertown, New York 13601 (“City”) and Watertown Bucks, Inc, with its principal offices located 306 15th Avenue NW, Ruskin, FL 33570 (“Baseball”).

**INTRODUCTION**

WHEREAS, the City is a municipal corporation organized under the laws of the State of New York and, as such, owns a facility known as the Alex T. Duffy Fairgrounds (the “Fairgrounds”) within the City of Watertown, and the Fairgrounds are a community recreational facility; and

WHEREAS, the City desires to promote future recreational activities at the Fairgrounds for the valid public purpose of the benefit, recreation, entertainment, amusement, convenience and welfare of the people of the City; and

WHEREAS, in pursuit of that public purpose, the City desires to contract for the use, operation, management and maintenance of the Fairgrounds baseball facilities and all baseball-related activities; and

WHEREAS, Baseball owns and operates a summer professional baseball team as a member and franchisee of the Empire Professional Baseball League (EPBL); and

WHEREAS, Baseball desires to have its team, the Watertown Bucks(the “Team”), play professional baseball games within the confines of the Fairgrounds baseball field and is in a unique position to contract to use, operate, manage and maintain the Fairgrounds baseball facilities; and

WHEREAS, the City has undertaken a substantial capital improvement project for the Fairgrounds in furtherance of the public purpose of keeping baseball in the City for the recreation, entertainment and welfare of the people of the City, including the economic benefit such a team can bring.

NOW, THEREFORE, in consideration of mutual covenants and agreements as stated herein, the City and Baseball agree as follows:

## AGREEMENT

### Section I – Term of Lease

The term of this Lease Agreement shall be for the period, from May 15, 2016 through August 31, 2016.

### Section II – Premises Leased

The City agrees to lease to Baseball the premises generally known as the Alex T. Duffy Fairgrounds baseball field and all incidents thereto all of which consist of the grandstands, concession facilities and certain locker rooms as highlighted in yellow on the attached map, all of which consisting of essentially that area bounded by the baseball field fence separating the baseball field from the remainder of the Fairgrounds, together with the immediately adjacent parking area (the “Premises”).

Baseball acknowledges that the Leased Premises do not meet applicable building codes for occupation as a residence, and therefore are to be used solely for the purpose of the conduct of games and authorized ancillary activities, and are not to be used as overnight accommodations for any of Baseball's employees, agents, contractors or other persons.

### Section III – Non-Assignability and Non-Exclusivity

a. The City and Baseball agree that it is the purpose of this Agreement to contract for the use, operation, management and maintenance of the Premises, and that this is an agreement for the privilege of Baseball to use the Premises only for the purpose of professional baseball. This Lease Agreement may not be assigned by Baseball to any person or entity, and Baseball agrees that the City’s consent to any assignment may be withheld for any reason, and in its sole discretion.

b. The City agrees not to enter into a lease for the Premises with any other minor league, professional or collegiate league team during the term of this lease, without the written consent of Baseball.

c. It is further understood that this Lease Agreement is non-exclusive, meaning that, at those times when the Premises are not being used for Baseball’s purposes, the City retains the right to make the Premises available for other uses to the extent that the use will not interfere with those purposes. It is expressly understood that it will not be interference for the City to allow the playing field to be used by college, high school, little league or other local baseball teams, or to permit others to host outdoor concerts on the Premises. At such times, it shall be the City’s responsibility to maintain the Premises in good repair. Baseball agrees it will cooperate with the City in making the Premises available to others. The City will notify Baseball when a non-baseball event is scheduled for the Premises.

Section IV – Compensation (Rent)

a. As compensation for the use of the Premises, and during the term of this Lease, Baseball shall pay to the City fees as follow:

Day Game	\$125.00 per game
Night Game	\$150.00 per game
Double-Header	\$250.00 per occurrence
Day Practice	\$ 75.00 per practice (up to 3 hours)
Night Practice	\$100.00 per practice
Day Camp	\$ 75.00 per day

Day game means any game that ends before 6:00 p.m.

Night game means any game that begins at or extends beyond 6:00 p.m.

Day practice means any practice that ends before 6:00 p.m.

Night practice means any practice that starts after 6:00 p.m.

b. Baseball will provide the City Department of Parks and Recreation with a season schedule detailing all planned field use for games, practices and camps no later than April 1<sup>st</sup> of each year of the lease.

c. Payment must be made to the City Comptroller by the first day of the month for that month's scheduled events at the Premises. If full payment is not made by Baseball by the first day of the month for that month's scheduled events, or any other unpaid invoice is over 30 days outstanding, Baseball will not be authorized to use the Premises, for any purpose, until full payment is made. An invoice will be generated at month's end for any additional time used above and beyond scheduled time by Baseball and must be paid within 30 days. Baseball shall not receive credit for any unused, but scheduled, field time, unless in the event of inclement weather.

Section V – Non-Alcohol Concessions and Advertising

a. It is the purpose of this Section to provide an incentive to Baseball or sub franchisee(s) to operate concessions during the term of the lease for all events held at the Premises for the benefit of both Baseball and the City. The City and Baseball agree that during the term of this lease, and for all events at the Premises, whether for Baseball purposes or otherwise, concession rights for the sale of food and non-alcoholic drinks, as well for baseball souvenir items sold on the Premises, shall be exclusive to Baseball. The City shall not permit nor allow mobile units or other vendors or concessions upon the Premises during events or activities being conducted by Baseball or others during the

term of this lease. Prior to opening the concessions for sale of food and drink, Baseball will provide the City with all applicable licenses, including but not limited, required NYS Department of Health.

b. All expenses other than normal wear and tear, including repairs to appliances including a walk-in cooler, freezer, griddle, and beverage dispensers due to negligence or abuse incurred in providing concessions shall be at the sole expense of Baseball.

c. The City authorizes Baseball to install soda vending machines on the Premises. The City, in its sole discretion, can ask to have the vending machines removed if vandalism occurs.

d. Baseball shall be responsible for causing the non-alcohol concessions to be open and operated for all Baseball events. Additionally, Baseball shall be responsible for causing such concessions to be open and operated during the hours of Fair Week if an event is held in the grandstand area. In the event that non-Baseball events are held at the Leased Premises during Baseball's regular season, Baseball shall be responsible for causing the concession to be opened and operated for those events.

e. Baseball will be allowed to sell Advertising to be placed within the Premises. There shall be no signs endorsing or sponsored by a political candidate. The Parks and Recreation Crew Chief must approve all advertising prior to installation. It will be the responsibility of Baseball to install and remove the Advertising, including the removal of all hardware. In the event that all signage and/or hardware is not removed by August 31<sup>st</sup> .. Baseball will be responsible for reimbursing the City for the costs of removing said signage and/or hardware. An annual fee for advertising rights of \$3,000.00 shall be paid to the City Comptroller's Office no later than May 15, 2016. Signs can be up only between May 15<sup>th</sup> and August 31<sup>st</sup>.

#### Section VI – Franchise for Sale of Alcoholic Beverages

a. Baseball desires to provide for the sale of beer at the professional games to be held pursuant to this Agreement, and the City grants such franchise upon the terms outlined in this section. Baseball may provide such sales itself or enter into a sub-franchise agreement with a person or entity who or which shall obtain a SLA license for beer sales for the Watertown Municipal Fairgrounds Main Baseball Field limited to the term of this Agreement.

Baseball's' shall, and any sub-franchise agreement with a licensed vendor shall provide that both baseball and the vendor, shall be bound by the terms of the City's "ABC Law, Rules and Guidelines," as the same may, from time to time, be amended. A copy of the City's current "ABC Law, Rules and Guidelines" is attached to this Agreement as Exhibit "A." Baseball and its sub-franchisee shall also be specifically bound by the terms and conditions of any license issued by the State Liquor Authority.

Baseball or its sub-franchisee shall provide the City with a copy of any application for the license, and shall, at a minimum as part of the application, show the locations of all points of sale; indicate the manner in which control of the sale of alcoholic beverages will be maintained; contain an acknowledgement that it will discontinue the service of alcohol at any time when directed to do so by the shift supervisor of the Watertown City Police; provide proof of its liquor liability insurance coverage in the amount of \$1,000,000.00 individual/\$2,000,000.00 aggregate; and represent that the times of alcohol service must be no earlier than one-half hour prior to the commencement of any game and that all service will be discontinued at the end of the 7<sup>th</sup> inning stretch.

Baseball acknowledges that, as the party responsible for the sub-franchisee, it is obligated not to permit the sale of alcoholic beverages in violation of the New York Alcoholic Beverage and Control Law, the New York Penal Law, and/or the New York General Obligations Law. If it is determined that Baseball or its sub-franchisee has sold beverages in violation of any of the applicable rules and regulations, including any term of this franchise, Baseball's right to sell or contract with a sub-franchisee for the sale of alcohol on the premises will be immediately revoked.

Baseball acknowledges that the City of Watertown is not involved in the sale of alcoholic beverages, and agrees to defend and indemnify the City, including reimbursement of the City's reasonable attorneys' fees, from any and all claims, civil or criminal, arising from any claimed violations of law pertaining to, or statutory duty arising from, the sale of alcoholic beverages.

(1) Baseball Games: At no time shall alcohol sales begin more than one hour prior to the start of the game, and all alcohol sales will cease at the end of the 7<sup>th</sup> inning stretch. If a double header is being played, sales shall end following the completion of the 5<sup>th</sup> inning of the second game.

(2) Other events: The sale of alcohol shall not be allowed more than one hour prior to the commencement of the event and shall stop at least one half hour prior to the scheduled conclusion of the event. "Other events" are defined as only the events taking place during the week of the Jefferson County Fair, or as specifically approved by the City Manager. Baseball acknowledges that this Lease Agreement contains no right to sponsor concerts or other events, and that City consent to the same may be withheld for any reason whatsoever.

## Section VII – Adequacy of Leased Premises

a. Baseball represents that the Premises satisfy the requirements of the Empire Professional Baseball League and that the City shall not be obligated to make any changes to the Premises and the office space during the term of this Lease to satisfy any requirements of Baseball or the Empire Professional Baseball League.

b. Baseball shall certify in writing to the City that it has accepted, in good order and repair, the Premises. This certification by Baseball shall include a statement that Baseball has examined and knows the condition of the Premises and has received the same in good repair and working order. Any exceptions by Baseball to the condition of the Premises at the time of their receipt shall be provided to the City in writing.

#### Section VIII – Maintenance

a. The City agrees that it will keep the Premises, including any structural or capital repairs and improvements, in good repair during the term of this Lease, and at its own expense. The City further agrees that it shall bear the cost of electric facilities and electric service to the Premises.

b. Baseball agrees to provide custodial maintenance of the Premises during the term of the Lease. Baseball is responsible for cleaning the Leased Premises after every game or practice. Baseball shall keep the Premises secure and keep unauthorized persons off of the roof in the grandstand area. Baseball agrees to be further responsible for maintenance of the Premises for all non-baseball activities that Baseball permits to take place on the Premises while the facilities are in the possession of Baseball. If Baseball has the concessions open for a non-Baseball event, Baseball will still be responsible for custodial maintenance and cleanup of the Premises. Baseball must complete all custodial and maintenance clean-up within one hour of game or event completion. A minimum charge of \$25.00 per hour will be invoiced to Baseball for failure to complete clean-up within one hour of game or event completion and will be due within 30 days of receipt.

c. The City agrees that it will maintain the baseball field. Baseball acknowledges, however, that the City's employees are not responsible for the laying and removal of the main field tarp prior to, during, or after any particular baseball game. Baseball must request permission to tarp the field from the Parks and Recreation Crew Chief. The City agrees to provide up to four bags of Turface drying agent per game. Any Turface used above and beyond four bags will be charged back to Baseball at the City's cost.

d. If all or any part of the Premises are damaged or destroyed by Baseball, or by any of its agents or employees, or by any of Baseball's patrons, or during any event for which Baseball is responsible, (for example, damage or destruction to the outfield fence), Baseball agrees that it will immediately cause repairs or, if the City repairs the damage, that it will reimburse the City for such damage or destruction.

## Section IX – Office Space

As part of the Fairgrounds Capital Improvement Project, the City constructed office space. A portion of that office space has been requested for use by Baseball from May 15<sup>th</sup> through August 31<sup>st</sup>. The City agrees to lease a portion of the office space to Baseball for Six Hundred Dollars (\$600.00 per year), shall be paid to the City Comptroller's Office no later than May 15, 2016. In the event Baseball no longer desires to occupy the office space, Baseball may vacate the office upon thirty (30) days' written notice to the City, and the lease payment due will be prorated. This office space shall be considered part of the Premises for purposes of Section XVI.

The City will provide 35 folding chairs for Baseball's locker room. Baseball will be responsible for compensating the City for any lost or damaged chairs.

## Section X – Concession Space

a. As part of the Fairgrounds Capital Improvement Project, the City constructed concession space. Baseball has requested exclusive use of the concession space during the term of this Lease. The City agrees to lease concession space highlighted in yellow on the attached map and other areas within the Premises, as approved by the Superintendent of Parks and Recreation , to Baseball **for twenty eight hundred dollars (\$2,800) each year, shall be paid to the City Comptroller's Office no later than May 15, 2016.**

b. In the event that a non-Baseball event requiring paid admission is held within the Leased Premises during the term of the lease that has attendance which exceeds 1,000 people, Baseball will pay the City an additional \$500 for lease of the concession space for that event. If the attendance at such an event exceeds 2,000 people, Baseball will pay the City an additional \$1,000 for lease of the concession space for that event.

## **Section XI-COMPLIANCE WITH PROVISIONS/DEFAULT**

Baseball shall comply with the terms and conditions of this agreement in all respects. Any failure by Baseball to comply with the terms of this agreement in connection with alcohol sales, failure to maintain Premises, failure to provide non-alcohol concessions, or booking non-baseball events without permission shall constitute grounds for the City's termination of the franchise mid-season. If this is a multiple year or renewable lease/franchise, such failure to comply may be grounds for the City's refusal to permit Baseball's possession of the premises for the remainder of the lease term.

## Section XII– Insurance

a. Baseball agrees to name the City as an additional named insured for its liability coverage, and to provide proof of general liability insurance in the amount of \$500,000 per person and \$1,000,000 per occurrence, and property damage coverage in the amount of \$100,000. Baseball shall provide the City with copies of its declarations pages for the policy or policies during the duration of the Lease Agreement. Baseball's policies of insurance may not limit the City's coverage as an additional insured to vicarious liability issues only.

b. The City will insure the Premises to cover only the City's interest in the event of damage due to fire or other hazard. Baseball agrees that, if the Premises are materially damaged by fire or other casualty, the City is not obligated to restore the Premises, and Baseball will have no claim under this lease against the City for not restoring the Premises.

c. Baseball shall procure and maintain workers' compensation insurance and disability insurance in accordance with the laws of the State of New York. Proof of this insurance must be turned into the Parks and Recreation office before May 15, 2016. This insurance shall cover all persons who are employees of Baseball under the laws of the State of New York. Proof of said insurance shall be provided to the City of Watertown upon signing of this Agreement.

## Section XIII– Hold Harmless

Baseball shall indemnify and hold the City harmless, including reimbursement for reasonable attorneys' fees, from any and all loss, costs or expense arising out of any liability or claim of liability for injury or damages to persons or to property sustained by any person or entity by reason of Baseball's operation, use, or occupation of the Premises, or by or resulting from any act or omission of Baseball or any of its officers, agents, employees, guests, patrons or invitees. The liability insurance in the type and amounts identified at Section XII, naming the City as an additional named insured, shall be sufficient for purposes of meeting Baseball's obligations under this paragraph.

## Section XIV – Venue and Applicable Law

a. The City and Baseball agree that the venue of any legal action arising from a claimed breach of this Lease is in the Supreme Court, State of New York, in and for the County of Jefferson.

b. This Agreement shall be construed in accordance with the laws of the State of New York.

Section XV – Right of Access

The City reserves the right to enter the Premises by its duly authorized representatives at any reasonable time which does not interfere or conflict with the conduct of the business of Baseball, for the purposes of inspecting the Premises, performing any work necessary to required on the part of the City, exhibiting the Premises, or in the performance of its police powers.

Section XVI – Return of Premises

Baseball agrees to return the Premises to the City, upon the expiration of this Lease, in as good condition as when Baseball received possession of the Premises, reasonable wear and tear excepted, and excepting damage to the Premises caused by others when the Premises were not under the control of Baseball. The City and Baseball will conduct an initial walk through of the Premises at the beginning of the lease term. Upon expiration of the lease, The City and Baseball will conduct a final walk through of the Premises

Section XII– Notice

All notices required to be given under this Lease shall be in writing and shall be deemed to have been duly given on the date mailed if sent by certified mail, return receipt requested, to:

To City: Sharon Addison, City Manager  
City of Watertown  
245 Washington Street  
Watertown, New York 13601

To Baseball: Eddie Gonzalez, CEO  
Watertown Bucks, Inc.  
306 15th Avenue NW,  
Ruskin, FL 33570

A party may change the address to which notices are to be sent by written notice actually received by the other party.

IN WITNESS WHEREOF, the City and Baseball will have caused this Lease to be executed by authorized agents to be effective as of May 15, 2016.

THE CITY OF WATERTOWN, NEW YORK

By: \_\_\_\_\_  
Sharon Addison, City Manager

WATERTOWN BUCKS INC..

By: \_\_\_\_\_  
Eddie Gonzalez, CEO

STATE OF NEW YORK     )  
COUNTY OF JEFFERSON   ) ss.:

On \_\_\_\_\_, 2016, before me, the undersigned, a Notary Public, in and for said State, personally appeared Sharon Addison, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me he executed the same in his capacity and that by his signature on the instrument, the individual or the person upon whose behalf the individual acted, executed the instrument.

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NOTARY PUBLIC

STATE OF NEW YORK     )  
COUNTY OF JEFFERSON   ) ss.:

On \_\_\_\_\_, 2016, before me, the undersigned, a Notary Public, in and for said State, personally appeared Eddie Gonzalez, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me he executed the same in his capacity and that by his signature on the instrument, the individual or the person upon whose behalf the individual acted, executed the instrument.

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NOTARY PUBLIC

ABC Law Rules and Guidelines

- You must provide the City of Watertown with a copy of your license certificate at least 24 hours before the start of your event.
- You as the licensee are responsible for the activities of employees and patrons in all parts of the licensed premises, even if you are not always physically present, to ensure that the business is operating in accordance with the ABC Law.
- Your license certificate must be displayed so that it is in a conspicuous place inside the premises near the point of sale. Copies of the certificate for posting purposes are not acceptable.
- If you wish to make any changes in the structure of your corporation, or if you wish to change the individuals on the license, you must file the appropriate application and obtain approval from the Authority before making these changes.
- Appropriate books and records detailing purchases with invoices and the amount of each sale must be maintained at the premises and made available for inspection by SLA investigators.
- Bartenders, waitresses, waiters, hostesses and/or any persons who handle and receive payment for alcoholic beverages must be at least 18 years old.
- Bus persons and dishwashers who handle containers which have held alcoholic beverages must be at least 16 years old and must be directly supervised by someone at least 21 years old.
- According to Section 260.21 of the Penal Law, persons under the age of 16 must be accompanied by a parent or guardian to enter an on premises establishment.
- Alcoholic beverages must be consumed on the premises.
- Hours of sale are determined by the closing hours in the county where your establishment is located and your license/permit. Be sure you know the proper hours.
- You must have a valid bond in effect at all times.
- Purchases of alcoholic beverages must be made from duly licensed manufacturers and wholesalers. Purchases from retail stores or from any other retail licensee for resale are not permitted.
- Gambling of any type, either professional or social, is not permitted on any licensed premises. Exceptions are the sale of lottery tickets when licensed by the

Division of the Lottery and bingo or games of chance when authorized by the State Racing and Wagering Board.

- Refilling or tampering with the contents of any container containing alcoholic beverages is not permitted.
- An alcoholic beverage must be dispensed from the container in which it was received from the wholesaler.
- Any plans to make major physical changes or to substantially alter the licensed premises in any way may require permission from the authority prior to construction.
- Patrons may consume drinks purchased before closing hours up until one-half hour after the legal closing hours.
- To prevent sales to minors, ask for proof. It is a crime to give or sell alcoholic beverages to anyone under the age of 21. You should instruct your employees to check for proof of age before selling any alcoholic beverages. Acceptable documents for identification:
  - Valid New York State driver's license or a valid driver's license from any other state or Canada.
  - Valid identification issued by the New York Department of Motor Vehicles (non-Driver ID card).
  - Valid United States military identification.
  - Valid passport or visa from the United States government or any other country.

**College ID OR Sheriff's ID Cards  
are *NOT* acceptable Proof of Age.**

- Have a written policy on what you expect from employees when making alcoholic beverage sales and post the policy for all employees to see.
- Post a "Date Born After" sign in close proximity to all cash registers.
- Establish an ongoing training and education program for all employees.
- Be sure your bartenders, wait staff and clerks understand that they can be arrested for selling alcoholic beverages to minors and/or intoxicated people.
- Support your employees when they refuse to make a sale.
- Encourage responsible drinking when advertising your establishment. Do not use advertising and/or promotions which are designed as inducements for teenagers to drink.

## Recognize the signs of intoxication

Slurred speech

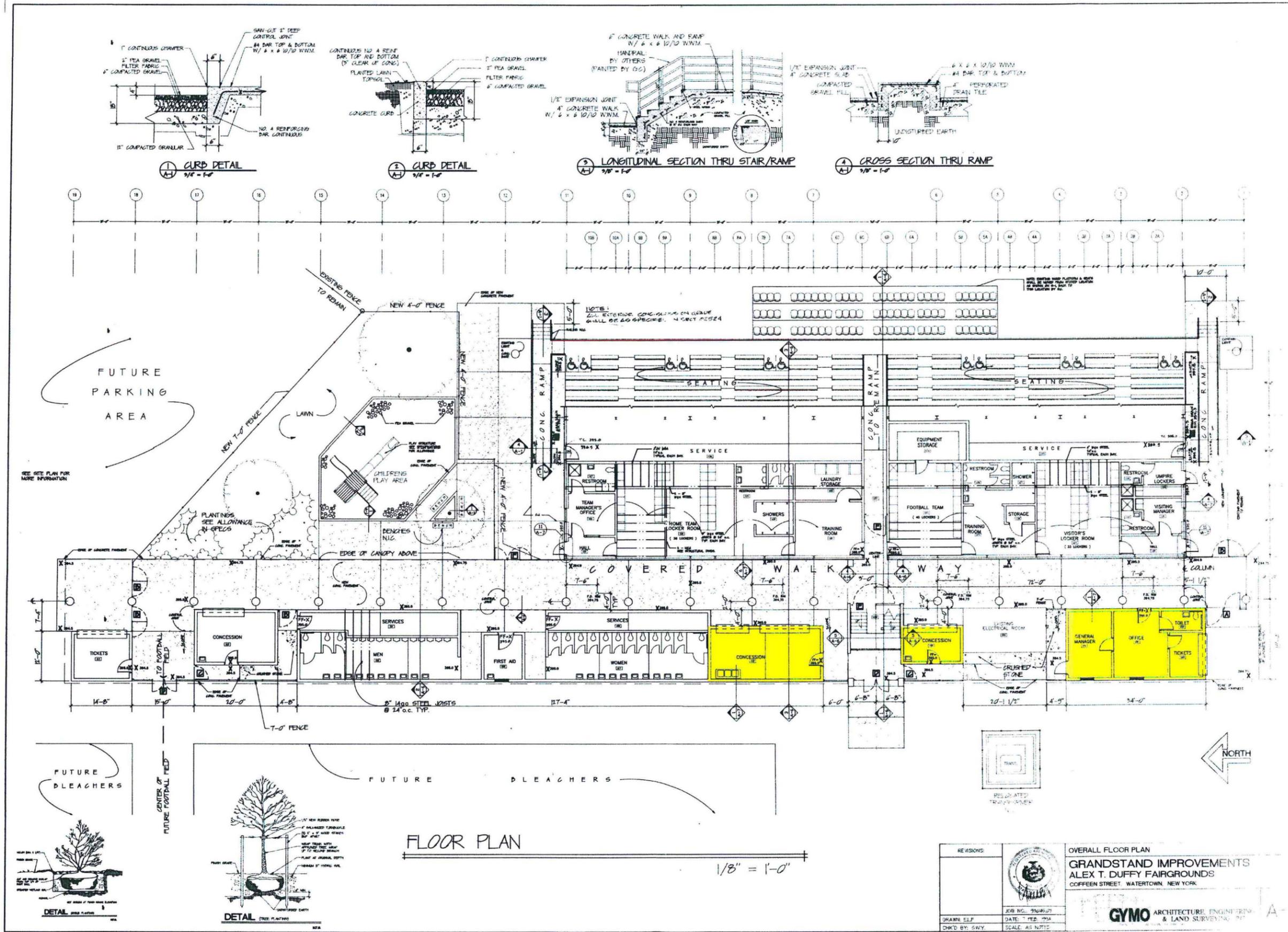
Mood swings

The smell of alcohol

Loud, abusive, profane language

Staggering or falling

# "EXHIBIT A"



Res No. 5

March 7, 2016

To: The Honorable Mayor and City Council

From: Michael A. Lumbis, Planner

Subject: Approving the Site Plan for the construction of an approximately 6,066 square-foot Goodyear Auto Service Center building and a 29-space parking lot located at 1240 Arsenal Street, Parcel Number 8-53-118.000

A request has been submitted by Ryan G. Churchill of GYMO, DPC, on behalf of Patrick Donegan of VDI Properties, LLC for the above subject site plan approval.

The City Planning Board reviewed the request on March 1, 2016, and voted to recommend that the City Council approve the site plan subject to the seven conditions listed in the resolution. Attached are copies of the Staff report prepared for the Planning Board and an excerpt from their meeting minutes. Also included in each City Council Member's agenda packet is a revised site plan that was submitted to the City on March 1, 2016.

The complete application was sent to the City Council Members on February 25 as part of the Planning Board package. The complete application can be also found on our website.

This site plan application requires review by the Jefferson County Planning Board, pursuant to Section 239-m of New York State General Municipal Law. The County Planning Board reviewed the request at its February 23, 2016 meeting and determined that the project does not have any significant County-wide or inter-municipal issues and is of local concern only.

The City Council must respond to the questions in Part 2 of the Short Environmental Assessment Form before it may vote on the resolution. The resolution prepared for City Council consideration states that the project will not have a significant negative impact on the environment and approves the site plan submitted to the City Engineering Department on March 1, 2016, subject to the conditions recommended by the Planning Board.

# RESOLUTION

Page 1 of 3

Approving the Site Plan for the construction of an approximately 6,066 square-foot building and a 29-space parking lot located at 1240 Arsenal Street, Parcel Number 8-53-118.000

Council Member HORBACZ, Cody J.  
 Council Member JENNINGS, Stephen A.  
 Council Member MACALUSO, Teresa R.  
 Council Member WALCZYK, Mark C.  
 Mayor BUTLER, Joseph M. Jr.

Total .....

YEA	NAY

### *Introduced by*

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WHEREAS Ryan G. Churchill of GYMO, DPC, on behalf of Patrick Donegan of VDI Properties, LLC, has submitted an application for site plan approval for the construction of an approximately 6,066 square-foot building and a 29-space parking lot located at 1240 Arsenal Street, Parcel Number 8-53-118.000, and

WHEREAS the Jefferson County Planning Board reviewed the site plan at its meeting held on February 23, 2016, pursuant to New York State General Municipal Law Section 239-m, and adopted a motion that the project does not have any significant County-wide or inter-municipal issues and is of local concern only, and

WHEREAS the Planning Board of the City of Watertown reviewed the site plan at its meeting held on March 1, 2016, and voted to recommend that the City Council of the City of Watertown approve the site plan with the following conditions:

1. The applicant shall obtain all necessary permissions from NYSDOT and forward appropriate documentation to the City Engineering Department.
2. The applicant shall provide a Vehicle and Pedestrian Circulation Plan that shows the movements of a delivery or refuse vehicle as well as a City fire truck, clarifies the vehicular entrance through and exit from the drive through bays and includes anticipated traffic volumes.
3. The applicant must revise the Photometric Plan to include the light output of the existing light poles located on the east side and west sides of the property.
4. The applicant shall perform any required SWPPP updates and submit them to the DEC.
5. The applicant shall identify areas for snow storage on the site plan.

# RESOLUTION

Page 2 of 3

Approving the Site Plan for the construction of an approximately 6,066 square-foot building and a 29-space parking lot located at 1240 Arsenal Street, Parcel Number 8-53-118.000

- Council Member HORBACZ, Cody J.
- Council Member JENNINGS, Stephen A.
- Council Member MACALUSO, Teresa R.
- Council Member WALCZYK, Mark C.
- Mayor BUTLER, Joseph M. Jr.

Total .....

YEA	NAY

6. The applicant must address all concerns listed in the “Other Engineering Comments” section of the February 25, 2016 Planning Office memorandum to the satisfaction of the City Engineering Department prior to the issuance of any permits.
7. The applicant must obtain, minimally, the following permits prior to construction: Demolition Permit, Building Permit, Water Supply Permit, Sanitary Sewer Permit, General City Permit, Sign Permit and Fence Permit.

And,

WHEREAS the City Council has reviewed the Short Environmental Assessment Form, responding to each of the questions contained in Part 2, and has determined that the project, as submitted, is an Unlisted Action and will not have a significant impact on the environment.

NOW THEREFORE BE IT RESOLVED that the City Council of the City of Watertown declares that the proposed construction and site plan constitute an Unlisted Action for the purposes of SEQRA and hereby determines that the project, as proposed, will not have a significant impact on the environment, and

BE IT FURTHER RESOLVED that it is an express condition of this site plan approval that the applicant provide the City Engineer with a copy of any change in stamped plans forming the basis for this approval at the same time such plans are provided to the contractor. If plans are not provided as required by this condition of site plan approval, the City Code Enforcement Officer shall direct that work on the project site shall immediately cease until such time as the City Engineer is provided with the revised stamped plans. Additionally, any change in the approved plan, which, in the opinion of the City Engineer, would require Amended Site Plan approval, will result in immediate cessation of the affected portion of the project work until such time as the amended site plan is approved. The City Code Enforcement Officer is requested to periodically review on-site plans to determine whether the City Engineer has been provided with plans as required by this approval, and

# RESOLUTION

Page 3 of 3

Approving the Site Plan for the construction of an approximately 6,066 square-foot building and a 29-space parking lot located at 1240 Arsenal Street, Parcel Number 8-53-118.000

- Council Member HORBACZ, Cody J.
- Council Member JENNINGS, Stephen A.
- Council Member MACALUSO, Teresa R.
- Council Member WALCZYK, Mark C.
- Mayor BUTLER, Joseph M. Jr.

Total .....

YEA	NAY

BE IT FURTHER RESOLVED by the City Council of the City of Watertown that site plan approval is hereby granted to Ryan G. Churchill of GYMO, DPC and Patrick Donegan of VDI Properties, LLC for the construction of a 6,066 square-foot building and a 29-space parking lot located at 1240 Arsenal Street, Parcel Number 8-53-118.000, as depicted on the revised site plan submitted to the City Engineer on March 1, 2016, contingent upon the applicant meeting the conditions listed above.

**Seconded by:**



# MEMORANDUM

CITY OF WATERTOWN, NEW YORK  
OFFICE OF PLANNING AND COMMUNITY DEVELOPMENT  
245 WASHINGTON STREET, ROOM 304, WATERTOWN, NY 13601  
PHONE: 315-785-7740 – FAX: 315-785-7829

TO: Planning Board Members  
FROM: Michael A. Lumbis, Planner  
SUBJECT: Site Plan Approval – 1240 Arsenal Street  
DATE: February 25, 2016

**Request:** Site plan approval for the construction of an approximately 5,996 square-foot building and a 30-space parking lot located at 1240 Arsenal St., Parcel Number 8-53-118.000  
**Applicant:** Ryan G. Churchill of GYMO, DPC on behalf of Patrick Donegan of VDI Properties, LLC  
**Proposed Use:** Goodyear automotive services building  
**Property Owner:** VDI Properties, LLC

<b>Submitted:</b>	
Property Survey: Yes	Preliminary Architectural Drawings: Yes
Site Plan: Yes	Preliminary Site Engineering Plans: Yes
Vehicle and Pedestrian Circulation Plan: No	Construction Time Schedule: Partial (Spring 2016 start)
Landscaping and Grading Plan: Yes	Description of Uses, Hours & Traffic Volume: Uses are described. Hours and traffic volume are not.

SEQRA: Unlisted

County Review: Yes

<b>Zoning Information:</b>	
District: Commercial	Maximum Lot Coverage: N/A
Setback Requirements: F: 20', S: 5', R: 25'	Buffer Zones Required: Yes

**Project Overview:** The applicant proposes to demolish the former Blockbuster Video building and construct a Goodyear automotive services center in its place. The proposed Goodyear building would be approximately 5,996 square feet, and would consist of a 1,616 square foot showroom, and an approximately 4,380 square foot, 7-bay drive through service area. Since the proposed building will be larger than the existing building to be demolished, the applicant also proposes to reconfigure the parking lot by eliminating the row of parking spaces on the western edge of the site. In order to accommodate the drive through service area, the applicant also proposes to eliminate most of the spaces adjacent to the southern edge of the building footprint, except for two accessible spaces that would be adjacent to the showroom entrance.

**Parking and Vehicle/Pedestrian Circulation:** There are, and will continue to be, four vehicular access points to the site; a driveway connecting directly to Arsenal Street at the southwest corner of the site, two connections to the private street to the east identified on the site plan as Gaffney Drive, and a connection at the northwest corner of the site to the adjacent parking area for the neighboring Pearle Vision. While some spaces will be lost because of the reconfiguration described above, the applicant still proposes 30 parking spaces. Since the square footage proposed to be occupied by the drive through service area does not count towards the site's parking requirement, the Zoning Ordinance only requires nine spaces for this site plan. The applicant proposes exceeding the required total due to the needs of the business.

Although drive lane arrows, crosswalks and other pavement markings are shown on the site plan, a Vehicle and Pedestrian Circulation Plan was not included as part of the site plan submission. The City's site plan application requires the applicant to show all vehicular and pedestrian traffic circulation on the site. The applicant must therefore provide a Vehicle and Pedestrian Circulation Plan. This plan should clarify the vehicular movements of cars being serviced, noting whether vehicles will drive in one side and out the other, or whether they will back out of the same bay that they entered. This plan should also include the anticipated traffic volume that a Goodyear would generate, and it should show the turning movements of a City fire truck and a delivery or refuse vehicle entering and exiting the property. The applicant may contact the City Engineering Office for details on the required Fire Truck if necessary.

The pedestrian connection depicted from the City sidewalk to the showroom entrance is laudable and demonstrates a clear concern for pedestrian safety and a priority given to establishing pedestrian connections to neighboring businesses. This connection should remain exactly as proposed. However, since the New York State Department of Transportation (NYSDOT), and not the City, maintains Arsenal Street, the applicant must obtain permission from NYSDOT to perform this work within the State-controlled right-of-way.

**Landscaping and Buffers:** In Commercial Districts, the Zoning Ordinance requires a strip of land at least 15' in width in any required front yard and 5' in width in any required rear and side yards, which shall be maintained as a landscaped area. The applicant meets these requirements for the rear and side yards. However, while there is over 20' of lawn area separating the parking lot from the sidewalk in the front of the parcel, the distance from the front edge of the parking lot to the parcel boundary is actually only 4.3' at its shortest point and 10.9 feet at its widest point. This is due to an abnormally wide NYSDOT right-of-way caused by the beginning of a right-turn-only lane in the westbound direction on Arsenal Street. The applicant applied for, and has been granted, an area variance by the Zoning Board of Appeals to vary the width of the required landscaped area.

The applicant proposes planting 12 new trees on the site, four trees each in the three lawn areas on the north, west, and south edges of the property. The applicant proposes a combination of evergreens and shrubs in the landscaping buffer adjacent to the east side of the proposed building. The proposed landscaping plan is generally in conformance with the Planning Board's adopted Landscaping and Buffer Zone Guidelines. For any proposed landscaping, including trees, within the NYSDOT drainage easement, the applicant must obtain permission from NYSDOT and forward appropriate documentation to the City Engineering Office.

**Setbacks:** The site plan, as submitted, fulfills all other setback requirements in Commercial Districts.

**Signs:** The Zoning Ordinance allows up to 200 square feet of signage and one freestanding sign for this property. There is an existing, 90 square-foot "Stateway Plaza" freestanding sign at the southeast corner of the site. A previous owner of this parcel granted an easement to the Stateway Plaza Shopping Center for this sign.

The applicant has not yet submitted a master signage plan. However, the applicant has appealed to the Zoning Board of Appeals for two area variances in order that this sign not count against the parcel's sign limitations. In the first variance request, the applicant has asked that the 90 square feet of this sign not count against Goodyear's allowed total of 200, and to vary the total allowed signage to 290 square feet so that Goodyear could still have the 200 square feet of signage that they would have been allowed if the Stateway Plaza sign were not there.

In the other variance request, the applicant has asked that a second freestanding sign be permitted on the parcel so that Goodyear could still have the single freestanding sign that they would have been allowed if the Stateway Plaza sign were not there. When Blockbuster Video occupied this property, they had a second freestanding sign, which was erected prior to the enactment of Section 310-52.2 of the Zoning Ordinance, which regulates signage, and thus was grandfathered.

The pole from Blockbuster Video's freestanding sign still exists on the site, and the City Code Enforcement Bureau determined that the applicant could have a second freestanding sign only if they used the existing pole and only if the Goodyear sign were not larger than the pre-existing Blockbuster Video sign. The applicant said that the existing pole was insufficient for their needs and requested the variance, although the applicant should clarify this on the Site Plan, as it still identifies the old Blockbuster Video pole as "Existing Pole for Signage."

The Zoning Board of Appeals has heard both of the applicant's area variance requests regarding signs, but has not made a decision on either request. The applicant shall submit a master sign plan that abides by the ZBA's eventual decisions prior to the issuance of any sign permits.

**Parcel Identification:** On the Site Plan Application form, the applicant identifies two different parcel numbers in the "Property Location" section of the form. Both of these numbers have been deprecated, as they are both historic parcels. The parcels were assembled in 2015 and assigned a new parcel number by the City, effective for Tax Year 2016. The new, correct number, which is used at the top of this memorandum, is 8-53-118.000. All parties involved should use the correct parcel number in all references regarding this project from hence forward.

**SEQR:** The State Environmental Quality Review Act requires that when a project requires multiple actions, such as variances and site plan approval, that all actions be considered in the aggregate as one cumulative project. Therefore, the applicant was required to submit a single SEQR Short Environmental Assessment Form (EAF) that applies to all applications related to this project.

In an Uncoordinated review for unlisted actions involving more than one agency, each agency may proceed as if it were the only involved agency. As such, each board or governing body only considers the environmental impacts resulting from the approval that it grants. In this case, the Zoning Board of Appeals considers the environmental impacts of granting the three variance requests, and the City Council considers the environmental impacts of granting site plan approval. However, if an agency makes a determination that an action will have a significant adverse impact on the environment, it must then coordinate with the other involved agencies.

**Lighting:** The existing conditions plan shows two existing light poles on the east side of the site to remain. There is also an existing light pole on the western property line that appears on the site plan. The applicant must include the light output of the existing light poles on the Photometric Plan. The applicant must also obtain permission from NYSDOT for any proposed light poles within the NYSDOT drainage easement, and forward appropriate documentation to the City Engineering Office.

**Utilities and Hydrology:** It appears that the proposed project will increase impervious area on the site. The applicant must obtain permission from NYSDOT to direct stormwater runoff to the NYSDOT-owned drainage system and forward appropriate documentation to the City Engineering Office. If the project requires any updates to existing Stormwater Pollution Prevention Plans (SWPPPs), the applicant shall perform these updates and submit them to the New York State Department of Environmental Conservation (DEC).

The proposed building also appears to have roof drains. The applicant shall indicate the location of all stormwater tie-ins, including roof drains and foundation drains, on the Utilities and Grading Plan. In addition, all existing below ground features need to be labeled, including existing water and sanitary sewer mains with pipe sizes and materials.

**Permits:** The applicant must obtain the following permits, minimally, prior to construction: Demolition Permit, Building Permit, Water Supply Permit, Sanitary Sewer Permit, General City Permit, Sign Permit and Fence Permit.

**Miscellaneous:** No hours of operation are indicated on the application. The applicant should indicate the proposed hours of operation. No areas for snow storage are identified on the site plan. The applicant should identify areas designated for snow storage.

Review by the Jefferson County Planning Board, pursuant to General Municipal Law Section 239-m, is required for this project. Staff referred the application for review at the February 23, 2016 County Planning Board meeting.

**Other Engineering Comments:** The City Engineering Department has the following additional comments and concerns, which need not be site plan contingent, but must be addressed prior to the issuance of the any permits:

- The applicant shall submit sprinkler design calculations.
- The water service to be abandoned shall be cut and capped at a location to be determined by the City Water Department. The proposed water lateral will be required to connect south of the hydrant gate valve to facilitate proper maintenance of the hydrant if required. An additional gate valve will be required on the new service.
- The applicant shall submit the design of the proposed grease trap to the City prior to the issuance of any Sanitary Sewer Connection Permit and/or Building Permit.
- A detail for a stop bar is included, but the site plans do not depict one. The applicant shall submit a corrected site plan or detail sheets.
- The square footage of the proposed showroom is labeled on the site plan, but the total square footage of the proposed building is not. The applicant shall label the total square footage of the proposed building on the site plan for a permanent file copy.

**Summary:**

1. The applicant shall obtain all necessary permissions from NYSDOT and forward appropriate documentation to the City Engineering Department.
2. The applicant shall provide a Vehicle and Pedestrian Circulation Plan that shows the movements of a delivery or refuse vehicle as well as a City fire truck, clarifies vehicular entrance to and exit from the drive-through bays and includes anticipated traffic volumes.
3. The applicant must revise the Photometric Plan to include the light output of the existing light poles located on the east side and west sides of the property.
4. The applicant shall perform any required SWPPP updates and submit them to the DEC.
5. The applicant shall indicate the proposed hours of operation.
6. The applicant shall identify areas for snow storage on the site plan.
7. The applicant must address all concerns listed in the "Other Engineering Comments" section of the February 25, 2016 Planning Office memorandum to the satisfaction of the City Engineering Department prior to the issuance of any permits.
8. The applicant must obtain the following permits, minimally, prior to construction: Demolition Permit, Building Permit, Water Supply Permit, Sanitary Sewer Permit, General City Permit, Sign Permit and Fence Permit.

cc: City Council Members  
Brian Drake, Civil Engineer II  
Ryan Churchill, GYMO DPC, 220 Sterling Street, Watertown, NY 13601  
Patrick Donegan, VDI Properties, LLC, PO Box 669, Alexandria Bay, NY 13607  
Jennifer Voss, Jefferson County Planning Department

**SITE PLAN APPROVAL**  
**1240 ARSENAL STREET – PARCEL # 8-53-118.000**

The Planning Board then considered a request for site plan approval submitted by Ryan Churchill of GYMO, DPC on behalf of Patrick Donegan of VDI Properties, LLC for the construction of an approximately 6,066 square-foot building and a 29-space parking lot located at 1240 Arsenal Street, Parcel Number 8-53-118.000. Mr. Churchill and Mr. Donegan were both in attendance to represent the project.

Mr. Churchill began by showing the Planning Board a satellite view of the existing site. He then drew the Planning Board's attention to the proposed site plan, noting that they had made some changes from their original submission.

Mr. Churchill said that in addition to the comments in Staff's memorandum, his team had also received feedback from Goodyear. He said that Goodyear had asked for the dumpster to be rotated and the main entrance to be tightened up. He then noted that as a result of these changes, the proposed number of parking spaces had been reduced from 30 to 29.

Mr. Churchill then said that he wanted to compare the proposed facility to the Blockbuster Video building. He said that the Blockbuster building was approximately 5,500 square feet. He then said that Staff had requested an exact square footage for the proposed building, and that he had measured it at 6,066 square feet. He added that the site would look very similar to how it does now.

Mr. Churchill said that the main entrance would continue to be on Arsenal Street, and that the drive aisles would continue to be two-way throughout the parking lot. He said that the parking spaces were all proposed to be 18' x 9'. Mr. Churchill added that Goodyear is very strict about its ADA policy. He said that Goodyear wants ADA accessibility, not only to the showroom, but also to City sidewalks.

Mr. Churchill then informed the Planning Board that while the project meets all of setback requirements, the Zoning Ordinance requires a 15-foot landscaped buffer on a Commercial property that must be within the front parcel boundary. He said that although the property line is situated such that most of the landscaped buffer is outside of the applicant's property, that his team had appeared before the Zoning Board of Appeals (ZBA) and been granted a variance for relief from this requirement.

Mr. Churchill then said that it was the intention to re-use all of the main utilities that currently serve the Blockbuster building. He did note that they would have to add a grease trap. He added that for water, they proposed tapping the hydrant leg in front of the property to increase the size of the water service.

Mr. Churchill said that as far as stormwater was concerned, that this site was under an acre, so a SWPPP was not required. He acknowledged the presence of a New York State Department of Transportation (DOT) easement across the property, and the need to submit details to the DOT.

Mr. Churchill then distributed color elevation drawings of the proposed building to the members of the Planning Board. Ms. Fields asked about the exterior lighting. Mr. Churchill pointed out the locations of all the mounted wall packs on the elevation drawings and then directed her to look at Drawing C-103 and said that all wall packs and light poles were identified there.

Mr. Churchill then informed the Planning Board that he still had two variance requests pending before the ZBA; both of them regarding signage. He said that the large "Stateway Plaza" sign in the front of the parcel counts against the owner's allowed 200 square feet of signage and that they wanted their full 200 square feet. It also counts towards the limit of one freestanding sign per parcel, and Goodyear wants its own freestanding sign.

At this time, Mr. Donegan stood and addressed the Planning Board directly. Mr. Donegan said that at one time in Stateway Plaza's history, prior to the existence of any of the development that surrounds it now; there was just Stateway Plaza and its entrances, and the City was probably trying to help them out. He then said that somebody somewhere worked all this out and Blockbuster had their own sign, so they legally had two. Mr. Donegan said that Goodyear needs its own sign, and emphasized that they just want the same signage that every other business has, and expressed his hope that the matter could be sorted out.

Mr. Lumbis then reminded the Planning Board that this issue did not affect the decision that they were making today. Mr. Lumbis noted that sign permitting was a separate process that the applicant would have to go through, and that it need not have any bearing on the site plan approval process. Mr. Donegan then said that he understood that they were separate processes, but that he wanted to keep the Planning Board updated on what was going on.

Mr. Katzman then asked if the site will drain into the DOT-owned pond behind the property. Mr. Churchill replied in the affirmative and identified on the site plan where all the catch basins were.

Mr. Polkowski asked about pervious asphalt and asked if any such designs could be submitted to the City Engineering Department. Mr. Donegan replied that the Blockbuster building has an existing strip of grass along the back wall of the building. He said it was presently unclear if any pervious surface would be lost or not, and that no replacement of pervious surface may even be necessary.

Mr. Coburn then asked if Mr. Churchill would like to go through the summary items in Staff's memorandum one-by-one. Mr. Churchill agreed, and first addressed the requirement to obtain DOT permissions, which he said his team would do.

Mr. Churchill then addressed the second summary item; a Vehicle and Pedestrian Circulation Plan. He pointed to the updated site plan, which depicted the movements of a refuse vehicle and a City fire truck. Mr. Urda asked about vehicular movements into and out of the service bays. Mr. Churchill replied that all vehicles would back out of the bays where they had work performed, and said that he was not sure why the service area had to be called a "drive-through."

Mr. Urda then asked about anticipated traffic volume. Mr. Churchill replied that it was estimated at 25 vehicles per hour during peak hours. Mr. Donegan added that this volume was actually less than that generated by the Blockbuster Video.

Mr. Churchill then addressed the third summary item, which required light from all sources to be depicted on the Photometric Plan. He said that some light sources were not on the applicant's property, and he was concerned about spillage generated by lights that did not belong to the property owner. Mr. Urda said that the lighting information should be accurate on the plan, and that it should not depict 0.0 footcandles directly under an existing light pole. Mr. Churchill replied that they would identify light from all sources on the revised plan.

Mr. Churchill then addressed the fourth summary item, which dealt with SWPPP updates. He said that the disturbance was under an acre, so a SWPPP was not required, but that he would work with Brian Drake if needed. Mr. Lumbis replied that Mr. Drake may have wanted verification that the site was not part of a larger SWPPP or would have wanted an update if it were.

Mr. Churchill then addressed the fifth summary item, which asked for hours of operation. He said that the proposed hours of operation were the same as at the existing Goodyear on Court Street. He said that they were 7 am – 6 pm on Monday – Friday, 8 am – 6 pm on Saturday and 8 am – 5 pm on Sunday.

Mr. Churchill then addressed the sixth summary item, which required space for snow storage to be identified on the site plan. Mr. Churchill said that there was no big area to store snow on the site, but that there were plenty of small areas that will do the job on aggregate, and that his team would revise the site plan to identify them.

Mr. Churchill then noted that the last two summary items both dealt with the permitting process and pledged to abide by them. He then asked if any members of the Planning Board had any additional questions.

Mr. Katzman asked if there was a right-of-way connecting the site with the neighboring Pearle Vision property. Mr. Churchill replied that there was an easement granting ingress and egress from the private street (Stateway Plaza entrance) to the Pearle Vision parking lot. Mr. Donegan then said that between the easement and the DOT taking in front of the property that he was boxed in.

Mr. Lumbis then noted that the Planning Board could remove Summary Item No. 5, since the applicant had stated the proposed hours of operation for the record at this meeting. Ms. Fields then asked if the Planning Board had any SEQR responsibilities in this matter. Mr. Lumbis replied that City Council would complete the SEQR form.

Mr. Neddo then made a motion to recommend that City Council approve the request for site plan approval submitted by Ryan Churchill of GYMO, DPC on behalf of Patrick Donegan of VDI Properties, LLC for the construction of an approximately 6,066 square-foot

building and a 29-space parking lot located at 1240 Arsenal Street, Parcel Number 8-53-118.000 contingent upon the following:

1. The applicant shall obtain all necessary permissions from NYSDOT and forward appropriate documentation to the City Engineering Department.
2. The applicant shall provide a Vehicle and Pedestrian Circulation Plan that shows the movements of a delivery or refuse vehicle as well as a City fire truck, clarifies vehicular entrance to and exit from the drive-through bays and includes anticipated traffic volumes.
3. The applicant must revise the Photometric Plan to include the light output of the existing light poles located on the east side and west sides of the property.
4. The applicant shall perform any required SWPPP updates and submit them to the DEC.
5. The applicant shall identify areas for snow storage on the site plan.
6. The applicant must address all concerns listed in the "Other Engineering Comments" section of the February 25, 2016 Planning Office memorandum to the satisfaction of the City Engineering Department prior to the issuance of any permits.
7. The applicant must obtain the following permits, minimally, prior to construction: Demolition Permit, Building Permit, Water Supply Permit, Sanitary Sewer Permit, General City Permit, Sign Permit and Fence Permit.

Mr. Rowell seconded the motion and all voted in favor.

Mr. Urda then asked if there was a motion to adjourn. Mr. Neddo then moved to adjourn the meeting. The motion was seconded by Mr. Coburn and all voted in favor. The meeting was adjourned at 3:42 PM.



ARCHITECTURE  
ENGINEERING  
LAND SURVEYING

9 February 2016

City Engineer's Office  
245 Washington Street, Room 305  
Watertown, New York 13601

Re: Site Plan Application  
Proposed Goodyear Auto Service Center, 1240 Arsenal Street, City of Watertown

File: 2014-274

Members of the Planning Board:

GYMO, D.P.C. is assisting Mr. Patrick Donegan of VDI Properties, LLC with a site plan application for a proposed Goodyear in the City of Watertown. The following materials are being submitted for review at the 1 March 2016 Planning Board meeting:

- 5 full size sets of Site Plans for Departmental Review, including a wet stamped original;
- 5 full size Topographic Surveys and 12 – 11"x17" copies;
- 5 full size Preliminary Architectural Plans and 12 – 11"x17" copies;
- 12 -11"x17" sets of Site Plans;
- 5 Signed and Sealed Engineering Reports;
- 17 copies of City of Watertown Site Plan Application, including Short EAF and this letter, and
- \$50 Application Fee.

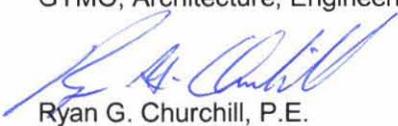
The project is located on two different tax parcels; 8-53-101.001 and 8-53-116.100 in the City of Watertown.

The proposed development consists of a Goodyear Auto Service Center (6,000 SF) and related utilities and appurtenances required for site plan approval. Signage is not being included for review in the submission.

The developer plans on beginning construction in the Spring of 2016.

If there are any questions or you require additional information, please feel free to contact our office.

Sincerely,  
GYMO, Architecture, Engineering & Land Surveying, PC

  
Ryan G. Churchill, P.E.  
Partner, Managing Engineer

Attachments

pc: Thomas Ross, Scott Soules AIA - GYMO, PC  
Patrick Donegan – VDI Properties, LLC

Edward G. Olley, Jr., AIA  
William P. Plante, PLS  
Patrick J. Scordo, PE  
Ryan G. Churchill, PE  
Scott W. Soules, AIA

Gregory F. Ashley, PLS  
Stephen J. Gracey, PLS  
Michael P. Merithew, PLS  
Brandy W. Lucas, MBA

In Consultation  
Leo F. Gozalkowski, PLS  
Stephen W. Yaussi, AIA



## CITY OF WATERTOWN SITE PLAN APPLICATION PROCESS

The applicant is responsible for completeness of application and inclusion of all required information.

**\*\*INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED\*\***

In order to expedite the Site Plan review process, all applicants are encouraged to have a pre-application meeting with Planning & Engineering staff. Staff can be reached at (315) 785-7740.

In the interest of expediting site plan approvals, the City of Watertown wishes to advise you of the procedures in applying for these referrals:

### A. Fill out the Site Plan / Site Plan Waiver - Determination Flow Chart below:

1. Is the use a one, two, or three family dwelling?  
 YES (Site Plan Review is **not** required. You may apply directly for Building Permit.)  
 NO (Go to question 2)
2. Is your building or parking lot construction or expansion less than or equal to 400 sq. ft.?  
 YES (Site Plan Review is not required. You may apply directly for Building Permit.)  
 NO (Go to question 3)
3. Does your building or parking lot construction or expansion exceed 2500 sq. ft.?  
 YES (Site Plan Review required. Submit the Site Plan Application Form.)  
 NO (Go to question 4)
4. Is your proposed building the first on the lot?  
 YES (Site Plan Review required. Submit the Site Plan Application Form.)  
 NO (Go to question 5)
5. Does your project involve a change in the property boundaries?  
 YES (Site Plan Review required. Submit the Site Plan Application Form.)  
 NO (Go to question 6)
6. Does your building or parking lot construction or expansion change or impair the overall grading, circulation, drainage, utility services, and appearance and visual effect of the property?  
 YES (Site Plan Review required. Submit the Site Plan Application Form.)  
 NO (\*Site Plan Waiver allowed. Submit the Site Plan Waiver Form.)

\* The City of Watertown Planning Board reserves the right to require Site Plan Review.

## **B. SITE PLAN APPROVAL SUBMITTAL REQUIREMENTS\***

1. **3 complete, collated sets of the site plan application package** that includes the following documents:
  - a. Cover letter explaining the proposal.
  - b. Completed Site Plan Application Form.
  - c. Full size copies of all required plans (24"x36"), including 1 stamped & signed original.
  - d. Engineering Report.
2. **13 complete, collated sets of the site plan application package** that includes the following documents:
  - a. Cover letter explaining the proposal.
  - b. Completed Site Plan Application Form.
  - c. Reduced size copies of all required plans (11"x17") if they are legible. (otherwise submit full size sets)
3. **An electronic (pdf) copy** of the entire site plan application package to include the following:
  - a. A single, combined pdf containing the cover letter, the site plan application form and the Engineering Report.
  - b. A single, combined pdf containing all of the plan sheets and drawings.
  - c. The pdf may be submitted via email to [planning@watertown-ny.gov](mailto:planning@watertown-ny.gov) or on a CD.

Note: When Jefferson County Planning Board (239-M) Review is necessary, one additional full size set as described in # 1 above is required.

\*Planning Board Recommendation and City Council Approval is required for Site Plans.

## **C. WAIVER OF SITE PLAN APPROVAL SUBMITTAL REQUIREMENTS\*\***

1. **2 complete, collated sets of the site plan application package** that includes the following documents:
  - a. Cover letter explaining the proposal.
  - b. Completed Site Plan Waiver Application Form.
  - c. Full size copies of all required plans (24"x36"), including 1 signed original.
2. **8 complete, collated sets of the site plan application package** that includes the following documents:
  - a. Cover letter explaining the proposal.
  - b. Completed Site Plan Waiver Application Form.
  - c. Reduced size copies of all required plans (11"x17") if they are legible. (otherwise submit full size sets)
3. **An electronic (pdf) copy** of the entire site plan waiver application package to include the following:
  - a. A single, combined pdf containing the cover letter and the site plan waiver application form.
  - b. A single, combined pdf containing all of the plan sheets and drawings.
  - c. The pdf may be submitted via email to [planning@watertown-ny.gov](mailto:planning@watertown-ny.gov) or on a CD.

\*\* Site Plan Approval of City Council may be waived by the City Planning Board.

D. Address submittals to:

Justin Wood, P.E.  
 City Engineer  
 Room 305, City Hall  
 245 Washington Street  
 Watertown, NY 13601

E. A \$50.00 application fee must accompany the submittal.

A \$50.00 application fee must accompany each resubmittal. You will be notified by the Engineering Department if an application requires a resubmittal.

Make checks payable to the City of Watertown.

F. All Site Plan submittals must be received by the City Engineer at least 14 calendar days prior to the next Planning Board Meeting; 21 calendar days if Jefferson County Planning Board action is necessary. Failure to meet the submittal deadline will result in **not** making the agenda for the upcoming Planning Board Meeting. **THERE ARE NO EXCEPTIONS.** The City Planning Board meets on the first Tuesday of each month at 3:00 P.M. in the City Council Chambers on the 3<sup>rd</sup> Floor of City Hall.

G. 2015 Meeting Schedules.

CITY OF WATERTOWN PLANNING BOARD 2015 (1 <sup>ST</sup> TUES. MONTH @ 3:00 PM)		CITY OF WATERTOWN CITY COUNCIL 2015 (1 <sup>ST</sup> & 3 <sup>RD</sup> MONDAY @ 7 PM)		JEFFERSON COUNTY PLANNING BOARD 2015 (LAST TUES. MONTH)	
MEETING DATE	DEADLINE	MEETING DATE		MEETING DATE	DEADLINE
Jan. 6	Dec. 23	Jan. 5, 20*		Jan. 27	Jan. 13
Feb. 3	Jan. 20	Feb. 2, 17*		Feb. 24	Feb. 10
March 3	Feb. 17	March 2, 16		March 31	March 17
April 7	March 24	Apr. 6, 20		April 28	April 14
May 5	April 21	May 4, 18		May 26	May 12
June 2	May 19	Jun. 1, 15		June 30	June 16
July 7	June 23	July 6, 20		July 28	July 14
Aug. 4	July 21	Aug. 3, 17		Aug. 25	Aug. 11
Sept. 1	Aug. 18	Sept. 8*, 21		Sept. 29	Sept. 15
Oct. 6	Sept. 22	Oct. 5, 19		Oct. 27	Oct. 13
Nov. 3	Oct. 20	Nov. 2, 16		Nov. 24	Nov. 10
Dec. 1	Nov. 17	Dec. 7, 21		Dec. 29	Dec. 15

\* = Meeting Date changed due to Holiday



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## CITY OF WATERTOWN SITE PLAN APPLICATION

**\*\* Provide responses for all sections. INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED. Failure to submit required information by the submittal deadline will result in **not** making the agenda for the upcoming Planning Board meeting.**

### PROPERTY LOCATION

Proposed Project Name: Goodyear Auto Service Center  
Tax Parcel Number: 8-53-101.001 & 8-53-116.100  
Property Address: 1240 Arsenal Street  
Existing Zoning Classification: Commercial

### OWNER OF PROPERTY

Name: VDI Properties, LLC  
Address: 7911 Brewerton Rd  
Cicero, NY 13039  
Telephone Number: (315) 436 - 6567  
Fax Number: (315) 482 - 1025

### APPLICANT

Name: Ryan G. Churchill - GYMO, DPC  
Address: 220 Sterling Street  
Watertown, NY 13601  
Telephone Number: (315) 788 - 3900  
Fax Number: (315) 788 - 0668  
Email Address: Ryan@gymopc.com

### ENGINEER/ARCHITECT/SURVEYOR

Name: Ryan G. Churchill - GYMO, DPC  
Address: 220 Sterling Street  
Watertown, NY 13601  
Telephone Number: (315) 788 - 3900  
Fax Number: (315) 788 - 0668  
Email Address: Ryan@gymopc.com

## OPTIONAL MATERIALS:

- PROVIDE AN ELECTRONIC (.DWG) COPY OF THE SITE PLAN WITH AS-BUILT REVISIONS. This will assist the City in keeping our GIS mapping up-to-date.**

## REQUIRED MATERIALS:

**\*\* The following drawings with the listed information ARE REQUIRED, NOT OPTIONAL. If the required information is not included and/or addressed, the Site Plan Application will **not** be processed.**

- COMPLETED ENVIRONMENTAL ASSESSMENT FORM** (Contact us if you need help choosing between the Short EAF and the Full EAF):  
<http://www.dec.ny.gov/permits/6191.html>
- ELECTRONIC COPY OF ENTIRE SUBMISSION** (PDF preferred)
- BOUNDARY & TOPOGRAPHIC SURVEY**  
(Depict existing features as of the date of the Site Plan Application. This Survey and Map must be performed and created by a Professional Land Surveyor licensed and currently registered to practice in the State of New York. This Survey and Map must be stamped and signed with an original seal and signature on at least one copy, the rest may be copies thereof.)
  - All elevations are National Geodetic Vertical Datum of 1929 (NGVD29).
  - 1' contours are shown & labeled with appropriate spot elevations.
  - All existing features on and within 50 feet of the subject property are shown and labeled.
  - All existing utilities on and within 50 feet of the subject property are shown and labeled.
  - All existing easements and/or right-of-ways are shown and labeled.
  - Existing property lines (bearings & distances), margins, acreage, zoning, existing land use, reputed owner, adjacent reputed owners & tax parcel numbers are shown and labeled.
  - The north arrow & graphic scale are shown.
- DEMOLITION PLAN** (If Applicable)
  - All existing features on and within 50 feet of the subject property are shown and labeled.
  - All items to be removed are labeled in darker text.

## ■ SITE PLAN

- All proposed above ground features are depicted and clearly labeled.
- All proposed features are clearly labeled “proposed”.
- All proposed easements & right-of-ways are shown and labeled.
- Land use, zoning, & tax parcel number are shown.
- The Plan is adequately dimensioned including radii.
- The line work & text for all proposed features is shown darker than existing features.
- All vehicular & pedestrian traffic circulation is shown including a delivery or refuse vehicle entering and exiting the property.
- Proposed parking & loading spaces including ADA accessible spaces are shown and labeled.
- Refuse Enclosure Area (Dumpster), if applicable, is shown. Section 161-19.1 of the Zoning Ordinance states, “No refuse vehicle or refuse container shall be parked or placed within 15 feet of a party line without the written consent of the adjoining owner, if the owner occupies any part of the adjoining property”.
- The north arrow & graphic scale are shown.

## ■ GRADING PLAN

- All proposed below ground features including elevations & inverts are shown and labeled.
- All proposed above ground features are shown and labeled.
- The line work & text for all proposed features is shown darker than existing features.
- All proposed easements & right-of-ways are shown and labeled.
- 1’ existing contours are shown dashed & labeled with appropriate spot elevations.
- 1’ proposed contours are shown & labeled with appropriate spot elevations.
- All elevations are National Geodetic Vertical Datum of 1929 (NGVD29).

- Sediment & Erosion control are shown & labeled on the grading plan unless separate drawings have been provided as part of a Stormwater Pollution Prevention Plan (SWPPP).

#### ■ UTILITY PLAN

- All proposed above & below ground features are shown and labeled.
- All existing above & below ground utilities including sanitary, storm water, water, electric, gas, telephone, cable, fiber optic, etc. are shown and labeled.
- All proposed easements & right-of-ways are shown and labeled.
- The Plan is adequately dimensioned including radii.
- The line work & text for all proposed features is shown darker than existing features.
- The following note has been added to the drawings stating, "All water main and service work must be coordinated with the City of Watertown Water Department. The Water Department requirements supersede all other plans and specifications provided."

#### ■ LANDSCAPING PLAN

- All proposed above ground features are shown and labeled.
- All proposed trees, shrubs, and other plantings are shown and labeled.
- All proposed landscaping & text are shown darker than existing features.
- All proposed landscaping is clearly depicted, labeled and keyed to a plant schedule that includes the scientific name, common name, size, quantity, etc.
- For additional landscaping requirements where nonresidential districts and land uses abut land in any residential district, please refer to Section 310-59, Landscaping of the City's Zoning Ordinance.
- **Site Plan complies with and meets acceptable guidelines set forth in Appendix A - Landscaping and Buffer Zone Guidelines (August 7, 2007).**

#### ■ PHOTOMETRIC PLAN (If Applicable)

- All proposed above ground features are shown.
- Photometric spot elevations or labeled photometric contours of the property are clearly depicted. Light spillage across all property lines shall not exceed 0.5 foot-candles.

## ■ CONSTRUCTION DETAILS & NOTES

- All details and notes necessary to adequately complete the project including, but not limited to, landscaping, curbing, catch basins, manholes, water line, pavement, sidewalks, trench, lighting, trash enclosure, etc. are provided.
- Maintenance & protection and traffic plans & notes for all required work within City streets including driveways, water laterals, sanitary laterals, storm connections, etc. are provided.
- The following note must be added to the drawings stating:  
“All work to be performed within the City of Watertown margin will require sign-off from a Professional Engineer, licensed and currently registered to practice in the State of New York, that the work was built according to the approved site plan and applicable City of Watertown standards. Compaction testing will be required for all work to be performed within the City of Watertown margin and must be submitted to the City of Watertown Codes Department.”

## ■ PRELIMINARY ARCHITECTURAL PLANS (If Applicable)

- Floor plan drawings, including finished floor elevations, for all buildings to be constructed are provided.
- Exterior elevations including exterior materials and colors for all buildings to be constructed are provided.
- Roof outline depicting shape, slope and direction is provided.

## ■ ENGINEERING REPORT

**\*\* The engineering report at a minimum includes the following:**

- Project location
- Project description
- Existing & proposed sanitary sewer flows & summary
- Water flows & pressure
- Storm Water Pre & Post Construction calculations & summary
- Traffic impacts
- Lighting summary
- Landscaping summary

**■ GENERAL INFORMATION**

**■ ALL ITEMS ARE STAMPED & SIGNED WITH AN ORIGINAL SIGNATURE BY A PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, OR SURVEYOR LICENSED AND CURRENTLY REGISTERED TO PRACTICE IN THE STATE OF NEW YORK.**

If required, a copy of the Stormwater Pollution Prevention Plan (SWPPP) submitted to the NYSDEC will also be sent to the City of Watertown Engineering Department.

\*\* If required, a copy of all submittals sent to the New York State Department of Environmental Conservation (NYSDEC) for the sanitary sewer extension permit will also be sent to the City of Watertown Engineering Department.

\*\* If required, a copy of all submittals sent to the New York State Department of Health (NYSDOH) will also be sent to the City of Watertown Engineering Department.

\*\* When NYSDEC or NYSDOH permitting is required, the property owner/applicant shall retain a licensed Professional Engineer to perform inspections of the proposed utility work and to certify the completed works were constructed in substantial conformance with the approved plans and specifications.

Signage will not be approved as part of this submission. It requires a sign permit from the Codes Department. See Section 310-52.2 of the Zoning Ordinance.

Plans have been collated and properly folded.

If an applicant proposes a site plan with multiple buildings and any of those buildings front on a private drive, the City Council will name the private drive by resolution and the building(s) will be given an address number on that private drive by City staff. The applicant may propose a name for the private drive for the City Council's consideration.

Proposed Street Name: \_\_\_\_\_

Explanation for any item not checked in the Site Plan Checklist.

**SWPPP not required (less than 1 acre)**

**NYS DOH, NYS DEC approvals not required - Services/laterals**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

# Short Environmental Assessment Form

## Part 1 - Project Information

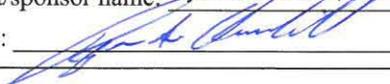
### Instructions for Completing

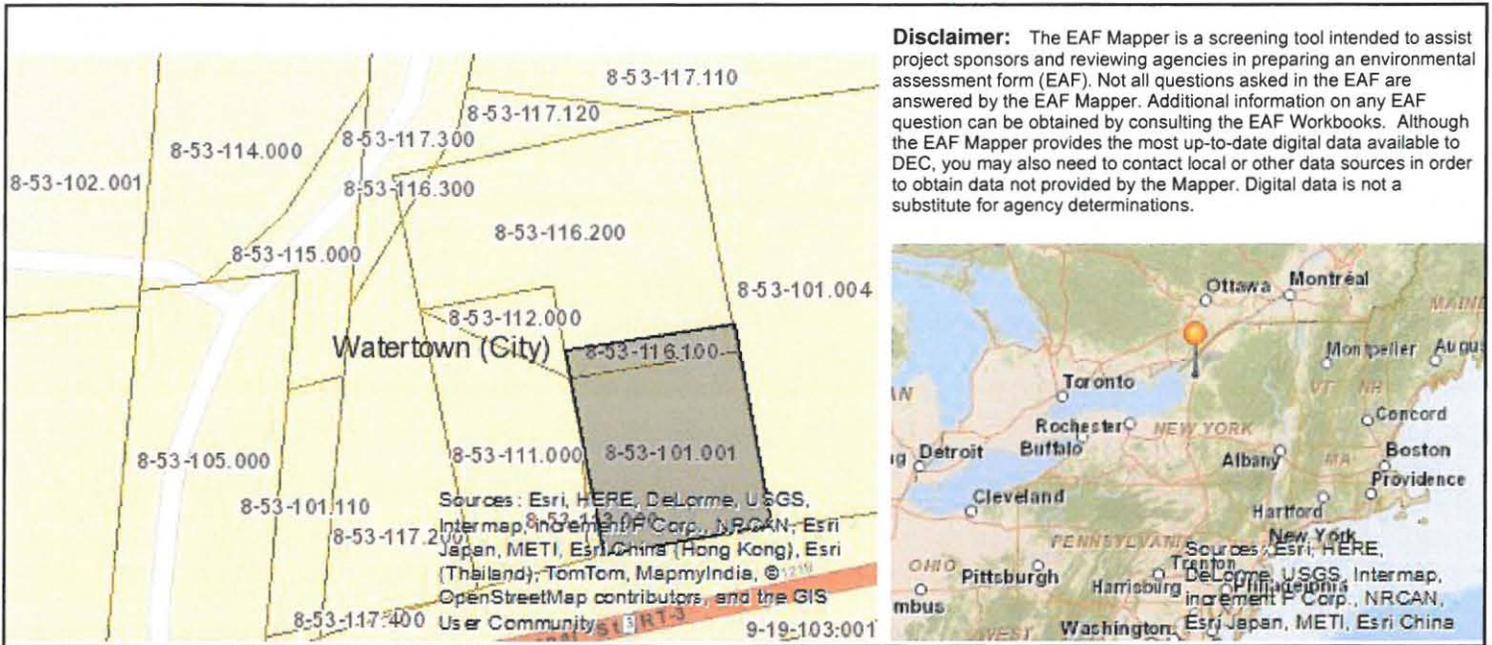
**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>			
Name of Action or Project: Proposed Goodyear Auto Service Center - Site Plan Approval and Variances			
Project Location (describe, and attach a location map): 1240 Arsenal Street; Watertown, NY 13601			
Brief Description of Proposed Action: A +/-6,000SF Goodyear Auto Service Center with access drives, parking, landscaping, and supporting utilities. This SEQR covers the site plan approval and three variances (landscaping setback, 1 additional freestanding sign on property, and additional sign area for the property.)			
Name of Applicant or Sponsor: Ryan G. Churchill, P.E.		Telephone: 315-788-3900 E-Mail: ryan@gymopc.com	
Address: 220 Sterling Street			
City/PO: Watertown		State: NY	Zip Code: 13601
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: Zoning Board of Appeals, City Council, NYSDOT			YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action? _____			0.724 acres
b. Total acreage to be physically disturbed? _____			0.724 acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____			0.724 acres
4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			



<p>18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)?</p> <p>If Yes, explain purpose and size: _____</p> <p>_____</p> <p>_____</p>	<p><b>NO</b></p> <p><input checked="" type="checkbox"/></p>	<p><b>YES</b></p> <p><input type="checkbox"/></p>
<p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?</p> <p>If Yes, describe: _____</p> <p>_____</p> <p>_____</p>	<p><b>NO</b></p> <p><input checked="" type="checkbox"/></p>	<p><b>YES</b></p> <p><input type="checkbox"/></p>
<p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?</p> <p>If Yes, describe: _____</p> <p>Historically, two spills have been attributed to the subject parcel (9311360 &amp; 9201056). Both spills have been closed.</p> <p>_____</p> <p>_____</p>	<p><b>NO</b></p> <p><input type="checkbox"/></p>	<p><b>YES</b></p> <p><input checked="" type="checkbox"/></p>
<p><b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b></p> <p>Applicant/sponsor name: <u>Ryan G. Churchill, P.E.</u> Date: <u>2/17/16</u></p> <p>Signature: <u></u></p>		



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National Register of Historic Places]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 16 [100 Year Flood Plain]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
Part 1 / Question 20 [Remediation Site]	Yes

Project:

Date:

**Short Environmental Assessment Form  
Part 2 - Impact Assessment**

**Part 2 is to be completed by the Lead Agency.**

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:	<input type="checkbox"/>	<input type="checkbox"/>
a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

Project: \_\_\_\_\_

Date: \_\_\_\_\_

### *Short Environmental Assessment Form Part 3 Determination of Significance*

For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

\_\_\_\_\_  
Name of Lead Agency

\_\_\_\_\_  
Date

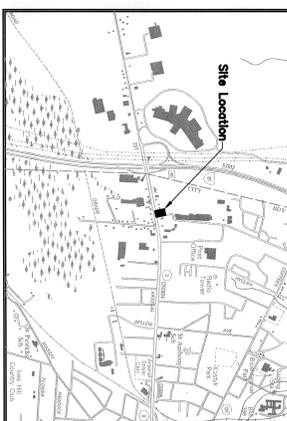
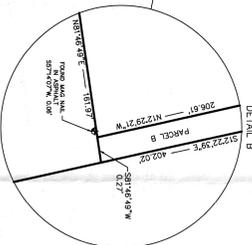
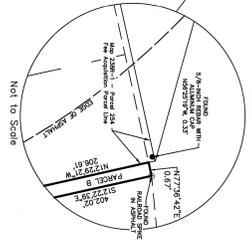
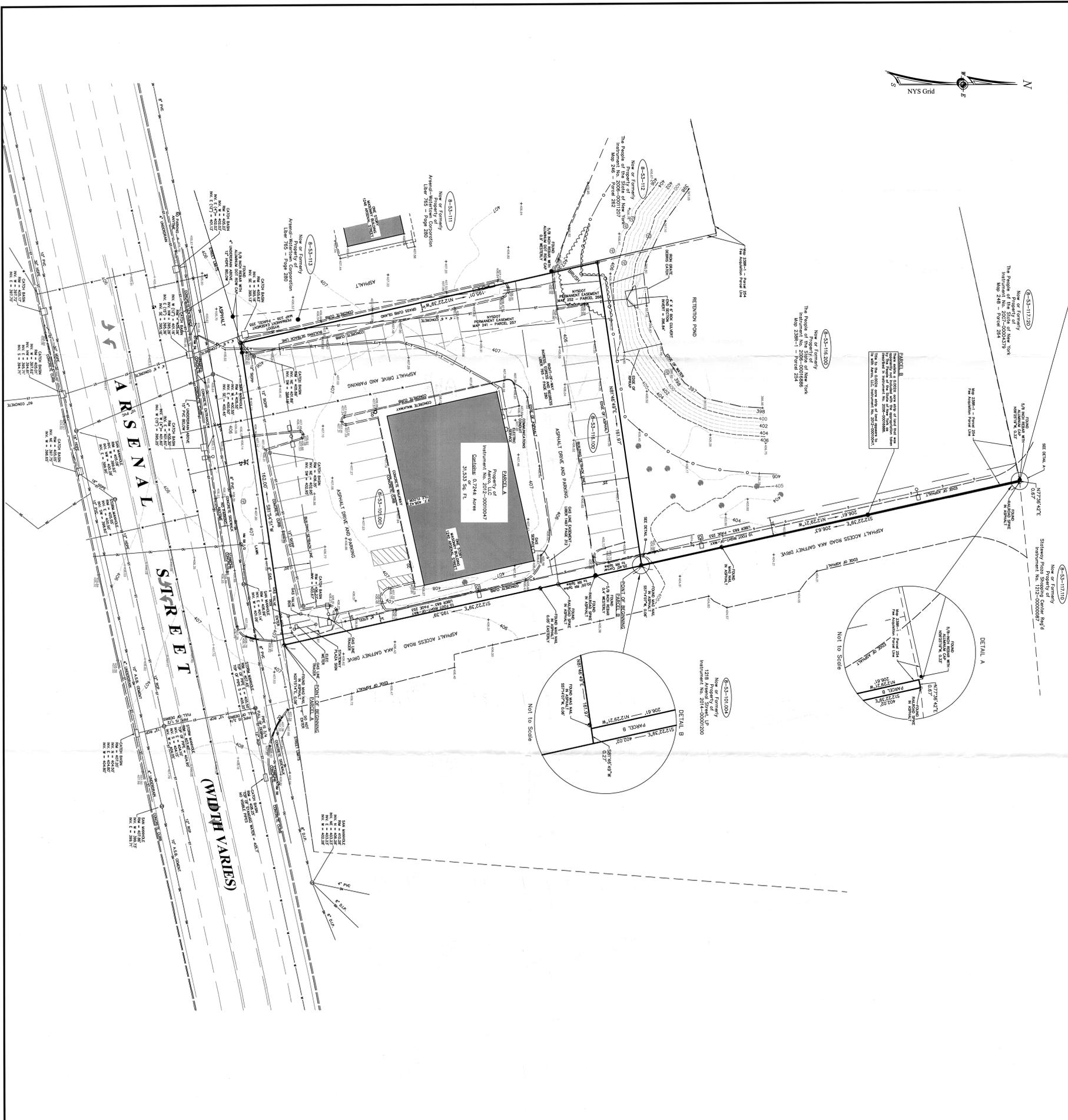
\_\_\_\_\_  
Print or Type Name of Responsible Officer in Lead Agency

\_\_\_\_\_  
Title of Responsible Officer

\_\_\_\_\_  
Signature of Responsible Officer in Lead Agency

\_\_\_\_\_  
Signature of Preparer (if different from Responsible Officer)

**PRINT FORM**



**DEED REFERENCE**

Being a Portion of Lot 8, Block 1, also known as Union County Plaza, to AERCO, LLC, as recorded in the County Clerk's Office of the County of Jefferson, New York, under Instrument No. 2012-0010047, dated July 9, 2012, and as amended by Instrument No. 2014-0001200, dated October 1, 2014.

**ZONING**

Zone: C-2 (Community Commercial - Medium Density)

Minimum Lot Area: 4,000 sq. ft.

Minimum Lot Width: 25 feet

Maximum Building Height: 35 feet

Setback: 10 feet (Front), 5 feet (Side/Rear)

Permitted Use: 1 - Spec/200 as to Building Area

- LEGEND**
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**MAP REFERENCES**

- Survey and Topographic Map of the Land of Kessler Farming LLC, City of Watertown, New York, as recorded in the County Clerk's Office of the County of Jefferson, New York, under Instrument No. 2009-1355, dated October 1, 2009, and as amended by Instrument No. 2012-0010047, dated July 9, 2012.
- Highway Boundary Map, NYS Route 2 Arsenal Street Part 2, Streetway Plans and distributed as zoning map, 1981, 14 and 46.
- New York State Department of Transportation Acquisition Map, City of Watertown, Arsenal Street, S14, F42, S2-1, prepared by WISDOT, dated May 2008, 205, 257, 262 and 268.

**NOTES**

- This survey is referenced horizontally to the North American Datum of 1983 (NAD83) projected on the New York State Plane Coordinate System (NYSPCS).
- The reference vertical control point is City of Watertown Monument No. 114.
- The reference vertical benchmark is W.X.S.D.O.T. Baseline Control Point No. 45.
- All elevations are per the City of Watertown Assessment Office.
- The reference vertical datum is the Mean Sea Level datum.
- The City of Watertown, New York, and are subject to zoning regulations.
- All other notes on this map are as indicated in the handbook titled "Zoning Ordinance of the City of Watertown, New York," and are subject to the City of Watertown, New York, zoning regulations.
- Armed Street is a utility with public street.
- Utility poles and wires and other structures have been located from ground surface and records, and therefore their locations may be different from actual locations. The utility poles and wires are shown as they appear on the ground, and are not necessarily in the same location as they appear on the ground.
- Prior to any construction contact Dig Safe New York at 1-800-982-7862 for exact location of all underground utilities.
- The information shown herein is based on an instrument survey completed 10/11/2011.
- All units shown herein are US Survey Feet.



NO.	DATE	DESCRIPTION	BY
01	January 28, 2012	Mathematical Revision	A/JAK

**GYMOPC ARCHITECTURE ENGINEERING LAND SURVEYING**

220 Sterling Street  
Watertown, NY 13601  
Tel: (315) 853-8888  
Fax: (315) 853-8889  
www.gymopc.com



**COMMISSIONER OF STATE**

**CLAUDE W. TAYLOR**

1218 Arsenal Street, LP  
Instrument No. 2014-0001200

**SURVEY AND TOPOGRAPHIC MAP of the LAND of AERCO, LLC, TAX PARCEL NO. 8-53-101.001 and 8-53-116.100**

**1240 ARSENAL STREET**

CITY OF WATERTOWN COUNTY OF JEFFERSON STATE OF NEW YORK

Project No.: 2011-2342  
Scale: 1"=20'  
Date: 12/16/14  
Survey Date: 11/23/14  
Checked By: [Signature]  
Drawn By: [Signature]

**SU01**

**GOODYEAR PLAN REVIEW**

The Goodyear Plan Review identifies compliance with the drawing format, engineering standards and ADA Guidelines as defined in the Auto Service Center CD-Rom. The Review also checks for detailing which may interfere with the day to day business operations of the store. The Goodyear Plan Review does not check the plans by specific engineering disciplines. Therefore "Acceptance" does not relieve the local architect/engineering consultants of their legal responsibility to perform appropriate calculations, detailing, code review, ADA Compliance and engineering to provide a sound and operational Auto Service Center.

NO EXCEPTIONS TAKEN

REVISE & RESUBMIT

DATE: \_\_\_\_\_ BY: \_\_\_\_\_

GOODYEAR CD-ROM RELEASE DATE: 01-31-2015

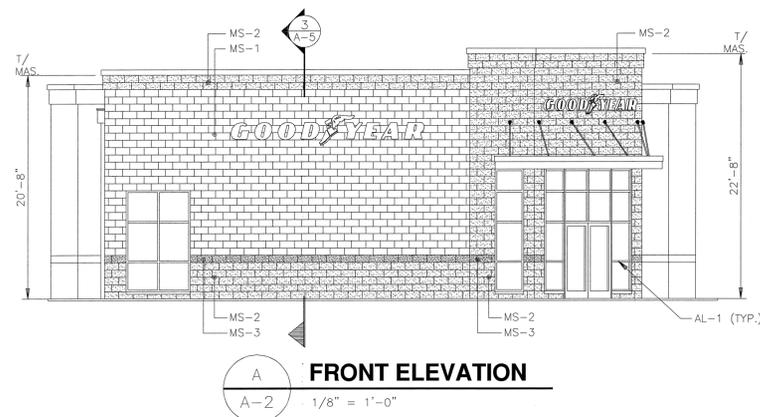
REVISION NO.: \_\_\_\_\_ REVISION DATE: \_\_\_\_\_

CONSULTANT ISSUED BLOCK

NO.	DATE	DESCRIPTION

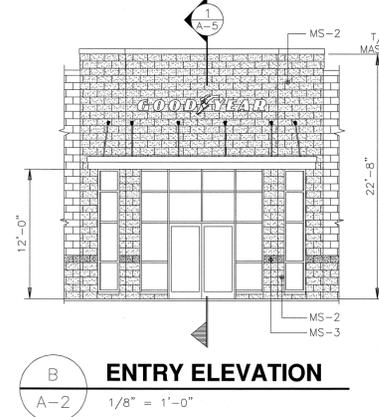
## PRODUCT FINISH SCHEDULE - BUILDING SHELL

TAG	PRODUCT	DESCRIPTION	SIZE	MANUFACTURER	REMARKS
MASONRY					
MS-1	FIELD COLOR SPLIT-FACE CONC. MASONRY UNIT	NORMAL WEIGHT AGGREGATE HOLLOW - LOAD BEARING	12" X 8" X 16"	MEMBER OF NCMA	COLOR AND TEXTURE SELECTED FROM MANUFACTURER'S STANDARD
MS-2	ACCENT COLOR SPLIT-FACE CONC. MASONRY UNIT	NORMAL WEIGHT AGGREGATE HOLLOW - LOAD BEARING	12" X 8" X 16"	MEMBER OF NCMA	COLOR AND TEXTURE SELECTED FROM MANUFACTURER'S STANDARD
MS-3	BAND COLOR SPLIT-FACE CONC. MASONRY UNIT	NORMAL WEIGHT AGGREGATE HOLLOW - LOAD BEARING	12" X 8" X 16"	MEMBER OF NCMA	COLOR AND TEXTURE SELECTED FROM MANUFACTURER'S STANDARD
MASONRY MORTAR					
MTR-1	PACKAGED BLEND	PORTLAND CEMENT/LIME MIX COLOR BY LOCAL ARCHITECT		SPECIFIED BY LOCAL ARCHITECT	PIGMENTED MORTARS ASTM C-150 TYPE I MANUFACTURER'S STANDARD FORMULA ASTM C-207 TYPE S
ALUMINUM STOREFRONT					
AL-1	EXTRUDED ALUM. FRAMING (ANODIZED)	TRI-FAB 451T FRAMING W/STYLE 350 DOOR	SEE DETAILS ON A-9	KAWNEER	CLASS II CLEAR ANODIZED FINISH ALT. KYNAR 500 - COLORED
FOR ALTERNATE PRODUCTS AND MANUFACTURERS, REFER TO THE SPECIFICATIONS					



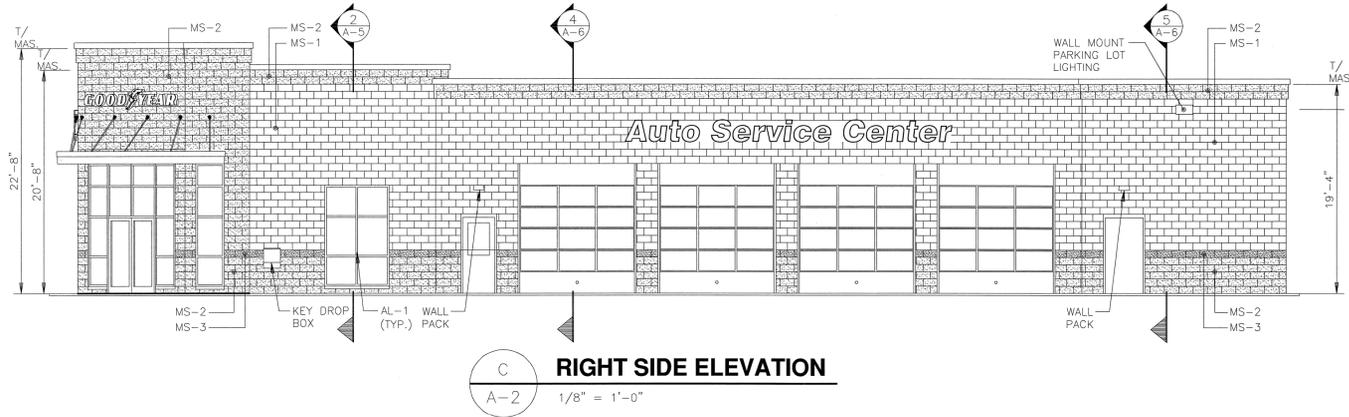
**FRONT ELEVATION**

A-2 1/8" = 1'-0"



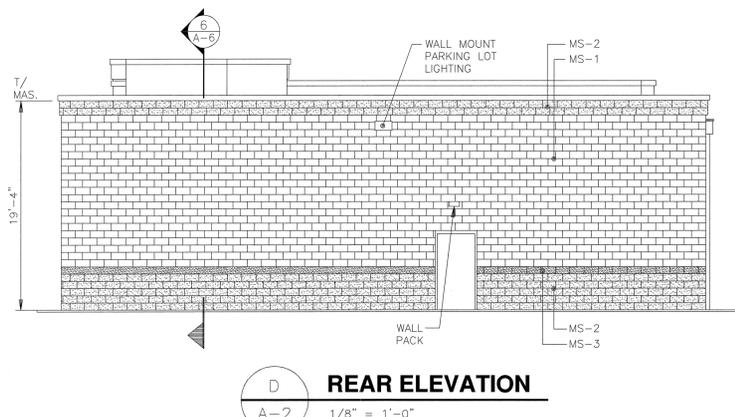
**ENTRY ELEVATION**

B-2 1/8" = 1'-0"



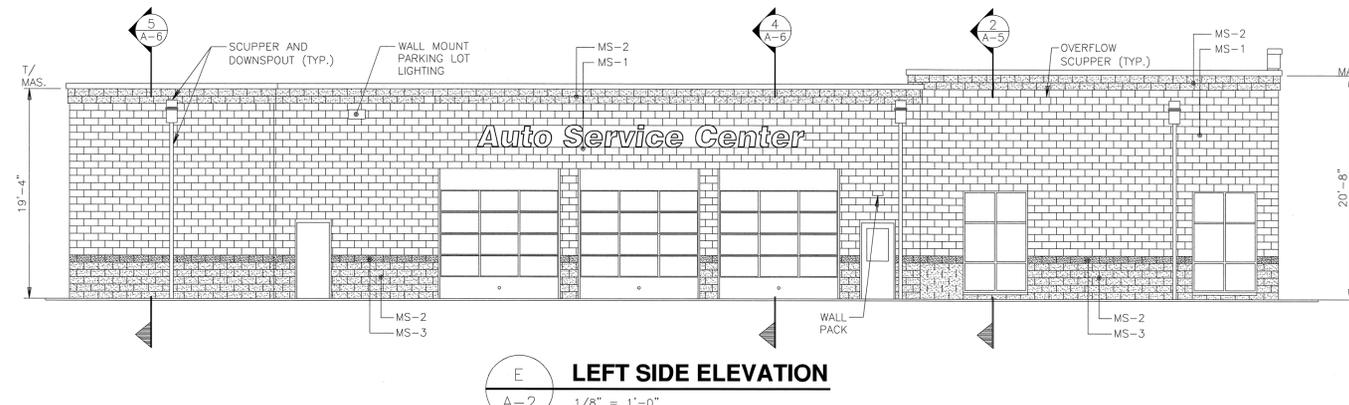
**RIGHT SIDE ELEVATION**

C-2 1/8" = 1'-0"



**REAR ELEVATION**

D-2 1/8" = 1'-0"



**LEFT SIDE ELEVATION**

E-2 1/8" = 1'-0"

### ELEVATION NOTES

**GENERAL NOTES**

ALL HEIGHTS SHOWN ARE REFERENCED FROM FINISH FLOOR.

**KEY DROP BOX**

KEY DROP BOX SHALL BE 100% HEAVY DUTY STAINLESS STEEL POWDER COATED CONSTRUCTION TO PREVENT RUST AND BE MOUNTED TO THE WALL WITH WRITING SURFACE AT 34" ABOVE SIDEWALK.  
MODEL # AND MANUFACTURER:  
NITE DROP ZONE MODEL SC 3985CS  
22"H x 19"W x 12"D  
SPECTRUM COMPOSITES, INC.  
1090 DORIS RD.  
AUBURN HILLS, MI 48326  
1-800-359-9855 OR info@SpectrumComposites.com  
SEE DRAWING A-13 FOR MOUNTING DETAIL

**ALUMINUM WINDOW SYSTEM**

FOR GLAZING OF ALUMINUM WINDOW FRAMES, SEE SHEET A-9.  
SEE GLASS SCHEDULE ON SHEET A-9 FOR LOCATIONS OF TEMPERED GLASS.

**SIGNAGE COORDINATION**

SIGNAGE SHOWN IS ONLY PRELIMINARY.  
FINAL SIGNAGE LAYOUT WILL BE SUBMITTED FOR PERMIT SEPARATELY BY SIGNAGE INSTALLER.  
CONTRACTOR SHALL COORDINATE LOCATION WITH GOODYEAR'S IDENTIFICATION DEPARTMENT AND SIGNAGE INSTALLER.



320 Sterling Street  
Watertown, NY 13601  
tel: (315) 788-3960  
fax: (315) 788-6668  
www.gymopc.com

DESIGN PROFESSIONAL'S JOB NUMBER

**2014-274**

DRAWN BY DPA CHECKED BY EGO

DRAWING TITLE  
**EXTERIOR ELEVATIONS**

ISSUE DATE 02/09/16 DRAWING NUMBER **A-2**

GOODYEAR AUTHORIZATION NUMBER

**RE:**

**GOODYEAR PLAN REVIEW**

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**NO EXCEPTIONS TAKEN**

**REVISE & RESUBMIT**

DATE: \_\_\_\_\_ BY: \_\_\_\_\_

GOODYEAR CD-ROM RELEASE DATE: 01-31-2015

REVISION NO.: . REVISION DATE: .

**CONSULTANT ISSUED BLOCK**

NO.	DATE	DESCRIPTION

**FLOOR PLAN NOTES:**

**DIMENSION NOTES:**

- ALL DIMENSIONS ARE TO FACE OF FINISH WALL OR TO COLUMN LINE WHERE INDICATED.
- INTERIOR DIMENSIONS ARE TO BE CONSIDERED ABSOLUTE MINIMUM REQUIREMENTS TO SATISFY THE NEEDS OF GOODYEAR RETAIL OPERATIONS AND MEET AMERICANS WITH DISABILITIES ACT CLEARANCE GUIDELINES. ANY VARIATION OR DISCREPANCY DUE TO FIELD DECISIONS WILL NOT BE ACCEPTED AND MAY RESULT IN THE CONTRACTOR CORRECTING THE INADEQUATE CONDITION.
- CONTRACTOR TO VERIFY THAT WALL DIMENSIONS ARE ACCURATE PRIOR TO START OF CONSTRUCTION.

**FLOOR PLAN:**

CONTRACTOR SHALL REFER TO THE FOLLOWING SHEETS FOR FLOOR PLAN INFORMATION AND DETAILS:

**SCHEDULES**

- SEE SHEET A-8 FOR DOOR AND HARDWARE SCHEDULES, DOOR AND FRAME TYPES AND FRAME DETAILS.
- SEE SHEET A-9 FOR WINDOW SCHEDULE, WINDOW FRAME TYPES AND RELATED ELEVATIONS AND DETAILS.
- SEE SHEET A-14 FOR ROOM FINISH SCHEDULE AND PRODUCT FINISH SCHEDULES RELATED TO INTERIOR FINISHES.
- SEE SHEET A-15 FOR PAINT FINISH SCHEDULE, PAINT COLOR AND COATING SCHEDULES AND ADDITIONAL PAINT NOTES AND GUIDELINES.

**ROOMS:**

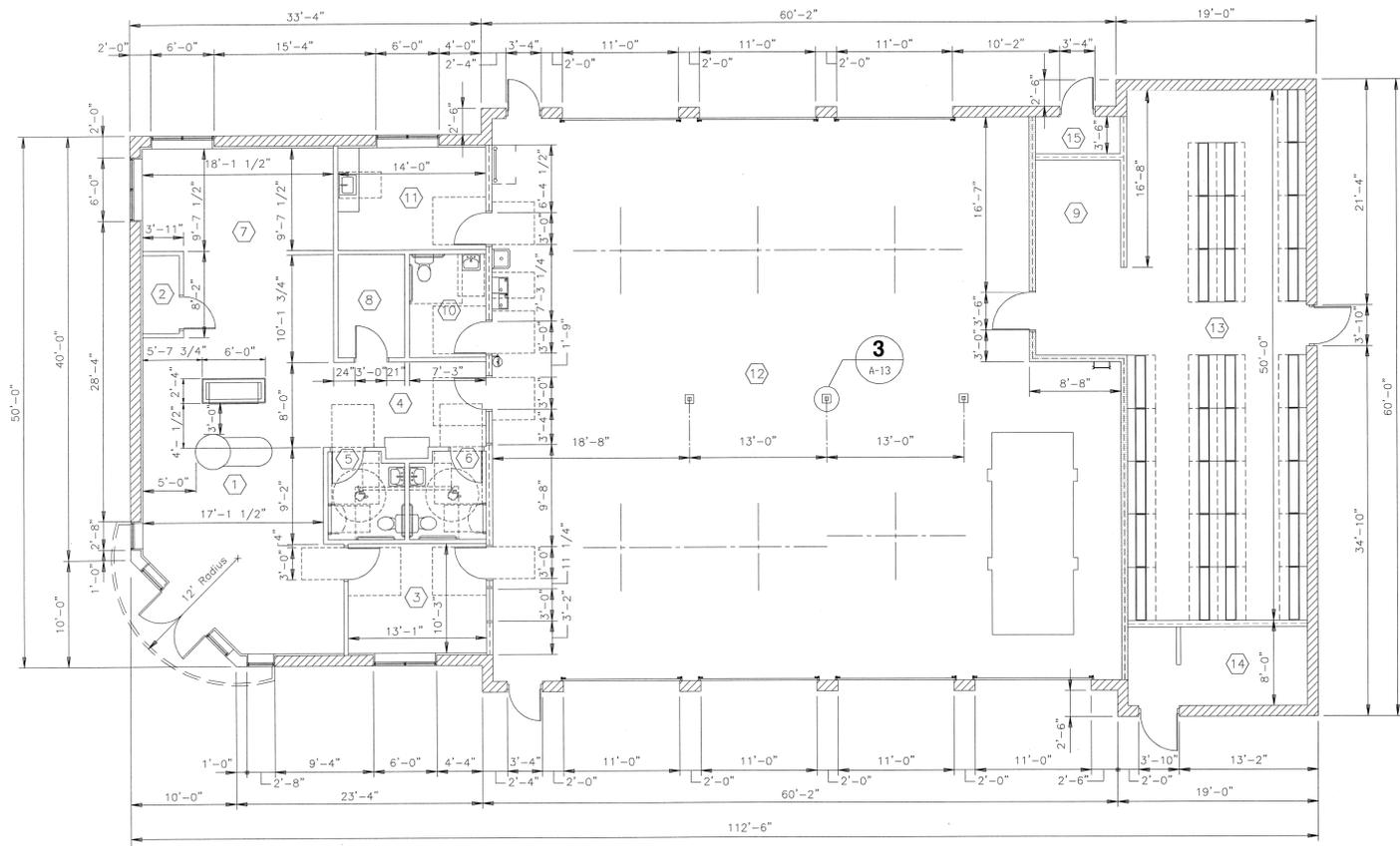
- SALESROOM  
SEE SHEET A-10 FOR TYPICAL INTERIOR ELEVATIONS.
- SERVICE AREA  
SEE SHEET A-3 FOR TYPICAL BUILDING CROSS SECTIONS.
- TOILET ROOMS  
SEE SHEET A-11 FOR ENLARGED PLANS AND TYPICAL INTERIOR ELEVATIONS.

**REFLECTED CEILING:**

FOR REFLECTED CEILING PLAN, SEE SHEET A-14.

**TIRE STORAGE:**

CONTRACTOR SHALL BE FULLY AWARE OF GOODYEAR'S TIRE STORAGE RACK LAYOUT (SEE EQ-1). DO NOT MAKE ANY FIELD ADJUSTMENT WHICH WILL INTERFERE WITH TIRE STORAGE.



**FLOOR PLAN**  
SCALE: 1/8"=1'-0"

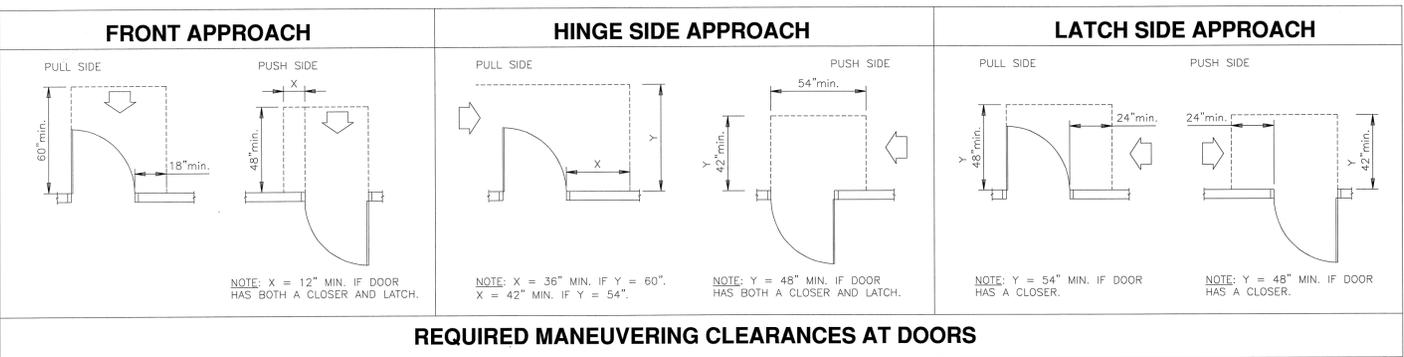
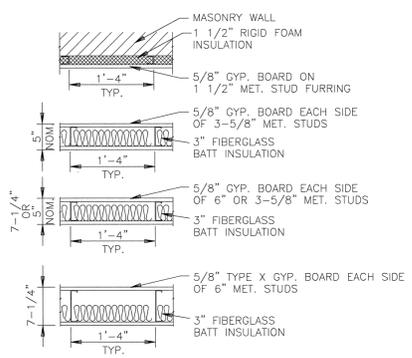
**ROOM LEGEND**

- 1 SALESROOM
- 2 COMM. CLOSET
- 3 MANAGER
- 4 HALL
- 5 MEN
- 6 WOMEN
- 7 WAITING
- 8 FILES
- 9 PARTS
- 10 ASSOCIATES TOILET
- 11 BREAKROOM
- 12 SERVICE AREA
- 13 TIRE STORAGE
- 14 SCRAP TIRE ROOM
- 15 FIRE RISER

**WALL LEGEND**

NOTE: DIMENSIONS ARE NOMINAL FINISHED WALL THICKNESS

- MASONRY WALL (SEE WALL SECTIONS FOR DIMENSIONS)
  - MASONRY WALL WITH GYPSUM BOARD ON METAL STUD FURRING TO ROOF DECK
  - GYPSUM BOARD AND METAL STUD WALLS TO 12'-6" ABOVE FINISHED FLOOR
  - GYPSUM BOARD AND METAL STUD WALLS TO ROOF DECK ABOVE
  - GYPSUM BOARD AND METAL STUD WALLS TO ROOF DECK ABOVE - 1 HOUR FIRE RATED UL DES. U419
- NOTE:  
ALL METAL STUD PARTITIONS TO 12'-6" A.F.F. TO BE LATERALLY BRACED TO STRUCTURE ABOVE 4'-0" O.C. (MIN.)



DESIGN PROFESSIONAL'S JOB NUMBER  
**2014-274**

DRAWN BY **DPA** CHECKED BY **EGO**

**FLOOR PLAN**

ISSUE DATE **02/09/16** DRAWING NUMBER **A-1**

GOODYEAR AUTHORIZATION NUMBER

**RE:**

## ARSENAL STREET WATERTOWN NEW YORK, 13601

**GOODYEAR PLAN REVIEW**

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**NO EXCEPTIONS TAKEN**

**REVISE & RESUBMIT**

DATE: \_\_\_\_\_ BY: \_\_\_\_\_

GOODYEAR CD-ROM RELEASE DATE: 01-31-2015

REVISION NO.: . REVISION DATE: .

**CONSULTANT ISSUED BLOCK**

NO.	DATE	DESCRIPTION

### ROOF PLAN NOTES:

- ROOF SYSTEM DESCRIPTION:
  - ROOFING MEMBRANE: 2 PLY SBD MODIFIED BITUMINOUS MEMBRANE
  - INSULATION: 1/2" PERLITE BOARD OVER MIN 3.5" POLYISOCYANURATE
  - R-VALUE (LTR): R20 MIN. (OR PER LOCAL CODE)
  - VAPOR BARRIER: ARCHITECT TO SPECIFY IF REQUIRED

### SPECIFICATIONS:

#### CUSTOM CURVED HANGER ROD SUPPORTED ENTRANCE CANOPY

##### PART 1: GENERAL

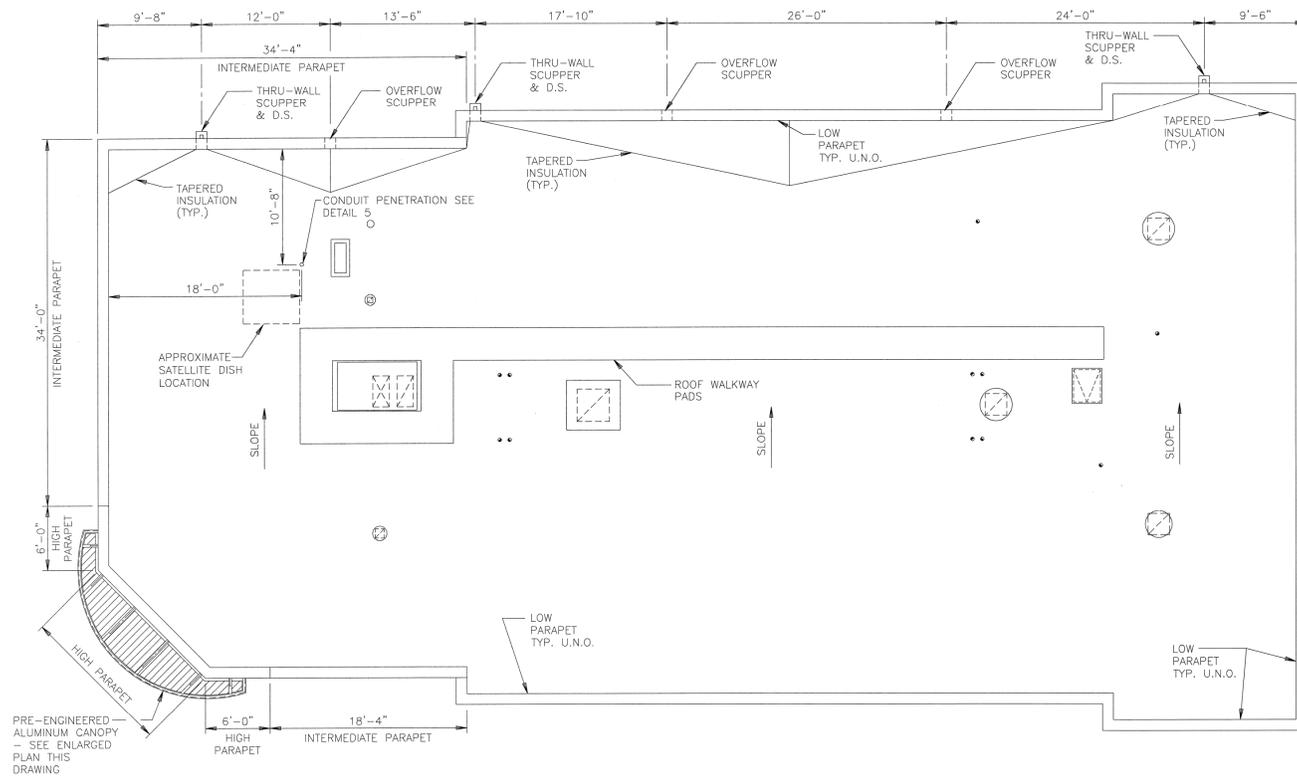
- DESCRIPTION OF WORK
  - WORK IN THIS SECTION INCLUDES FURNISHING AND INSTALLATION OF EXTRUDED ALUMINUM OVERHEAD HANGER ROD STYLE CANOPIES AS MANUFACTURED BY MAPES INDUSTRIES INC.
  - RELATED ITEMS AND CONSIDERATIONS
    - FLASHING OF VARIOUS DESIGNS MAY BE REQUIRED. GENERIC FLASHING SUPPLIED BY MAPES. SPECIALTY FLASHING TO BE SUPPLIED BY INSTALLER.
    - DETERMINE WALL CONSTRUCTION, MAKE-UP AND THICKNESS.
    - ENSURE ADEQUATE WALL CONDITION TO CARRY CANOPY LOADS WHERE REQUIRED.
    - CONSIDER WATER DRAINAGE AWAY FROM CANOPY WHERE NECESSARY.
    - ANY NECESSARY REMOVAL OR RELOCATION OF EXISTING STRUCTURES, OBSTRUCTIONS OR MATERIALS.
- QUALITY ASSURANCE
  - PRODUCTS MEETING THESE SPECIFICATIONS ESTABLISHED STANDARD OF QUALITY REQUIRED AS MANUFACTURED BY MAPES INDUSTRIES, INC. LINCOLN, NEBRASKA 1-888-273-1132
- FIELD MEASUREMENT
  - CONFIRM DIMENSIONS PRIOR TO PREPARATION OF SHOP DRAWINGS WHEN POSSIBLE.
  - IF REQUESTED, SUPPLY MANUFACTURER'S STANDARD LITERATURE AND SPECIFICATIONS FOR CANOPIES.
- SUBMIT SHOP DRAWINGS SHOWING STRUCTURAL COMPONENT LOCATIONS/POSITIONS, MATERIAL DIMENSIONS AND DETAILS OF CONSTRUCTION AND ASSEMBLY.
- PERFORMANCE REQUIREMENTS
  - CANOPY MUST CONFORM TO LOCAL BUILDING CODES.
  - PE STAMPED CALCULATIONS ARE REQUIRED AND MUST BE SIGNED AND SEALED BY AN ENGINEER LICENSED WITHIN THE STATE CANOPY IS INSTALLED.
- DELIVER, STORAGE, HANDLING
  - DELIVER AND STORE ALL CANOPY COMPONENTS IN PROTECTED AREAS.

##### PART 2: PRODUCTS

- MANUFACTURER
  - MAPES CANOPIES (SPECIFIED)  
LINCOLN, NEBRASKA  
PHONE: 1-888-273-1132  
FAX: 1-877-455-6572
  - OTHER ARCHITECT APPROVED MANUFACTURER
- MATERIALS
  - DECKING SHALL CONSIST OF A 2 3/4" EXTRUDED .078" DECKING.
  - INTERMEDIATE FRAMING MEMBERS SHALL BE EXTRUDED ALUMINUM, ALLOY 6063-T6, IN PROFILE AND THICKNESS SHOWN IN CURRENT MAPES BROCHURES.
  - HANGER RODS AND ATTACHMENT HARDWARE SHALL BE POWDER COATED.
  - FASCIA SHALL BE STANDARD 8" EXTRUDED G4 STYLE.
- FINISHES
  - FINISH TYPE SHALL BE -- CLASS II CLEAR ANODIZED.
- FABRICATION
  - ALL MAPES CANOPIES ARE SHIPPED IN PREASSEMBLED SECTIONS FOR EASE OF INSTALLATION.
  - ALL CONNECTIONS SHALL BE MECHANICALLY ASSEMBLED UTILIZING 3/16 FASTENERS WITH A MINIMUM SHEAR STRESS OF 350 LB. PRE-WELDED OR FACTORY-WELDED CONNECTIONS ARE NOT ACCEPTABLE.
  - DECKING SHALL BE DESIGNED WITH INTERLOCKING ROLL-FORMED ALUMINUM MEMBERS.
  - CONCEALED DRAINAGE. WATER SHALL DRAIN FROM COVERED SURFACES INTO INTERMEDIATE TROUGH AND BE DIRECTED TO REAR GUTTER - LEADER BY OTHERS.

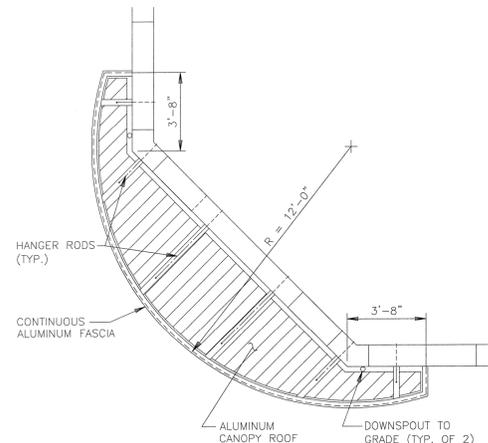
##### PART 3: EXECUTION

- INSPECTION
  - CONFIRM THAT SURROUNDING AREA IS READY FOR THE CANOPY INSTALLATION.
  - INSTALLER SHALL CONFIRM DIMENSIONS AND ELEVATIONS TO BE AS SHOWN ON DRAWINGS PROVIDED BY MAPES INDUSTRIES.
  - ERECTION SHALL BE PERFORMED BY AN APPROVED INSTALLER AND SCHEDULED AFTER ALL CONCRETE, MASONRY AND ROOFING IN THE AREA IS COMPLETED
- INSTALLATION
  - INSTALLATION SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S SHOP DRAWINGS. PARTICULAR ATTENTION SHOULD BE GIVEN TO PROTECTING THE FINISH DURING HANDLING AND ERECTION.
- AFTER INSTALLATION, ENTIRE SYSTEM SHALL BE LEFT IN A CLEAN CONDITION.



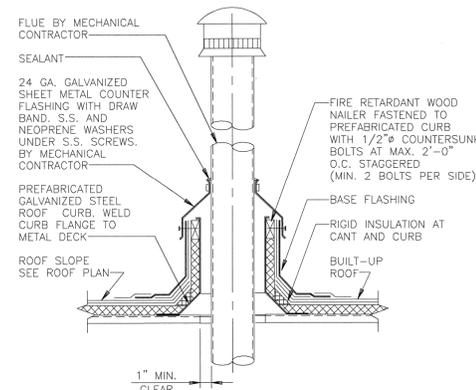
### ROOF PLAN

SCALE: 1/8" = 1'-0"



### ENLARGED CANOPY PLAN

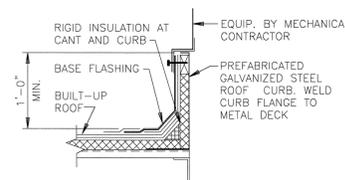
SCALE: 1/4" = 1'-0"



NOTE: SEE HVAC PLAN FOR LOCATIONS

### 1 CIRCULAR VENT FLASHING

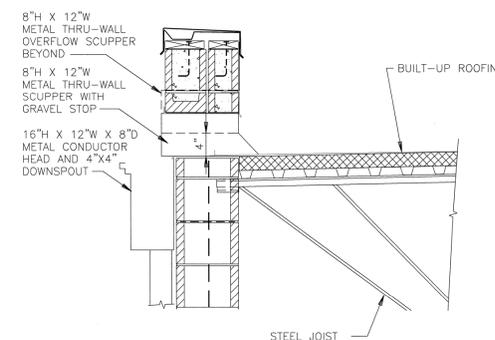
A-4 3/4" = 1'-0"



NOTE: SEE HVAC PLAN FOR LOCATIONS

### 2 HEATER VENT FLASHING

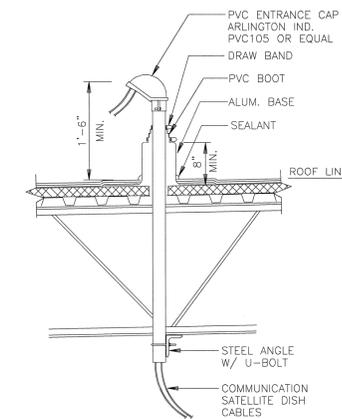
A-4 3/4" = 1'-0"



NOTE: SEE HVAC PLAN FOR LOCATIONS

### 3 ROOF CURB DETAIL

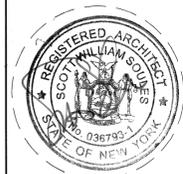
A-4 3/4" = 1'-0"



NOTE: SEE HVAC PLAN FOR LOCATIONS

### 4 SCUPPER/ DOWNSPOUT DETAIL

A-4 3/4" = 1'-0"



ARCHITECTURE  
ENGINEERING  
LAND SURVEYING

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Watertown, NY 13601  
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DESIGN PROFESSIONAL'S JOB NUMBER

2014-274

DRAWN BY DPA

CHECKED BY EGO

DRAWING TITLE

### ROOF PLAN AND DETAILS

ISSUE DATE

02/09/16

DRAWING NUMBER

A-4

GOODYEAR AUTHORIZATION NUMBER

RE:

# PROPOSED GOODYEAR AUTO SERVICE CENTER

1240 ARSENAL STREET, CITY OF WATERTOWN  
JEFFERSON COUNTY, NEW YORK

## SITE DEVELOPMENT PLANS

1 MARCH 2016

INDEX OF DRAWINGS:

- C001 - GENERAL NOTES AND INFORMATION
- EX100 - EXISTING CONDITIONS/DEMO PLAN
- C101 - SITE AND LANDSCAPING PLAN
- C102 - UTILITY AND GRADING PLAN
- C103 - PHOTOMETRICS PLAN
- C501 - SITE DETAILS
- C502 - SITE DETAILS
- C503 - SITE DETAILS
- C504 - SITE DETAILS

2014-274E - 1 MARCH 2016  
PROPOSED GOODYEAR AUTO SERVICE CENTER - SITE DEVELOPMENT PLANS  
1240 ARSENAL STREET - CITY OF WATERTOWN, NEW YORK



PREPARED BY:



220 Sterling Street  
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**RYAN G. CHURCHILL, P.E.**  
New York State Reg. No. 060888

PREPARED FOR:

VCI PROPERTIES, LLC  
788 BREWERTON ROAD  
CICERO, NY 13088  
CONTACT: MR. PATRICK DONEGAN  
(315) 488-8887

**MASTER LEGEND**

LEGEND:	EXISTING	PROPOSED
5' CONTOUR	---410---	---410---
1' CONTOUR	---40---	---40---
BOLLARD	•	•
BUILDING	—	—
BUSH	○	○
CATCH BASIN	□	□
CENTERLINE	---	---
CHECK DAM	—	—
CITY MONUMENT	□	□
CLEANOUT	○	○
CONCRETE SIDEWALK	—	—
CONIFEROUS TREE	☼	☼
CURB STOP	☼	☼
CURB WITH GUTTER	—	—
CURBED ROAD	—	—
DECIDUOUS TREE	☼	☼
DOUBLE YELLOW LANE LINE	—	—
EASEMENT	---	---
EDGE OF PAVEMENT	---	---
EDGE OF GRAVEL	---	---
ELECTRICAL BOX	□	□
ELECTRIC MANHOLE	⊙	⊙
FENCE	—	—
FIRE HYDRANT	☼	☼
PLANTINGS	○	○
FORCEMAIN	—	—
GAS LINE	—	—
GAS, ELECTRIC, TELEPHONE AND CABLE	—	—
IRON PIPE WITH CAP SET	○	○
IRON PIPE FOUND (AS NOTED)	•	•
LIGHT POLE	☼	☼
OVERHEAD UTILITY	—	—
PROPERTY LINE	---	---
PROPERTY LINE (ADJACENT)	---	---
SEWER LINE	—	—
SEWER MANHOLE	⊙	⊙
SIGNS	—	—
SILT FENCE	—	—
SOLID WHITE LANE LINE	---	---
SPOT ELEVATION (BOTTOM CURB/TOP CURB)	x428.01	x428.01/03
STORM LINE	—	—
STORM MANHOLE	⊙	⊙
TREELINE	—	—
UNDERGROUND CABLE	—	—
UNDERGROUND ELECTRIC	—	—
UNDERGROUND TELEPHONE	—	—
UTILITY POLE & GUY WIRE	☼	☼
WATER LINE	—	—
WATER OUTLINE	—	—
WATER VALVE	☼	☼
WATERLINE CROSSING	—	—

**ABBREVIATIONS**

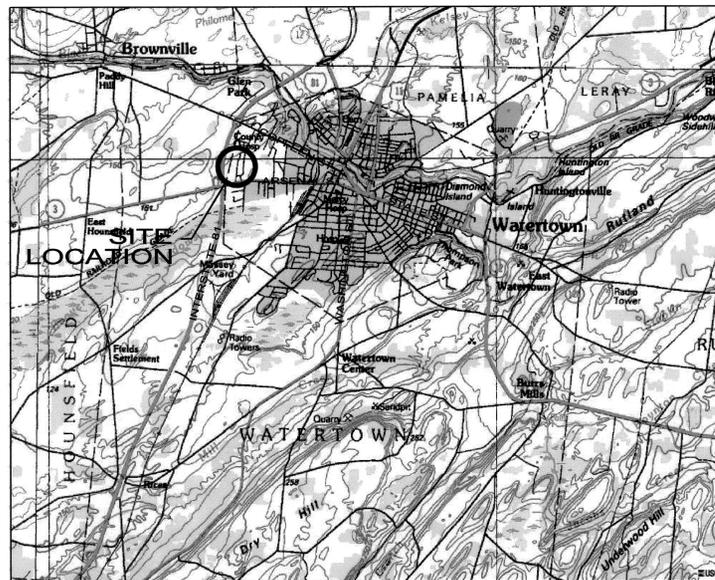
AC	- ACRES
BLDG	- BUILDING
BOT	- BOTTOM
BW	- BOTTOM OF WALL
C	- CURVE
CB	- CATCH BASIN
CF	- CUBIC FEET
CI	- CAST IRON
CL	- CENTERLINE
CO	- COUNTY
CONC	- CONCRETE
CMP	- CORRUGATED METAL PIPE
CPP	- CORRUGATED PLASTIC PIPE
DA	- DELTA ANGLE
DA#	- DRAINAGE AREA #
DI	- DUCTILE IRON
DIA	- DIAMETER
DWG	- DRAWING
DYLL	- DOUBLE YELLOW LANE LINE
E	- EAST
EG	- EXISTING GRADE
EL	- ELEVATION
ESC	- EROSION & SEDIMENT CONTROL
FF	- FINISHED FLOOR
FG	- FINISH GRADE
GV	- GATE VALVE
HDP	- HIGH DENSITY POLYETHYLENE PIPE
HYD	- HYDRANT
IPF	- IRON PIPE FOUND
IPS	- IRON PIPE SET
INT	- INTERSECTION
INV	- INVERT
L	- LENGTH
LF	- LINEAR FEET
MAX	- MAXIMUM
MIN	- MINIMUM
N	- NORTH
NO./#	- NUMBER
NTS	- NOT TO SCALE
NYSDEC	- NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION
NYSOT	- NEW YORK STATE DEPARTMENT OF TRANSPORTATION
NYSOHD	- NEW YORK STATE DEPARTMENT OF HEALTH
OHW	- OVERHEAD WIRE
PC	- POINT OF CURVATURE
PCC	- POINT OF COMPOUND CURVE
PT	- POINT OF TANGENCY
PVC	- POLYVINYL CHLORIDE PIPE
R	- RADIUS
RCP	- REINFORCED CONCRETE PIPE
ROC	- RUN OF CRUISER
ROW	- RIGHT-OF-WAY
S	- SOUTH
SAN	- SANITARY
SB	- SETBACK
SDR	- STANDARD DIMENSION RATIO
SMH	- SANITARY MANHOLE
SMH	- STORM MANHOLE
SWPPP	- STORM WATER POLLUTION PREVENTION PLAN
SWLL	- SINGLE WHITE LANE LINE
TC	- TIME OF CONCENTRATION
TL	- TANGENT LENGTH
TYP	- TYPICAL
TW	- TOP OF WALL
TS & V	- TAPPING SLEEVE & VALVE
UNO	- UNLESS NOTED OTHERWISE
W	- WEST

**SIGN SCHEDULE**

LABEL	SIGNS	LABEL	SIGNS
A	STOP	C	NO PARKING
B	RESERVED PARKING	D	ONE WAY

**SIGNAGE NOTES**

- ALL OUTSIDE SIGNS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH ALL DETAILS WITHIN THE STATE OF NEW YORK DEPARTMENT OF TRANSPORTATION - US CUSTOMARY STANDARD SHEETS 645-01 THROUGH 645-14. THIS INCLUDES BUT IS NOT LIMITED TO: STANDARD SIGN BLANK DETAILS (645-01); POSITIONING OF TRAFFIC SIGNS (645-03); SIGN PANEL DETAILS FOR GUIDE, INFORMATION AND OTHER SIGNS (645-09); BI-DIRECTIONAL BREAKAWAY BASE AND HINGE ASSEMBLY (645-11).
- ALL SIGNS AND PAINT MARKINGS ARE TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS AS OUTLINED IN THE LATEST VERSION OF THE FEDERAL MUTCD AND THE NYS SUPPLEMENT.



LOCATION MAP  
APPROXIMATE SCALE 1" = 2000'



**GENERAL NOTES**

- UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN. PRIOR TO CONSTRUCTION CONTACT UNDERGROUND UTILITIES CALL CENTER OF NEW YORK FOR EXACT LOCATION OF ALL UNDERGROUND UTILITIES, (1-800-962-7962). CONTRACTOR IS RESPONSIBLE FOR LOCATING AND WORKING WITH THE APPROPRIATE UTILITY COMPANIES PRIOR TO CONSTRUCTION.
- THE TOPOGRAPHIC, PLANIMETRIC, AND BOUNDARY SURVEY WAS PERFORMED BY GYMO IN NOVEMBER OF 2014.
- ALL OUT-OF-SCOPE AREAS DISTURBED BY THE CONTRACTOR'S OPERATIONS WILL BE RESTORED TO CONDITIONS EQUAL TO OR BETTER THAN THAT PRIOR TO CONSTRUCTION. OUTSIDE OF PROPERTY BOUNDARIES AND EASEMENT AREAS THE CONTRACTOR IS REMINDED TO OBTAIN WRITTEN AUTHORIZATION TO USE PRIVATE PROPERTY AND ASSUMES ALL LIABILITY WHEN ACCESSING THOSE PROPERTIES.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE CHARACTERISTICS AND EXTENT OF SUBSURFACE SOILS, ROCK, WATER TABLE LEVELS, ETC., PRIOR TO BIDDING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, SECURITY, BONDS, FEES, AND PAYMENTS TO OBTAIN SAID PERMITS WHERE APPLICABLE.
- WHEN THE PERFORMANCE OF THE CONTRACTOR'S WORK REQUIRES THE INTERRUPTION OF UTILITY SERVICES, HE/SHE SHALL ISSUE A 48 HOUR PRIOR NOTICE TO THE GOVERNING MUNICIPALITY.
- SITE CONTRACTOR TO PROVIDE EROSION AND SEDIMENT CONTROL AND DUST CONTROL.
- A LICENSED LAND SURVEYOR SHALL BE RETAINED FOR ALL UTILITY AND FIELD STAKEOUT AND AS-BUILTS AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION UNTIL ESTABLISHMENT OF VEGETATIVE COVER. RUN-OFF CONTAINING SEDIMENTS FROM DISTURBED AREAS OF THE SITE SHALL NOT BE ALLOWED DIRECTLY OFF SITE OR INTO NATURAL STREAM CHANNELS.
- ALL EXISTING FACILITIES (I.E.: TREES, PAVEMENT, CURBING, BUILDINGS, ETC.) TO REMAIN SHALL BE PROTECTED BY THE CONTRACTOR. CONSTRUCTION ACTIVITIES ADJACENT TO EXISTING FACILITIES TO REMAIN SHALL BE CONDUCTED TO REDUCE THE IMPACT TO THEM, TO THE MAXIMUM EXTENT PRACTICAL. ANY DAMAGE TO EXISTING FACILITIES TO REMAIN SHALL BE REPAIRED OR THE REPLACED, AS DIRECTED BY THE OWNER AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL PERFORM ALL R.O.W. CONNECTION AND/OR ADJACENT WORK IN ACCORDANCE WITH NYSOT SPECIFICATIONS. ALL R.O.W. WORK SHALL BE IN ACCORDANCE WITH NYSOT MAINTENANCE AND PROTECTION OF TRAFFIC REGULATIONS, INCLUDING FLAGMEN, BARRICADES, WARNING SIGNS/LIGHTS, ETC., WHERE WARRANTED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARING, GRUBBING, CUTTING AND DISPOSING OF VEGETATION, TREES AND DEBRIS IN A NYSDEC ACCEPTABLE LOCATION.
- CONTRACTOR SHALL PERFORM ALL NECESSARY EARTHWORK, INCLUDING THE STRIPPING, STOCKPIILING AND REPLACING OF TOPSOIL IN ACCORDANCE WITH THE PLANS. EXCESS MATERIAL SHALL BE REMOVED FROM THE SITE.
- EXCAVATIONS SHALL BE TO DEPTHS SHOWN ON DRAWINGS. ALL UNSTABLE OR UNSUITABLE MATERIAL SHALL BE EXCAVATED AND REMOVED TO SUCH DEPTH AS REQUIRED TO PROVIDE SUFFICIENT BEARING CAPACITY. OVER-EXCAVATED AREAS SHALL BE BACKFILLED WITH SUITABLE MATERIAL.
- COMPACTION OF PIPE BEDDING AND BACKFILL MATERIAL SHALL BE BY MEANS OF HAND-GUIDED POWER DRIVEN, DRUM-TYPE, OR PLATE TAMPERS. BACKFILLING SHOULD PROCEED IN ACCORDANCE WITH LIFT THICKNESSES AND COMPACTION REQUIREMENTS AS SHOWN ON THE DRAWINGS, UNLESS OTHERWISE NOTED ON THE DRAWINGS. COMPACTION REQUIREMENTS REFER TO PERCENT OF MAXIMUM DRY DENSITY AS DETERMINED IN ACCORDANCE WITH ASTM-D1557, MODIFIED PROCTOR. CARE SHALL BE TAKEN TO SHAPE PIPE BEDDING TO FIT THE LOWER PART OF THE PIPE. BACKFILLING AND COMPACTION SHOULD PROGRESS EVENLY ALONG THE PIPE SIDEWALLS AND TO THE TOP OF THE PIPE BEDDING.
- COMPACTION SHALL BE 90% MAXIMUM DRY DENSITY IN GRASS AREAS, 95% MAXIMUM DRY DENSITY IN GRAVEL/PAVED AREAS AND 98% MAXIMUM DRY DENSITY UNDER AND AROUND STRUCTURES. MAXIMUM DRY DENSITY SHALL BE AS DETERMINED BY ASTM-D1557, MODIFIED PROCTOR. THE CONTRACTOR SHALL HIRE AN INDEPENDENT TESTING AGENCY TO PERFORM PAVEMENT TESTING PER TECHNICAL SPECIFICATIONS AND PROVIDE THE RESULTS TO THE OWNER FOR REVIEW PRIOR TO FINAL PAYMENT.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES OF DIMENSIONS, ELEVATIONS AND LOCATIONS DURING PRECONSTRUCTION FIELD VERIFICATION. SUCH INFORMATION SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR VERIFICATION OR MODIFICATION OF THE PLANS.
- THE CONTRACTOR SHALL DELIVER TO THE OWNER, AN AS-BUILT SURVEY, SIGNED AND SEALED BY A LAND SURVEYOR OR ENGINEER LICENSED IN THE STATE OF NEW YORK. AS-BUILT RECORD DRAWINGS SHALL INCLUDE, AS A MINIMUM, THE FOLLOWING INFORMATION AS WELL AS ALL REQUIREMENTS OF THE SPECIFICATION:
  - RECORD OF ALL UTILITIES ENCOUNTERED IN TRENCH EXCAVATION. INFORMATION SHALL INCLUDE DIAMETER OF UTILITY, DEPTH OF BURIAL AND LOCATION WITH REFERENCE TO NEAREST STRUCTURE SHOWN ON DRAWINGS. THIS INFORMATION SHALL BE KEPT CURRENT ON A WEEKLY BASIS. FAILURE TO DO SO MAY RESULT IN WITHHOLDING OF PAYMENTS.
  - DISTANCE TIES TO ALL MANHOLES, CLEAN OUTS, CATCH BASINS, ETC.
  - UTILITY REPAIRS, SIDEWALK, AND DRIVEWAY REPLACEMENTS CENTERLINE.
  - RIM AND INVERT ELEVATIONS AND HORIZONTAL LOCATION OF MANHOLES, CATCH BASINS, AND CLEANOUTS.
  - STATIONS OF BENDS AND VALVES.
  - FINAL GRADE ELEVATIONS TO NEAREST 0.1-FOOT AND FINISHED FLOOR ELEVATIONS.
  - DENOTED BENCH MARK REFERENCES USED.
  - PERIODIC OFFSETS.
  - NOTATION FROM THE ENGINEER OR SURVEYOR THAT THE GRADES ARE IN CONFORMANCE WITH THE SITE PLANS.
  - RECORD DETAILS NOT SHOWN ON THE ORIGINAL CONTRACT DOCUMENTS. ANY FIELD CHANGES OF DIMENSIONS AND DETAILS AND ANY CHANGES MADE BY CHANGE ORDER OR FIELD ORDER.
  - CERTIFICATE OF SUBSTANTIAL COMPLETION SHALL NOT BE ISSUED UNTIL AS-BUILT INFORMATION IS ACCEPTABLE.
  - TWO (2) SETS OF FINAL COMPLETE RECORD DRAWINGS. CONTRACTOR SHALL FURNISH AS-BUILT DATA ON PLAN SHEETS.
- UPON COMPLETION OF STORM SEWER FACILITIES AND ESTABLISHMENT OF VEGETATION, THE NEW AND EXISTING STORM SYSTEMS RECEIVING RUNOFF FROM THIS SITE SHALL BE CLEARED OF DEBRIS, ONLY AT THIS TIME SHALL THE EROSION AND SEDIMENTATION CONTROL MEASURES BE REMOVED.
- CONTRACTOR SHALL PROVIDE SATISFACTORY DEWATERING AND DRAINAGE OF EXCAVATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR MAKING SURE THAT AREA ROADS AND PARKING FACILITIES ARE CLEAR OF DEBRIS AND MUD ON A DAILY BASIS DURING THE ENTIRE CONSTRUCTION PROCESS.
- EXCAVATIONS AND TRENCHING SHALL BE PERFORMED IN ACCORDANCE WITH STATE OF NEW YORK INDUSTRIAL CODE, RULE 23, O.S.H.A. TITLE 29, PART 1926, NEW YORK STATE DEPARTMENT OF LABOR, TITLE 12, PART 23, AND ALL OTHER APPLICABLE SAFETY STANDARDS AND CODES.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE AWARE OF AND TO CONFORM WITH ALL RULES AND RESPONSIBILITIES ASSOCIATED WITH PROVIDING A SAFE WORK PLACE. THE CONTRACTOR MUST COMPLY WITH OSHA 29 CFR PART 1926, SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION.
- A STORM WATER POLLUTION PREVENTION PLAN IS NOT REQUIRED FOR THIS PROJECT AS DISTURBANCE IS LESS THAN 1 ACRE.
- ALL WORK TO BE PERFORMED WITHIN THE CITY OF WATERTOWN MARGIN WILL REQUIRE SIGN-OFF FROM A PROFESSIONAL ENGINEER, LICENSED AND CURRENTLY REGISTERED TO PRACTICE IN THE STATE OF NEW YORK, THAT THE WORK WAS BUILT ACCORDING TO THE APPROVED SITE PLAN AND APPLICABLE CITY OF WATERTOWN STANDARDS. COMPACTION TESTING WILL BE REQUIRED FOR ALL WORK TO BE PERFORMED WITHIN THE CITY OF WATERTOWN MARGIN AND MUST BE SUBMITTED TO THE CITY OF WATERTOWN CODES DEPARTMENT.
- PLEASE NOTE THAT ANY CONTRACTOR WORKING WITHIN THE CITY OF WATERTOWN MUST PROVIDE A CURRENT CERTIFICATE OF LIABILITY INSURANCE (ACORD 25). IN ADDITION, NYS ALSO MANDATES PROOF OF WORKER'S COMPENSATION BE SHOWN PRIOR TO THE ENGINEERING DEPARTMENT ISSUING ANY PERMITS.
- UNDERGROUND PRIMARY ELECTRIC SERVICE BY OTHERS. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY FOR DESIGN.
- ALL WATER MAIN AND SERVICE WORK MUST BE COORDINATED WITH THE CITY OF WATERTOWN WATER DEPARTMENT. THE WATER DEPARTMENT REQUIREMENTS SUPERCEDE ALL OTHER PLANS AND SPECIFICATIONS PROVIDED.

**DEMOLITION NOTES:**

- PRIOR TO ANY CONSTRUCTION CONTACT DIG SAFELY NEW YORK AT 1-800-962-7962 (OR 811) FOR LOCATION OF ALL UNDERGROUND UTILITIES.
- VERIFY THAT ALL WATER, GAS, ELECTRIC, AND TELEPHONE SERVICES HAVE BEEN PROPERLY TERMINATED PRIOR TO DEMOLITION.
- THE CONTRACTOR IS TO ACQUIRE ANY REQUIRED DEMOLITION PERMITTING FROM INDIVIDUAL REGULATING AGENCIES, LOCAL AUTHORITIES, OR GOVERNMENTAL BODIES. THE CONTRACTOR WILL SUPPLY AND PAY FOR EFFORT AND/OR EXPENSE ASSOCIATED WITH ACQUIRING SAID DEMOLITION PERMITS UNDER THIS CONTRACT.
- DISPOSAL OF ALL CONSTRUCTION AND DEMOLITION DEBRIS SHALL BE IN ACCORDANCE WITH LOCAL AND 6 NYS CRR PART 360, PLUS OTHER APPLICABLE CODES. DISPOSAL SHALL BE AT THE CONTRACTOR'S EXPENSE.
- THE USE OF A FIRE HYDRANT FOR DUST CONTROL MUST BE REVIEWED AND APPROVED BY THE LOCAL WATER DEPARTMENT. A HYDRANT METER, GATE VALVE, AND BACKFLOW PREVENTION DEVICE MAY BE REQUIRED. ANY ASSOCIATED FEES WILL BE THE CONTRACTOR'S RESPONSIBILITY.
- REMOVAL AREAS SHALL BE RESTORED IN ACCORDANCE WITH THE SITE, UTILITY AND GRADING PLANS.
- CONTRACTOR WILL FOLLOW ALL RULES AND REGULATIONS FOR THE HANDLING AND DISPOSAL OF UNIVERSAL WASTE.

**ELECTRICAL NOTES:**

- PROVIDE GROUNDING AS REQUIRED BY N.E.P.C. AND NEC ARTICLE 250.
- CONTRACTOR SHALL ADHERE TO NMPIC ELECTRIC SERVICE BULLETIN NO. 750 AND 754-A FOR SERVICE INSTALLATION.
- INFORMATION SHOWN IS IN PART DIAGRAMMATIC. CONTRACTOR MUST VERIFY EXISTING CONDITIONS AFFECTING THE WORK OF THIS PROJECT AND CONSIDER THESE PRIOR TO PREPARING A BID.
- ALL ELECTRICAL WORK SHALL CONFORM TO ALL STATE, LOCAL AND NATIONAL ELECTRICAL CODES (NEC).

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GENERAL NOTES AND INFORMATION

PROPOSED GOODYEAR AUTO SERVICE CENTER  
1240 ARSENAL STREET  
CITY OF WATERTOWN, NEW YORK

Project No:	2014-274
Scale:	As Noted
Date:	2/4/2016
Drawn By:	THR
Designed By:	RGCT/THR
Checked By:	
Date Issued:	2/9/2016
Dwg. No.	

C001

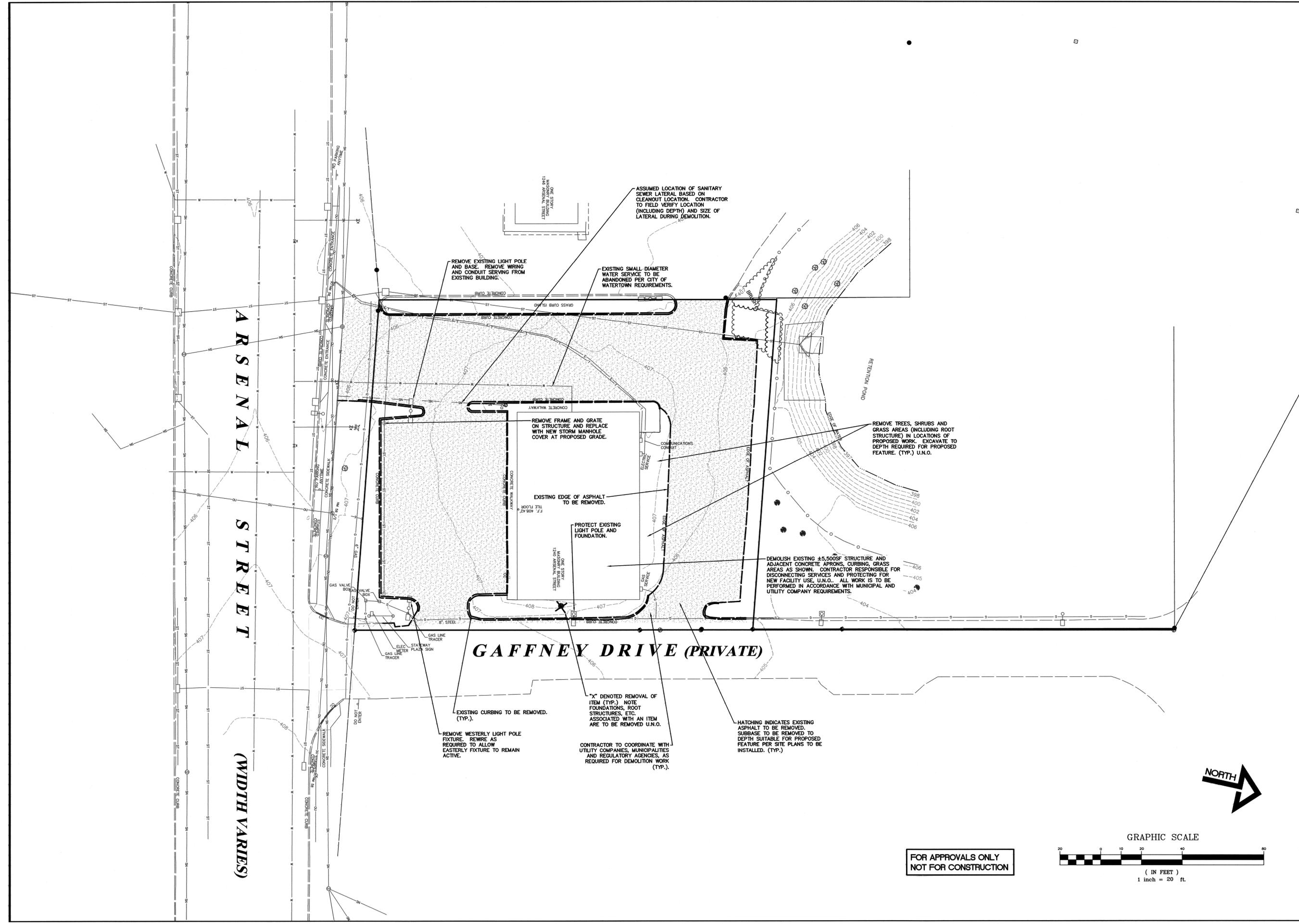


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A LICENSED PROFESSIONAL ENGINEER OR  
LAND SURVEYOR TO ALTER THIS  
DOCUMENT IN ANY MANNER. ALTERED  
SUCH LICENSEE SHALL AFTER HIS OR HER  
SEAL AND THE NOTATION "ALTERED BY"  
FOLLOWED BY HIS OR HER SIGNATURE,  
DATE AND A SPECIFIC DESCRIPTION OF  
ALTERATION.

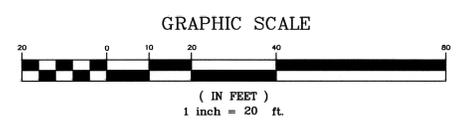
**EXISTING CONDITIONS/DEMO PLAN**  
**PROPOSED GOODYEAR AUTO SERVICE CENTER**  
**1240 ARSENAL STREET**  
**CITY OF WATERTOWN, NEW YORK**

Project No: 2014-274  
Scale: As Noted  
Date: 1/21/15  
Drawn By: RGC  
Designed By: RGC  
Checked By:  
Date Issued: 2/9/16  
Drwg. No.

**EX100**



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NOT FOR CONSTRUCTION



**ARSENAL STREET**  
**(WIDTH VARIES)**

**GAFFNEY DRIVE (PRIVATE)**

RETENTION POND

ASSUMED LOCATION OF SANITARY  
SEWER LATERAL BASED ON  
CLEANOUT LOCATION. CONTRACTOR  
TO FIELD VERIFY LOCATION  
(INCLUDING DEPTH) AND SIZE OF  
LATERAL DURING DEMOLITION.

REMOVE EXISTING LIGHT POLE  
AND BASE. REMOVE WIRING  
AND CONDUIT SERVING FROM  
EXISTING BUILDING.

EXISTING SMALL DIAMETER  
WATER SERVICE TO BE  
ABANDONED PER CITY OF  
WATERTOWN REQUIREMENTS.

REMOVE FRAME AND GRATE  
ON STRUCTURE AND REPLACE  
WITH NEW STORM MANHOLE  
COVER AT PROPOSED GRADE.

REMOVE TREES, SHRUBS AND  
GRASS AREAS (INCLUDING ROOT  
STRUCTURE) IN LOCATIONS OF  
PROPOSED WORK. EXCAVATE TO  
DEPTH REQUIRED FOR PROPOSED  
FEATURE. (TYP.) U.N.O.

EXISTING EDGE OF ASPHALT  
TO BE REMOVED.

PROTECT EXISTING  
LIGHT POLE AND  
FOUNDATION.

DEMOLISH EXISTING ±5,500SF STRUCTURE AND  
ADJACENT CONCRETE APRONS, CURBING, GRASS  
AREAS AS SHOWN. CONTRACTOR RESPONSIBLE FOR  
DISCONNECTING SERVICES AND PROTECTING FOR  
NEW FACILITY USE. U.N.O. ALL WORK IS TO BE  
PERFORMED IN ACCORDANCE WITH MUNICIPAL AND  
UTILITY COMPANY REQUIREMENTS.

EXISTING CURBING TO BE REMOVED.  
(TYP.)

"X" DENOTES REMOVAL OF  
ITEM (TYP.) NOTE  
FOUNDATIONS, ROOT  
STRUCTURES, ETC.  
ASSOCIATED WITH AN ITEM  
ARE TO BE REMOVED U.N.O.

HATCHING INDICATES EXISTING  
ASPHALT TO BE REMOVED.  
SUBBASE TO BE REMOVED TO  
DEPTH SUITABLE FOR PROPOSED  
FEATURE PER SITE PLANS TO BE  
INSTALLED. (TYP.)

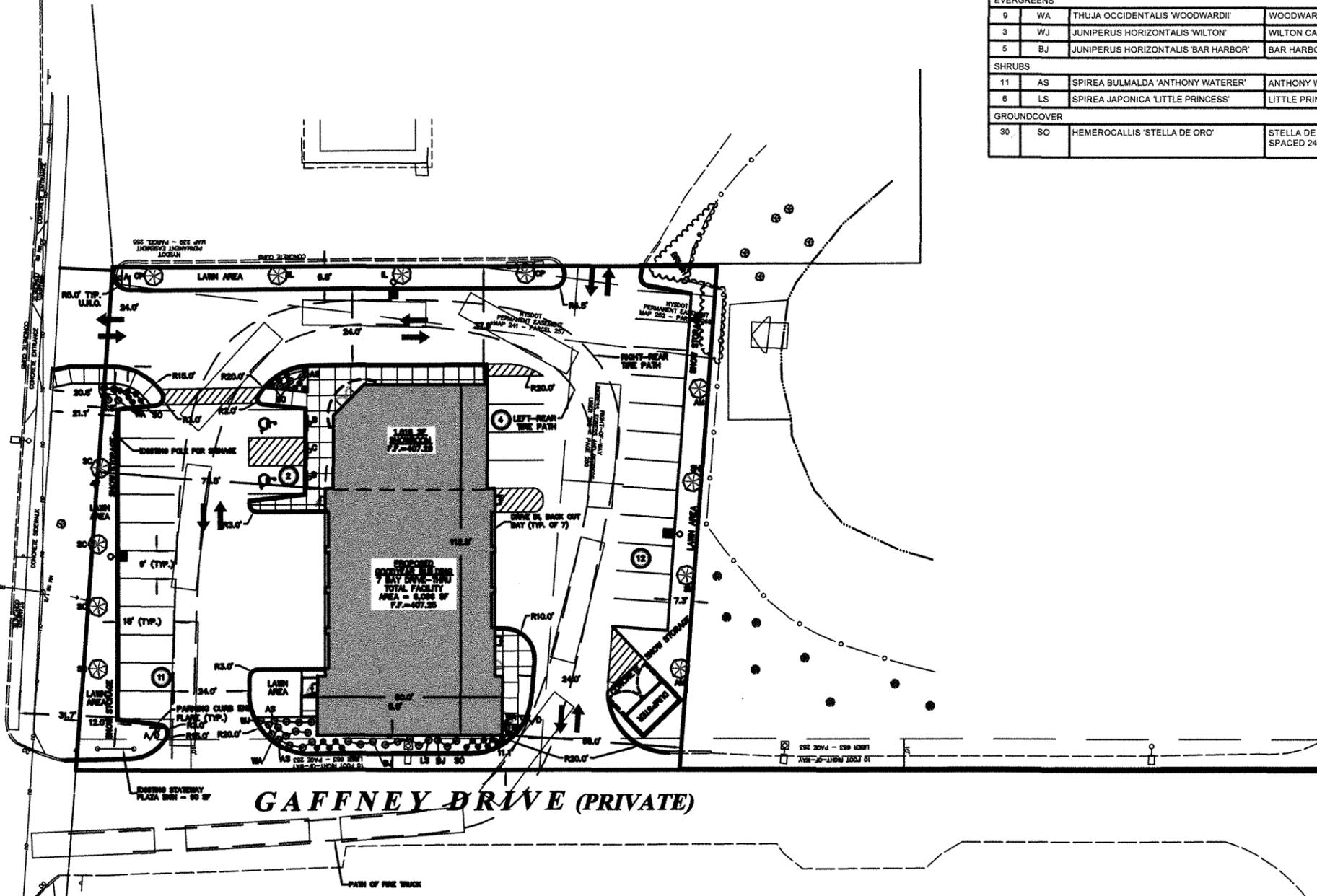
REMOVE WESTERLY LIGHT POLE  
FIXTURE. REMOVAL AS  
REQUIRED TO ALLOW  
EASTERLY FIXTURE TO REMAIN  
ACTIVE.

CONTRACTOR TO COORDINATE WITH  
UTILITY COMPANIES, MUNICIPALITIES  
AND REGULATORY AGENCIES, AS  
REQUIRED FOR DEMOLITION WORK  
(TYP.)

ARSENAL STREET

STREET

(WIDTH VARIES)



PLANNING DATA		
CURRENT ZONING CLASSIFICATION - COMMERCIAL		
USE: SERVICE CENTER		
TAX PARCEL NUMBERS: 9-03-101.001 & 116.100		
AREA AND BULK CALCULATIONS		
ITEM	REQUIRED/ALLOWED	PROPOSED
FRONT YARD SETBACK	35'	73.5'
SIDE YARD SETBACK	5'	11.1'
REAR YARD SETBACK	35'	85'
PARKING SPACES	5 SPACES / 1000 SF BUILDING + 1.00 SF OF RETAIL/FOOTCURE AREA = 5 SPACES / 1000 SF = 5 SPACES	28 SPACES

PLANT MATERIAL SCHEDULE				
QTY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
<b>TREES</b>				
2	AM	ACER x FREMANII 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE	2.5 CAL
2	CP	PYRUS CALLERYANA 'CLEVELAND SELECT'	'CLEVELAND' PEAR	2.5 CAL
2	SH	GLEDITSIA T.I. 'SHADEMASTER'	'SHADEMASTER' HONEYLOCUST	2.5 CAL
2	IL	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK LILAC	1.5 CAL
4	SC	MALUS 'SENTINEL'	SENTINEL CRABAPPLE	1.5 CAL
<b>EVERGREENS</b>				
9	WA	THUJA OCCIDENTALIS 'WOODWARDII'	'WOODWARDII' ARBORVITAE	24" B.B
3	WJ	JUNIPERUS HORIZONTALIS 'WILTON'	'WILTON CARPET' JUNIPER	3 GAL.
5	BJ	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	'BAR HARBOR' JUNIPER	2 GAL.
<b>SHRUBS</b>				
11	AS	SPIREA BULMALDA 'ANTHONY WATERER'	'ANTHONY WATERER' SPIREA	3 GAL.
6	LS	SPIREA JAPONICA 'LITTLE PRINCESS'	'LITTLE PRINCESS' SPIREA	3 GAL.
<b>GROUNDCOVER</b>				
30	SO	HEMEROCALLIS 'STELLA DE ORO'	'STELLA DE ORO' DAYLILY SPACED 24" O.C.	1 GAL.

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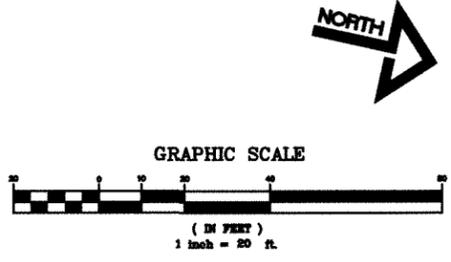
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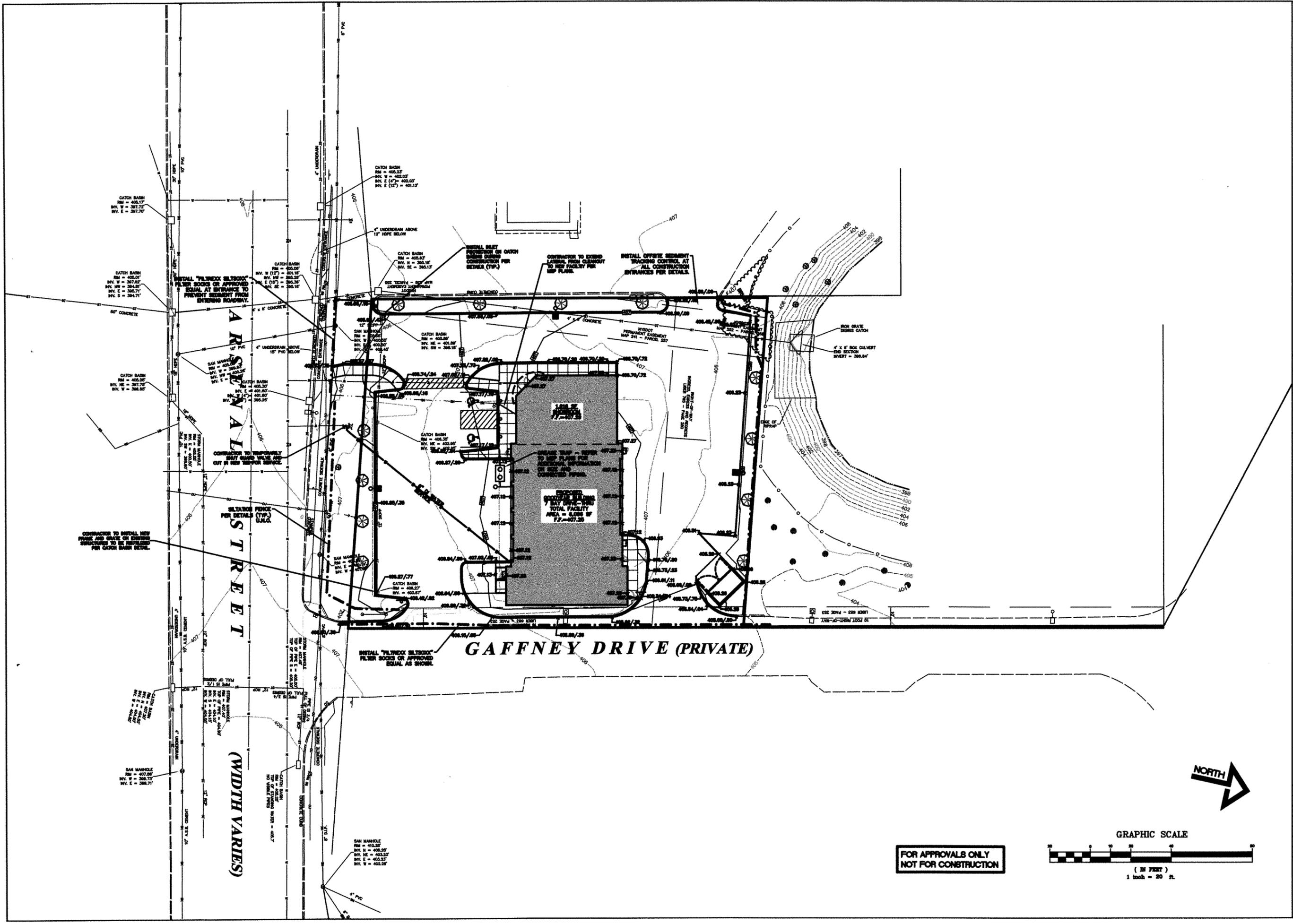
SITE AND LANDSCAPING PLAN  
PROPOSED GOODYEAR AUTO SERVICE CENTER  
1240 ARSENAL STREET  
CITY OF WATERTOWN, NEW YORK

Project No: 2014-274  
Scale: As Noted  
Date: 1/21/15  
Drawn By: RDC  
Designed By: RDC  
Checked By:  
Date Issued: 3/1/16  
Draw. No.

C101

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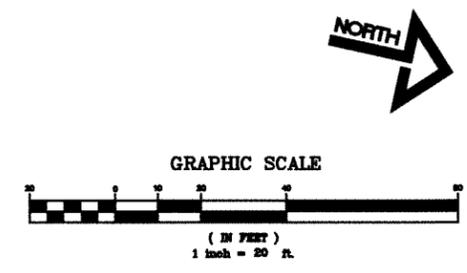
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**UTILITY AND GRADING PLAN**  
**PROPOSED GOODYEAR AUTO SERVICE CENTER**  
**1240 ARSENAL STREET**  
**CITY OF WATERTOWN, NEW YORK**

Project No:	2014-274
Scale:	As Noted
Date:	1/21/15
Drawn By:	RGC
Designed By:	RGC
Checked By:	
Date Issued:	3/1/16
Drawn No.	

**C102**

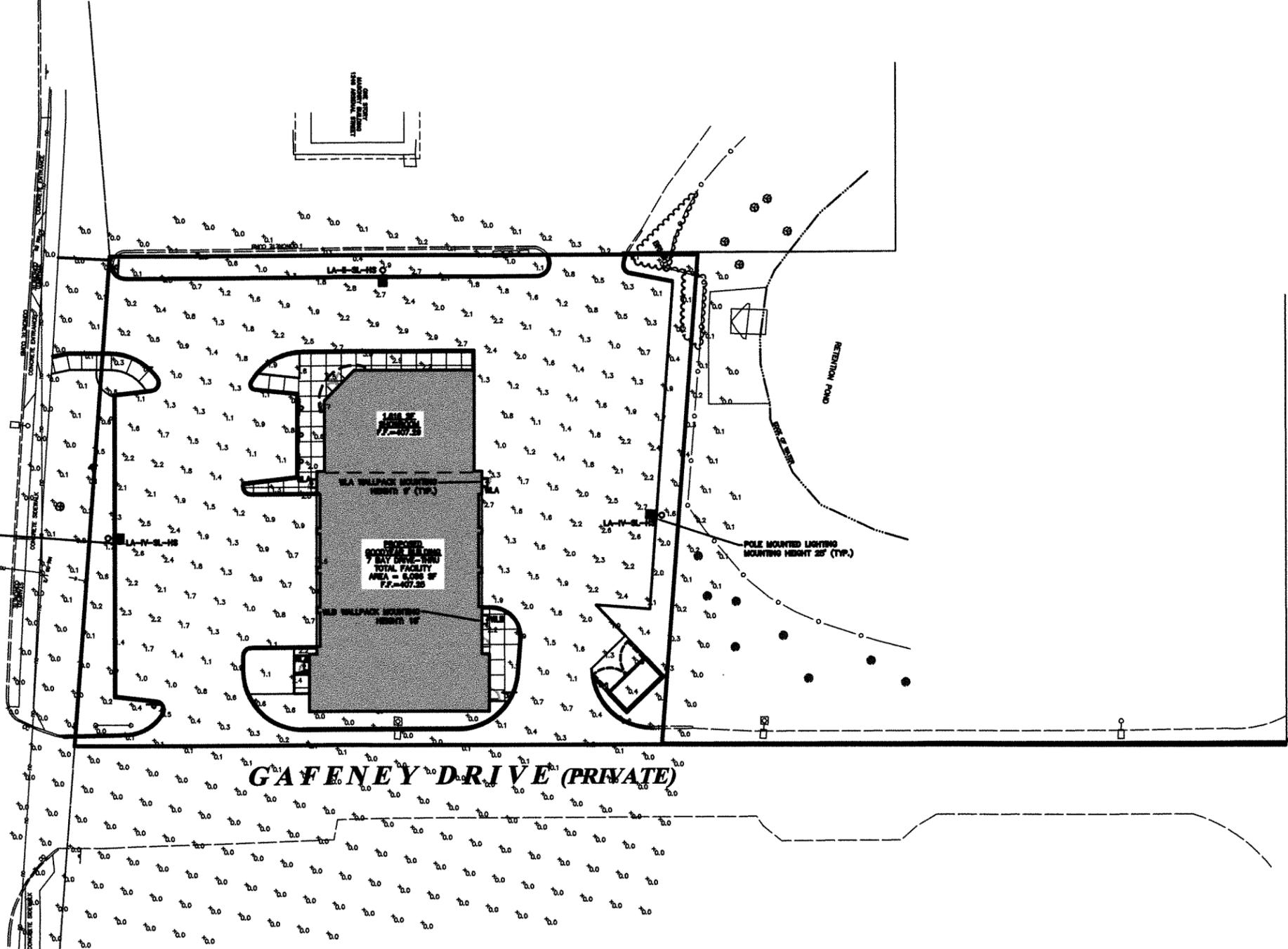
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ARSENAL STREET

STREET

(WIDTH VARIES)

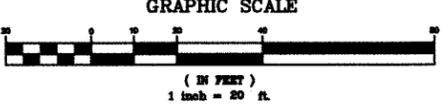


Symbol	Label	Qty	Arrangement	L/D	L/D <sub>0</sub>	BF	L/F	Lum. Watts	Am. Watts	Total Watts	Lum. Lumens	BUG Rating	Description
○	LA-II-SL-HS	1	SINGLE	0.920	0.950	1.000	0.874	157	157	157	12876	B1-UJ-G2	GLEON-AE-08-LED-E1-SL2-HSS
○	LA-IV-SL-HS	2	SINGLE	0.920	0.950	1.000	0.874	157	157	314	12715	B1-UJ-G3	GLEON-AE-08-LED-E1-SL4-HSS
○	WLA	3	SINGLE	0.920	0.950	1.000	0.874	74	74	222	736	B1-UJ-G0	XTORIA
○	WLB	1	SINGLE	0.920	0.950	1.000	0.874	247	247	247	2673	B1-UJ-G1	1ST-ED-LED-E1-BL4

Label	CalcType	Units	Avg	Max	Min	AvgMin	MaxMin
Calc%_1	Illuminance	Fc	0.71	3.3	0.0	N.A.	N.A.
Parking Lot Only	Illuminance	Fc	1.50	3.3	0.0	N.A.	N.A.

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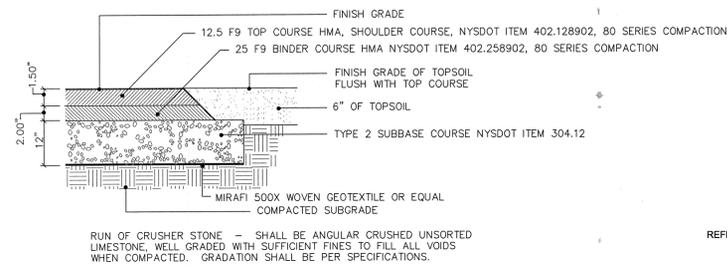
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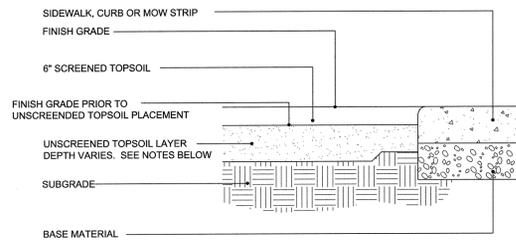
PHOTOMETRICS PLAN  
PROPOSED GOODYEAR AUTO SERVICE CENTER  
1240 ARSENAL STREET  
CITY OF WATERTOWN, NEW YORK

Project No: 2014-274  
Scale: As Noted  
Date: 1/21/15  
Drawn By: THR  
Designed By: ROC/THR  
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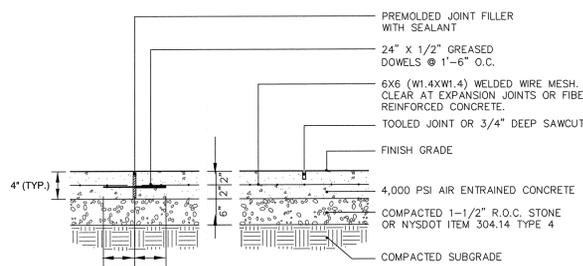
C103



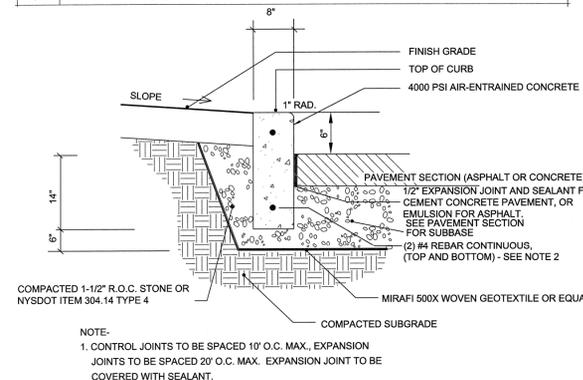
1 TYPICAL PAVEMENT DETAIL  
C501 NOT TO SCALE D153-01



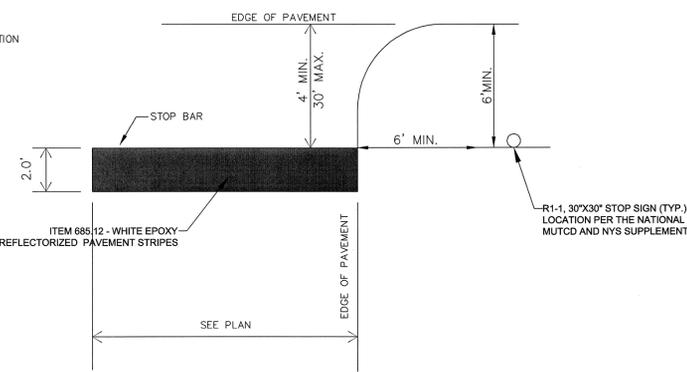
2 SOIL PROFILE - VARIOUS AREAS  
C501 NOT TO SCALE D132-02



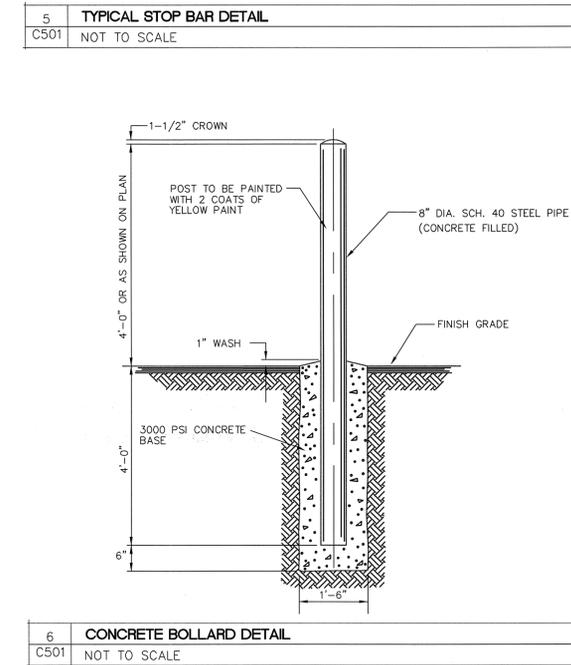
3 TYPICAL CONCRETE WALK SECTION  
C501 NOT TO SCALE D154-01



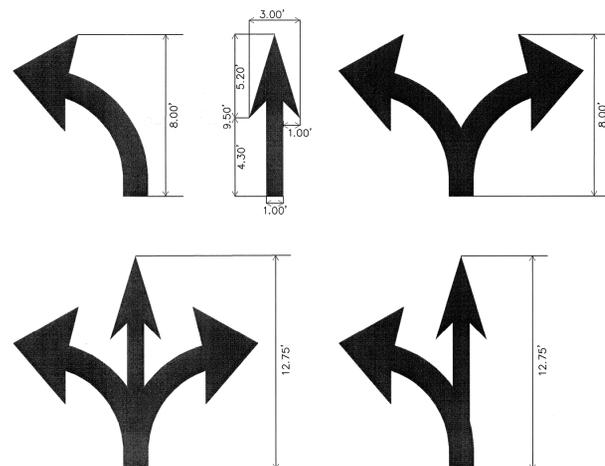
4 TYPICAL CAST-IN-PLACE CONCRETE CURB SECTION  
C501 NOT TO SCALE D151-01



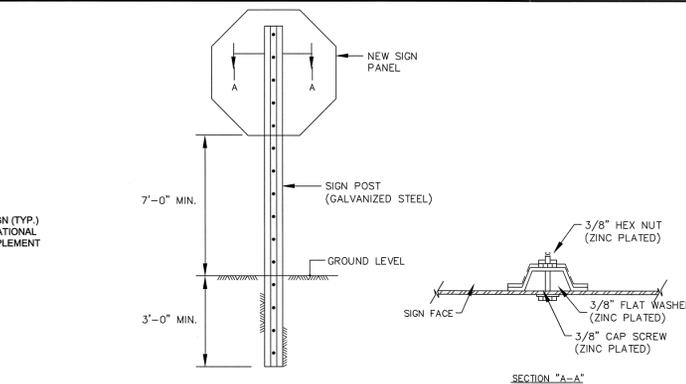
5 TYPICAL STOP BAR DETAIL  
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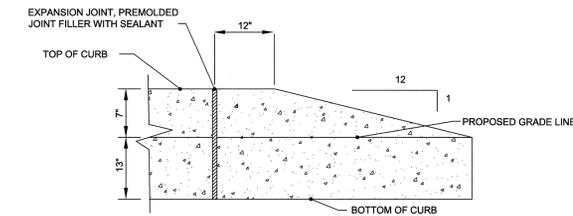
6 CONCRETE BOLLARD DETAIL  
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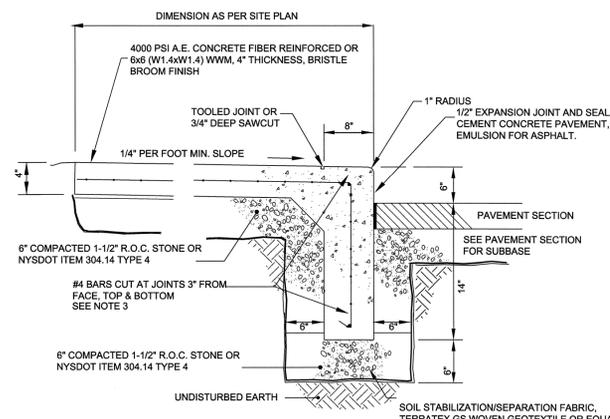
7 TYPICAL TRAFFIC FLOW ARROWS  
C501 NOT TO SCALE



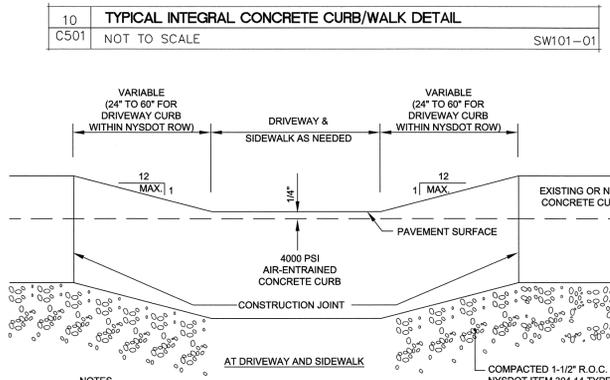
8 TYPICAL SIGN-IN-GROUND INSTALLATION DETAIL  
C501 NOT TO SCALE SW135-01



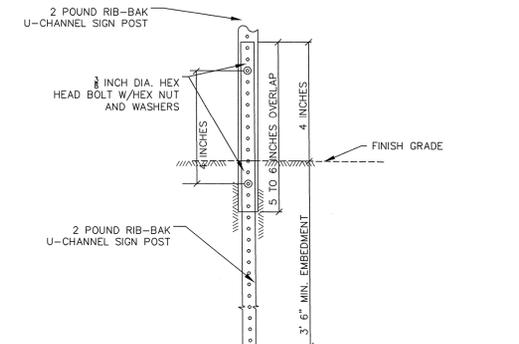
9 TYPICAL CURB TERMINAL  
C501 NOT TO SCALE D171-01



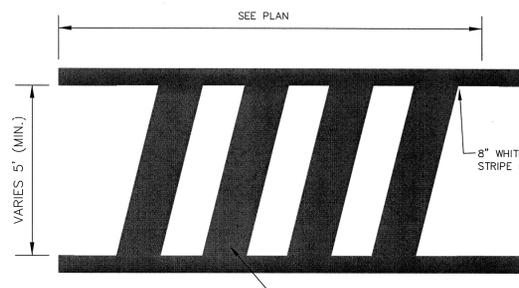
10 TYPICAL INTEGRAL CONCRETE CURB/WALK DETAIL  
C501 NOT TO SCALE SW101-01



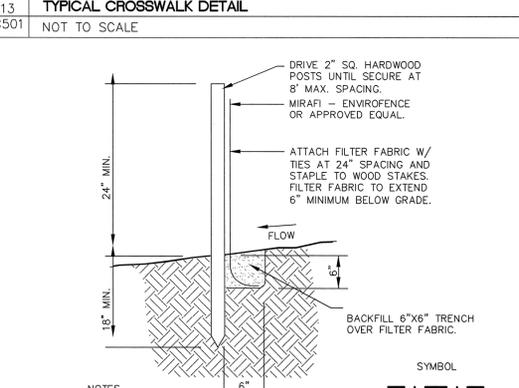
11 DEPRESSED CURB  
C501 NOT TO SCALE D145-02



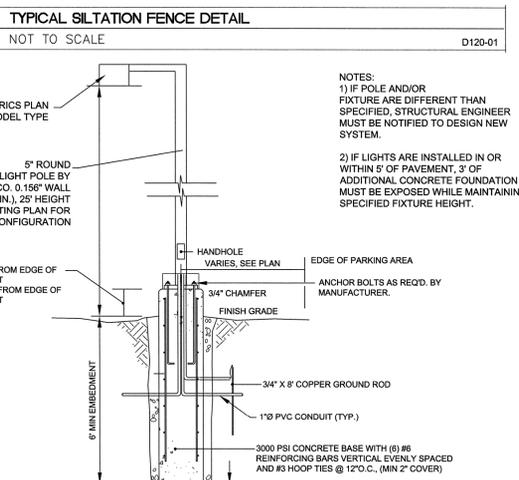
12 BREAK-AWAY SIGN POST DETAIL  
C501 NOT TO SCALE D135-01



13 TYPICAL CROSSWALK DETAIL  
C501 NOT TO SCALE



14 TYPICAL SILTATION FENCE DETAIL  
C501 NOT TO SCALE D120-01



15 TYPICAL LIGHT POLE BASE DETAIL  
C501 NOT TO SCALE

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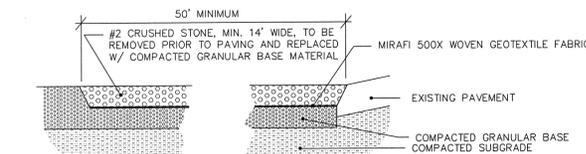
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SITE DETAILS

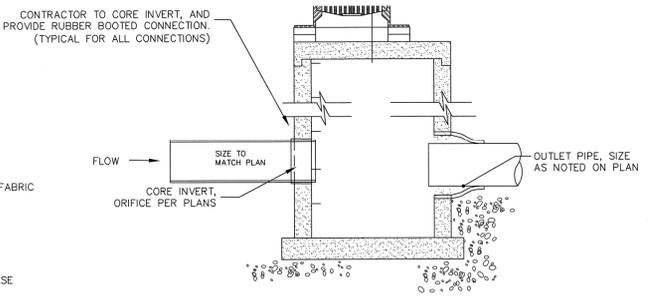
PROPOSED GOODYEAR AUTO SERVICE CENTER  
1240 ARSENAL STREET  
CITY OF WATERTOWN, NEW YORK

Project No: 2014-274  
Scale: As Noted  
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Drawn By: THR  
Designed By: RGC/THR  
Checked By:  
Date Issued: 2/9/2016  
Dwg. No.

**C501**



1 TYPICAL OFFSITE SEDIMENT TRACKING CONTROL (CONST. ENTRANCE)  
C502 NOT TO SCALE D163-01

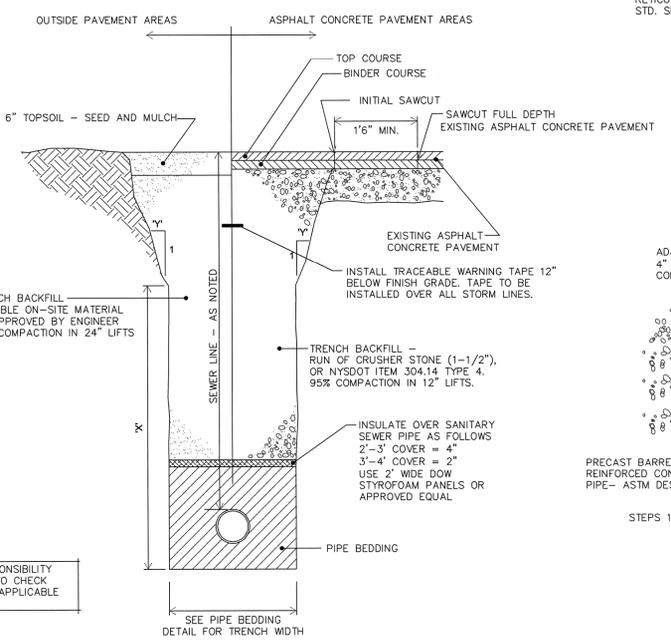


3 TYPICAL EXISTING STORM STRUCTURE CONNECTION DETAIL  
C502 NOT TO SCALE

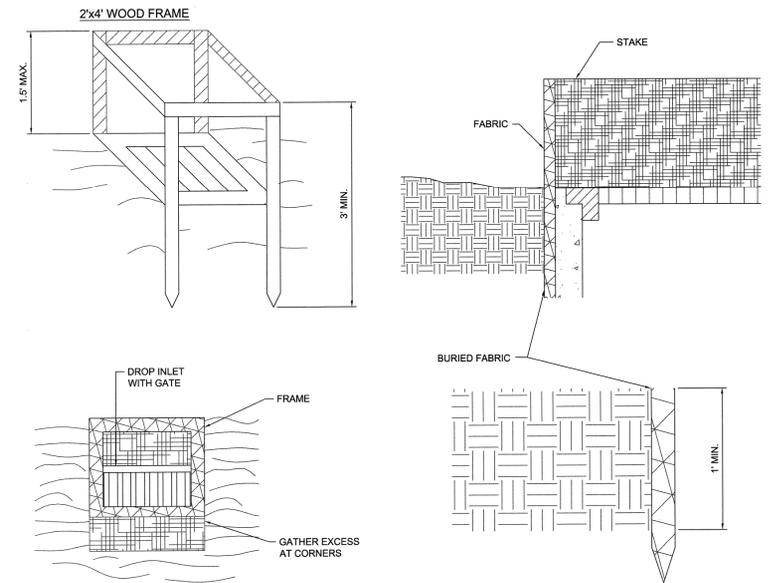
IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK AND COMPLY WITH ALL APPLICABLE SAFETY STANDARDS.

NOTES

- DIMENSIONS "X" AND "Y" SHOWN ABOVE SHALL BE DETERMINED BY CONTRACTOR TO COMPLY WITH O.S.H.A., NEW YORK STATE DEPARTMENT OF LABOR, NEW YORK STATE INDUSTRIAL CODE AND ALL OTHER APPLICABLE SAFETY STANDARDS.
- SAFETY SHEETING OR TRENCH BOX MAY BE USED IN PLACE OF SLOPED TRENCH WALLS.
- SHEETING, WHEN REQUIRED, TO BE CUT OFF AT LEAST 5 FEET BELOW STREET AND A MINIMUM OF 1 FOOT ABOVE TOP OF PIPE. WOOD SHEETING DRIVEN BELOW MID-DIAMETER OF THE PIPE SHALL BE LEFT IN PLACE. STEEL SHEETING DRIVEN BELOW MID-DIAMETER MAY BE WITHDRAWN IF APPROVED IN WRITING BY THE ENGINEER. FOR PVC PIPE ALL SHEETING DRIVEN BELOW MID-DIAMETER SHALL BE LEFT IN PLACE.
- TRENCHES LOCATED ON ROAD SHOULDERS SHALL BE TREATED THE SAME AS UNDER PAVMT.
- CONTRACTOR MAY USE NATIVE MATERIAL AS BACKFILL IF APPROVED BY ENGINEER.

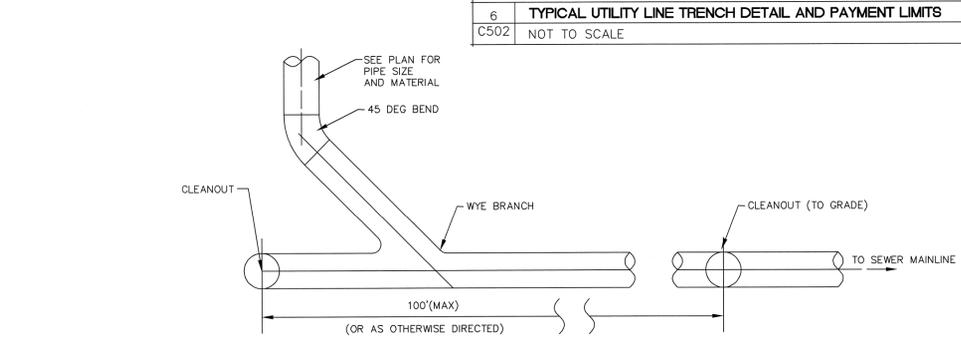


7 TYPICAL CATCH BASIN DETAIL (CB)  
C502 NOT TO SCALE D102-01

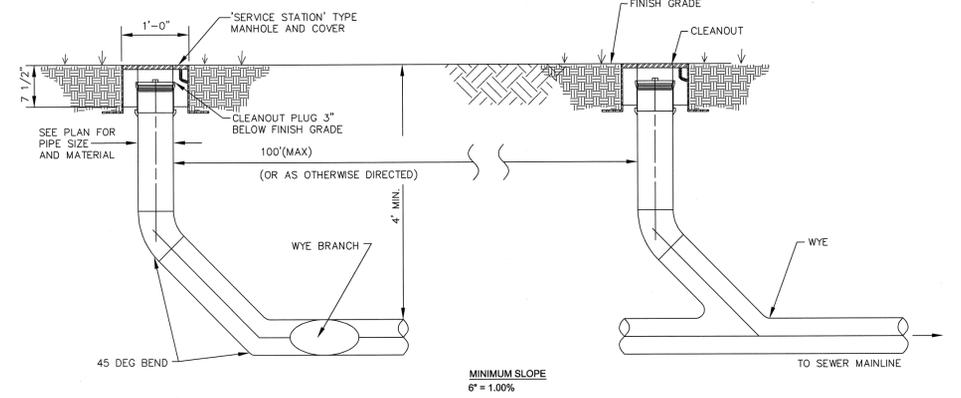


- CONSTRUCTION SPECIFICATIONS**
- FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
  - CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
  - STAKE MATERIALS WILL BE STANDARD 2"x4" WOOD OR EQUIVALENT. METAL WITH A MINIMUM LENGTH OF 3 FEET.
  - SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
  - FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
  - A 2"x4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.
- MAXIMUM DRAINAGE AREA 1 ACRE.

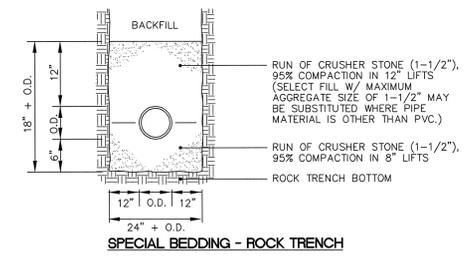
2 FILTER FABRIC DROP INLET PROTECTION DETAIL  
C502 NOT TO SCALE



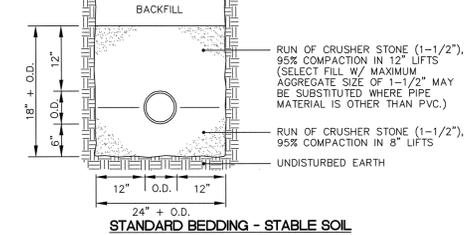
5 PLAN - TYPICAL SEWER LATERAL DETAIL  
C502 NOT TO SCALE D163-01



4 TYPICAL SEWER LATERAL DETAIL  
C502 NOT TO SCALE D163-01



8 TYPICAL PIPE BEDDING DETAILS AND PAYMENT LIMITS  
C502 NOT TO SCALE U102-01



8 TYPICAL PIPE BEDDING DETAILS AND PAYMENT LIMITS  
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**SITE DETAILS**

**PROPOSED GOODYEAR AUTO SERVICE CENTER**

**1240 ARSENAL STREET**

**CITY OF WATERTOWN, NEW YORK**

Project No: 2014-274  
Scale: As Noted  
Date: 2/4/2016  
Drawn By: THR  
Designed By: RGC/THR  
Checked By:  
Date Issued: 2/9/2016  
Drwg. No.

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**C502**

## TREE PLANTING NOTES:

THESE NOTES ARE PRESENTED AS A SUMMARY OF THE WRITTEN SPECIFICATIONS ISSUED FOR THE PROJECT. REFER TO THE WRITTEN SPECIFICATIONS FOR ADDITIONAL DETAIL AND FULL PROJECT REQUIREMENTS.

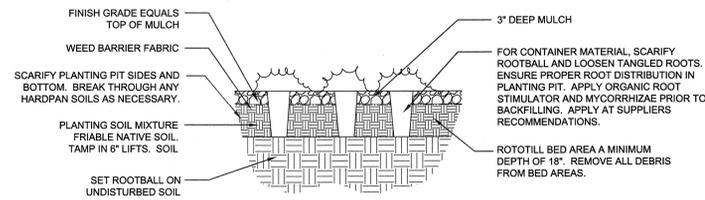
- ANY QUANTITIES INDICATED ON THE DRAWINGS OR ON THE TREE MATERIAL SCHEDULE ARE PROVIDED FOR THE BENEFIT OF THE LANDSCAPE SUBCONTRACTOR BUT SHOULD NOT BE ASSUMED TO BE CORRECT. THE LANDSCAPE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE QUANTITIES INDICATED. ANY DISCREPANCIES NOTED SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO INSTALLATION. IN THE EVENT OF A DISCREPANCY, THE GRAPHIC REPRESENTATIONS SHOWN ON THE DRAWINGS SHALL GOVERN.
- NO SUBSTITUTIONS AS TO SIZE, TYPE, SPACING, QUANTITY OR QUALITY OF TREE MATERIAL SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER. CHANGES IN TREE MATERIAL MAY CONSTITUTE PLAN RE-APPROVAL.
- TREES SHALL BE SUPPLIED AT THE SIZES SPECIFIED ON THE DRAWINGS. THE SIZES SHOWN ARE THE MINIMUMS FOR EACH CATEGORY (HEIGHT, SPREAD, CALIPER, CONTAINER SIZE, ETC.) WHEN A RANGE OF SIZE IS GIVEN, 75% OF THE PLANTS SUPPLIED MUST MEET THE MAXIMUM RANGE SIZE, AND 25% OF THE PLANTS SUPPLIED SHALL BE THE MINIMUM RANGE SIZE SPECIFIED. THE PLANTS SUPPLIED MUST CONFORM TO ALL OF THE MINIMUM DIMENSIONS INDICATED. PLANTS OF LARGER SIZE MAY BE USED IF ACCEPTABLE TO THE ENGINEER AT NO ADDITIONAL COST AND IF SIZES OF CONTAINER OR ROOT BALLS, HEIGHT, AND SPREAD ARE INCREASED PROPORTIONATELY IN ACCORDANCE WITH ANSI Z60.1. ALL OTHER QUALITY REQUIREMENTS OF THE TREE MATERIAL MUST ALSO BE ADHERED.
- ALL TREES MUST BE NURSERY GROWN, BALL AND BURLAP (B&B) OR CONTAINER GROWN AS SPECIFIED IN THE MATERIALS SCHEDULE. CONTAINER GROWN MATERIAL CAN BE SUBSTITUTED FOR B&B MATERIAL WITH WRITTEN APPROVAL BY THE D/B CONTRACTOR PRIOR TO INSTALLATION. ALL TREE MATERIALS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z-60.1, LATEST EDITION. ALL TREES SHALL COMPLY WITH ANSI Z-60.1 AND THE URBAN TREE FOUNDATION GUIDELINE FOR NURSERY TREE QUALITY, 2009 EDITION. ALL TREES SHALL BE HIGHEST QUALITY, FIRST CLASS REPRESENTATIVES OF THEIR SPECIES. SECONDS, CULLS, OR PARK GRADE MATERIAL WILL BE REJECTED.
- CALIPER SIZE IS NOT TO BE REDUCED. CALIPER MEASUREMENTS SHALL BE TAKEN IN ACCORDANCE WITH ANSI STANDARDS.
- ALL TREES MUST BE STRAIGHT TRUNK, HAVE A STRONG CENTRAL LEADER, FULL HEADED, AND MEET THE MINIMUM REQUIREMENTS. TREES WITH A "Y" SHAPE ARE NOT ACCEPTABLE. TREES THAT HAVE BEEN FRESHLY PRUNED TO MEET THESE SPECIFICATIONS SHALL BE REJECTED.
- THE TREE VEGETATIVE CANOPY SHOULD BE MOSTLY SYMMETRICAL AND FREE OF LARGE VOIDS OR FLAT SURFACE AREAS ON ONE SIDE.
- ALL STREET AND SHADE TREES SHALL HAVE A MINIMUM SIX FEET (6') CLEAR TRUNK UNLESS OTHERWISE NOTED ON PLANS OR PLANT LISTS.
- TREES MOVED DURING PERIODS OF HIGH TRANSPIRATION SHALL BE SPRAYED WITH AN ANTI-DESSICANT PRIOR TO MOVING. APPLY AND REMOVE ANTI-DESSICANTS AT THE MANUFACTURER'S RECOMMENDATIONS.
- TREES SHALL BE STAKED AND GUYED AS DETAILED AND SPECIFIED. STAKE AND GUYED MATERIALS SHALL BE REMOVED BY THE LANDSCAPE SUBCONTRACTOR SIX (6) MONTHS AFTER FINAL ACCEPTANCE.
- ALL TREES ARE SUBJECT TO REVIEW AND APPROVAL BY THE ENGINEER AT ANY TIME PRIOR TO FINAL ACCEPTANCE. REJECTED PLANTS SHALL BE REPLACED IMMEDIATELY AT NO ADDITIONAL COST.
- THE LANDSCAPE SUBCONTRACTOR SHALL FIELD STAKE ALL TREES PRIOR TO INSTALLATION. THE OWNER'S REPRESENTATIVE SHALL APPROVE ALL STAKED LOCATIONS PRIOR TO INSTALLATION. PLANTS INSTALLED PRIOR TO APPROVAL BY THE OWNER'S REPRESENTATIVE ARE SUBJECT TO REJECTION AND REPLACEMENT AT NO ADDITIONAL COST TO THE OWNER.
- PRIOR TO COMMENCEMENT OF INSTALLATION, THE LANDSCAPE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES AND SHALL AVOID DAMAGING UTILITIES DURING INSTALLATION. ANY UTILITIES DAMAGED DURING INSTALLATION SHALL BE REPAIRED BY THE LANDSCAPE SUBCONTRACTOR TO THE SATISFACTION OF THE APPROPRIATE UTILITY COMPANY AND THE ENGINEER. ALL REPAIRS SHALL BE AT NO COST TO THE OWNER.
- NO TREES SHALL BE PLANTED WITHIN 5' OF SITE UTILITY LINES. TREE LOCATIONS PROPOSED WITHIN 5' SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT LANDSCAPE ARCHITECT PRIOR TO EXCAVATING. FIELD ADJUSTMENT OF TREE LOCATIONS SHALL BE DETERMINED BY THE PROJECT LANDSCAPE ARCHITECT. PLANTS RELOCATED AND INSTALLED WITHOUT APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT WILL BE REMOVED, REPLACED, AND RELOCATED AT NO ADDITIONAL COST.
- THE LANDSCAPE CONTRACTOR SHALL UTILIZE ON-SITE TOPSOIL AS AVAILABLE FROM THE EARTHWORK SUBCONTRACTOR. ALL TOPSOIL SHALL BE APPROVED BY THE ENGINEER.
- NO TREES SHALL BE INSTALLED IN POOR DRAINAGE CONDITIONS. LANDSCAPE SUBCONTRACTOR IS RESPONSIBLE FOR TESTING SUSPECT TREE PITS PRIOR TO TREE INSTALLATION. REFER TO THE LANDSCAPE SPECIFICATIONS FOR TREE PIT TESTING PROCEDURES.
- ALL TREES SHALL BE PLACED WITH THE BEST FACE FORWARD, TOWARDS THE STREET WHENEVER POSSIBLE.
- ALL TREES SHOULD BE PRUNED AS NECESSARY PRIOR TO INSTALLATION.
- PRE-EMERGENT HERBICIDES, TRIFLORAL, PREEN, OR APPROVED EQUAL, SHALL BE APPLIED TO ALL TREE PLANTING BEDS PRIOR TO MULCHING. APPLY AT MANUFACTURER'S RECOMMENDATIONS. HERBICIDES SHALL BE INCORPORATED INTO THE SOIL AT THE RECOMMENDATION OF THE MANUFACTURER.
- APPLY ORGANIC ROOT STIMULATOR, CONTINUING MYCORRHIZAE, TO ALL TREES PRIOR TO BACKFILLING. APPLY AT MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR TO SUBMIT SAMPLES OF ROOT STIMULATOR TO THE ENGINEER FOR APPROVAL PRIOR TO USE.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE PLANT INSTALLATIONS UNTIL ACCEPTED BY THE OWNER. MAINTENANCE SHALL INCLUDE RE-MULCHING, WATERING, APPLICATIONS OF HERBICIDES, FUNGICIDES, INSECTICIDES AND PESTICIDES AS NECESSARY. MAINTENANCE SHALL INCLUDE ALL TREES, SEEDING AREAS AND SOD.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE THAT ALL TREES SHALL BE IN A HEALTHY AND THRIVING CONDITION ACCORDING TO THE NATURAL GROWTH HABITS OF THE INDIVIDUAL SPECIES AT THE TIME OF THE PROJECT COMPLETION.

## LANDSCAPE SEED NOTES:

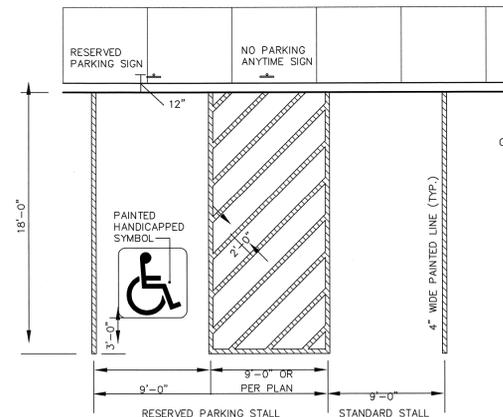
- SCARIFY, LOOSEN, FLOAT AND DRAG THE UPPER FOUR INCHES (4") OF SOIL TO BRING IT TO PROPER CONDITION AND GRADE PRIOR TO SEEDING / SODDING. REMOVE STONES LARGER THAN ONE INCH (1"), STICKS, ROOTS, RUBBISH, ETC. FINISHED GRADE SHALL BE LOOSE AND FREE DRAINING PRIOR TO SEEDING / SODDING.
- STRIP EXISTING GRASS AND WEEDS, INCLUDING ROOTS, PRIOR TO SEEDING. APPLY HERBICIDES AS NECESSARY TO SPOT TREAT UNWANTED SPECIES.
- INSTALL SEED PER THE WRITTEN SPECIFICATIONS. LANDSCAPE SUBCONTRACTOR MUST ADJUST APPLICATION RATES TO PURE LIVE SEED RATES AS INDICATED.
- ALL SEEDING AREAS MUST BE MAINTAINED BY THE LANDSCAPE SUBCONTRACTOR UNTIL ACCEPTANCE BY THE DESIGN BUILD CONTRACTOR.

## MULCH:

- ALL MULCHED AREAS SHALL BE SHREDDED HARDWOOD MULCH.

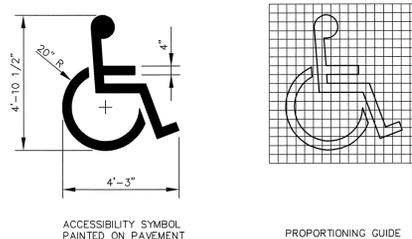


4 PLANTING BED DETAIL  
C503 NOT TO SCALE



- NOTES
- MAX. PAVEMENT SLOPE TO BE 2% (1:50) IN ANY DIRECTION, FOR HANDICAP AREAS.

5 TYPICAL PARKING STALL MARKINGS  
C503 NOT TO SCALE SW136-01

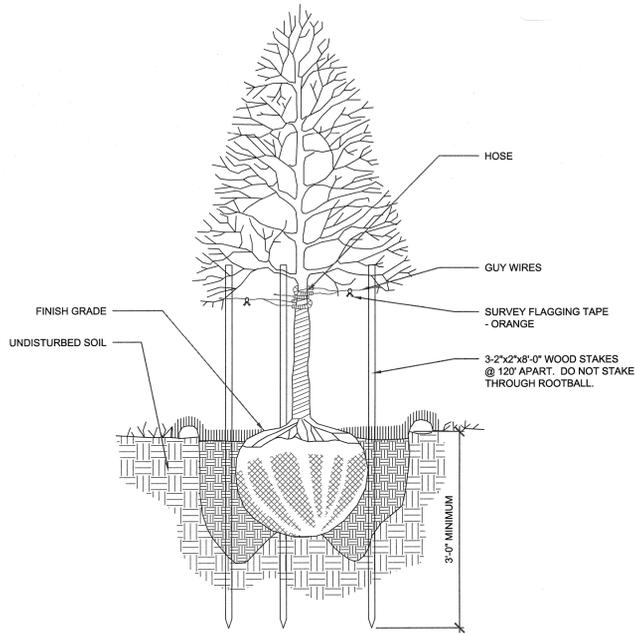


6 TYPICAL HANDICAP SYMBOL DETAIL  
C503 NOT TO SCALE D156-01

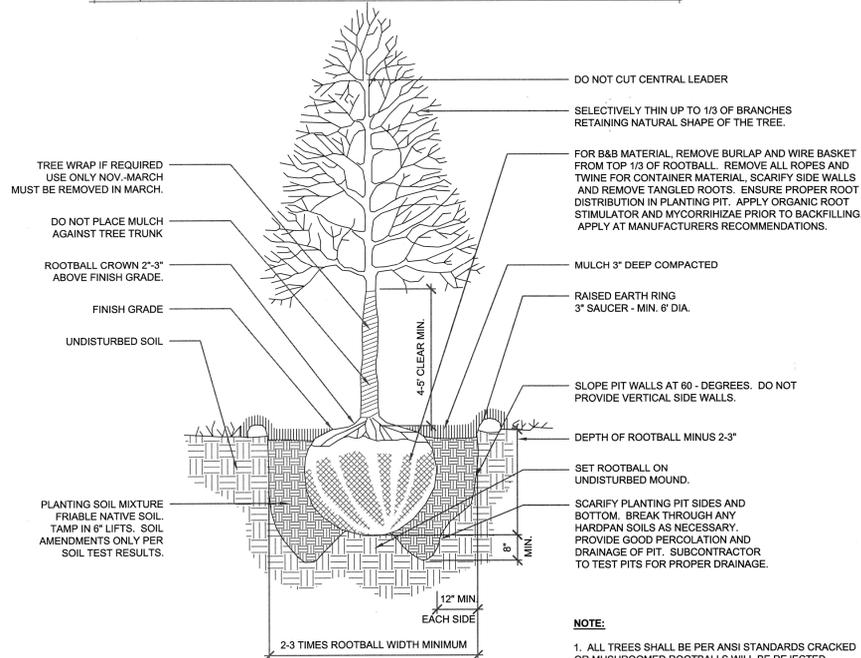
## SUPPLEMENTARY GOODYEAR NOTES:

- CONTRACTOR SHALL PERFORM ALL LANDSCAPE FINE GRADING, SEEDING, PLANTING AND RELATED WORK AS INDICATED IN THE PLANS AND SPECIFICATIONS.
- ALL AREAS WITHIN GOODYEAR'S PROPERTY SHALL RECEIVE SHRUBBERY, GROUND COVER OR LAWN. ANY AREA ON THE PLANTING PLAN WHICH DOES NOT IDENTIFY A SPECIFIC PLANT AND ANY OTHER AREAS DISTURBED DURING CONSTRUCTION SHALL BE SEED BY THE CONTRACTOR AS PART OF HIS BASE PRICE. THIS INCLUDES AREAS OUTSIDE GOODYEAR'S PROPERTY LINES UNLESS IN THE CASE OF AN OTHER MAINTENANCE AGREEMENT WITH CITY.
- LANDSCAPE CONTRACTORS SHALL BE PREPARED TO PERFORM SOME SITE CLEAN UP PRIOR TO THEIR FINAL LANDSCAPING.
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE BY THE GOODYEAR REAL ESTATE MANAGER. IF AREAS ARE NOT COMPLETE AT THAT TIME THE WARRANTY PERIOD SHALL NOT START UNTIL RECEIVING GOODYEAR REAL ESTATE ACCEPTANCE. CONTRACTOR SHALL EXPECT THAT MINIMAL OR NO MAINTENANCE WILL OCCUR AND HE SHOULD PRICE HIS BID ACCORDINGLY.
- ALL LAWN AREAS SHALL BE MULCHED IMMEDIATELY AFTER SEED IS SPREAD WITH MULCH AS SPECIFIED.
- ALL SEED AREAS ARE TO BE KEPT ADEQUATELY MOIST ESPECIALLY DURING THE GROWING SEASON. CONTRACTOR IS RESPONSIBLE FOR IRRIGATION UNTIL PROJECT ACCEPTANCE.
- ACCEPTABLE LAWNS SHALL HAVE A CLOSE STAND OF GRASS. BARE SPOTS SHALL NOT EXCEED 2" IN DIAMETER NOR EXCEED 1 IN EVERY 24"x24" SECTION.
- MOW GRASS WHEN ITS GROWTH HAS REACHED 4". CONTRACTORS SHALL PROVIDE AT LEAST ONE MOWING OR AS OFTEN AS NEEDED PRIOR TO GOODYEAR REAL ESTATE ACCEPTANCE.
- PLANTS LEFT AT THE SITE MORE THEN ONE NIGHT WITHOUT BEING PLANTED SHALL BE HEALED-IN WITH MULCH OR PLANT MIX.

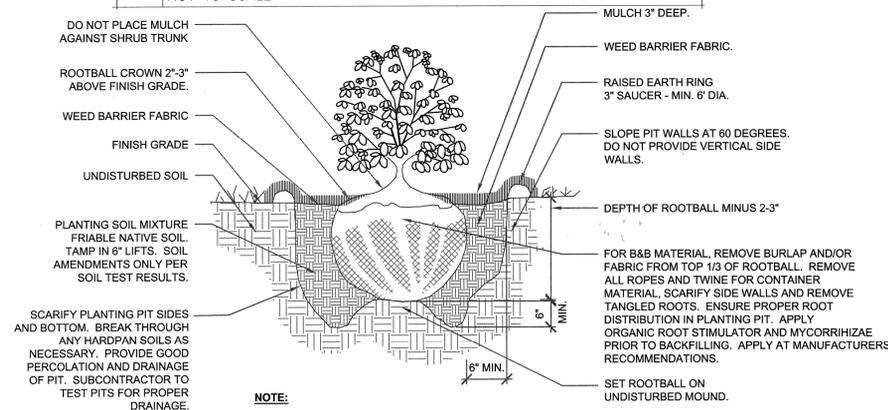
FOR APPROVALS ONLY  
NOT FOR CONSTRUCTION



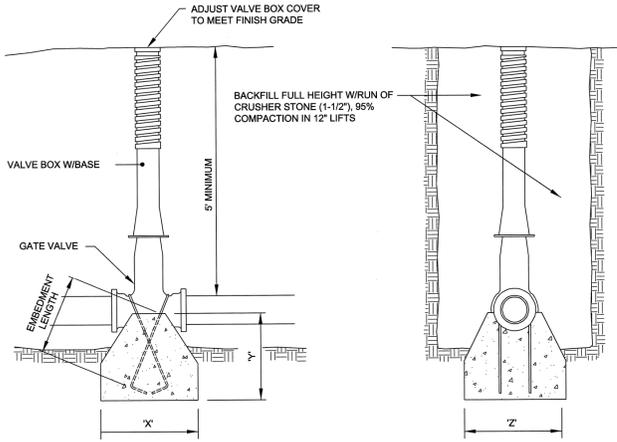
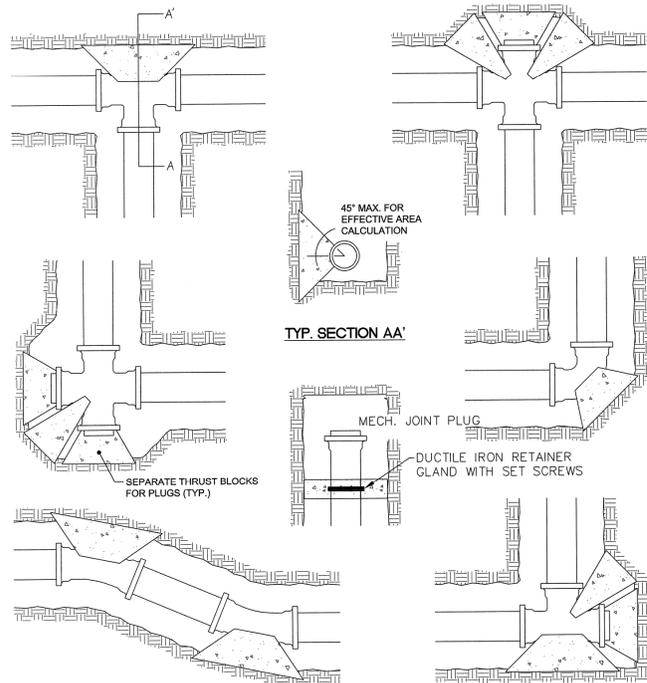
1 TREE STAKING DETAIL  
C503 NOT TO SCALE



2 TREE PLANTING DETAIL  
C503 NOT TO SCALE



3 SHRUB PLANTING DETAIL  
C503 NOT TO SCALE



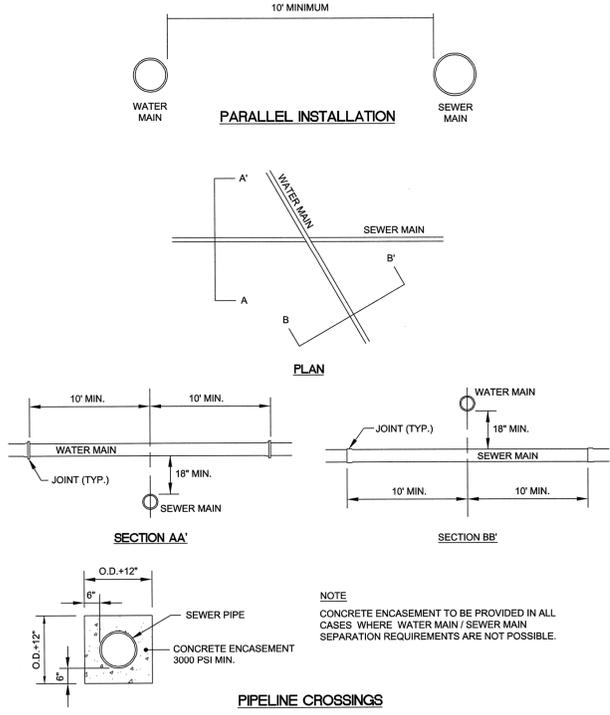
**VALVE ANCHOR SCHEDULE**

150 P.S.I. HYDROSTATIC PRESSURE AGAINST UNDISTURBED SOIL AT 2000 P.S.F. BRNG. CAPACITY

NOMINAL PIPE SIZE	MINIMUM REQUIRED DIMENSIONS			ANCHOR ROD Ø	EMBED. LENGTH
	X'	Y'	Z'		
2"	1'-3"	1'-3"	1'-3"	3/8"	1'-2"
3"	1'-3"	1'-3"	1'-3"	3/8"	1'-2"
4"	1'-3"	1'-3"	1'-3"	3/8"	1'-2"
6"	1'-6"	1'-6"	1'-6"	1/2"	1'-6"
8"	1'-6"	2'-3"	2'-3"	5/8"	2'-0"
10"	1'-8"	2'-8"	2'-8"	3/4"	2'-3"
12"	1'-9"	3'-4"	3'-4"	7/8"	2'-8"
14"	2'-0"	3'-8"	3'-8"	1"	3'-0"
16"	2'-3"	4'-3"	4'-3"	1-1/8"	3'-6"
18"	2'-6"	4'-8"	4'-8"	1-1/4"	3'-10"

NOTES:  
 1. THRUST BLOCK CONCRETE TO BE 3000 PSI MINIMUM.  
 2. FOR SOIL BEARING CAPACITIES LESS THAN 2000 PSF OR WHERE SOIL HAS BEEN DISTURBED, THE ABOVE TABLE DOES NOT APPLY.

3 TYPICAL GATE VALVE DETAIL  
 C504 NOT TO SCALE D129-01



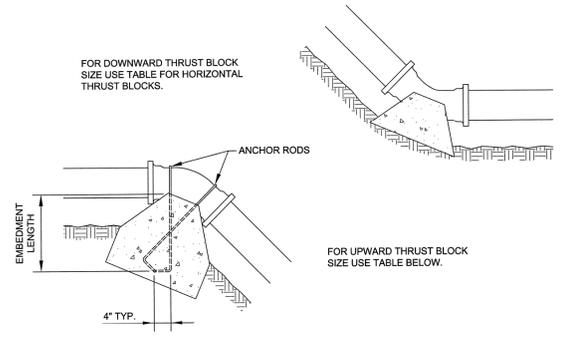
5 TYPICAL SEWER AND WATER MAIN SEPARATION DETAILS  
 C504 NOT TO SCALE D127-01

**ANCHOR SCHEDULE**

NOMINAL PIPE SIZE	150 P.S.I. HYDROSTATIC PRESSURE AGAINST UNDISTURBED SOIL AT 2000 P.S.F. BRNG. CAPACITY					150 P.S.I. HYDROSTATIC PRESS. AGAINST ROCK TRENCH, 10000 P.S.F. BRNG. CAPACITY DESIGN BASIS				
	MINIMUM REQUIRED BEARING AREA IN SQ. FT.					MINIMUM REQUIRED BEARING AREA IN SQ. FT.				
	11-1/4\"/>									
4"	1.0	1.0	1.0	1.9	1.4	1.0	1.0	1.0	1.0	1.0
6"	1.0	1.1	2.1	4.0	2.8	1.0	1.0	1.0	1.0	1.0
8"	1.0	1.9	3.7	6.8	4.8	1.0	1.0	1.0	1.4	1.0
10"	1.4	2.8	5.6	10.3	7.3	1.0	1.0	1.1	2.1	1.5
12"	2.0	4.0	7.9	14.5	10.3	1.0	1.8	1.6	2.9	2.1
14"	2.7	5.4	10.6	19.5	13.8	1.0	1.1	2.1	3.9	2.8
16"	3.5	7.0	13.6	25.2	17.6	1.0	1.4	2.7	5.0	3.6
18"	4.4	8.7	17.1	31.7	22.4	1.0	1.7	3.4	6.3	4.5
20"	5.4	10.7	21.0	38.9	27.5	1.1	2.1	4.2	7.8	5.5
24"	7.7	15.3	30.0	55.5	39.2	1.5	3.1	6.0	11.1	7.8

1. THRUST BLOCKS TO BE 3000 PSI CONCRETE MINIMUM.  
 2. FOR SOIL BEARING CAPACITIES LESS THAN 2000 PSI OR WHERE SOIL HAS BEEN DISTURBED, THE ABOVE TABLE DOES NOT APPLY.  
 3. WHERE TOP OF PIPE LIES BELOW TOP OF ROCK TRENCH, BEARING AREAS AGAINST ROCK TRENCH TABLE MAY BE USED.  
 4. POLYETHYLENE BARRIER TO BE PROVIDED BETWEEN PIPE AND THRUST BLOCK.

1 TYPICAL HORIZONTAL THRUST BLOCK DETAILS  
 C504 NOT TO SCALE D124-01

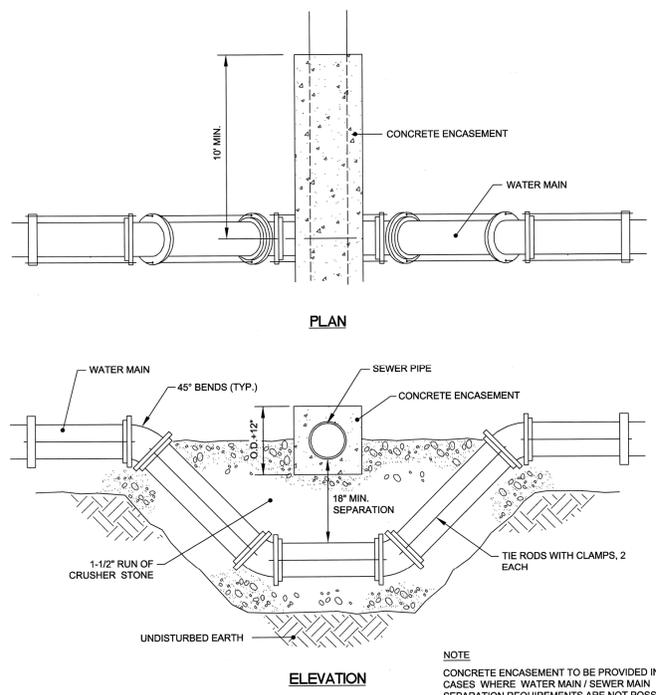


**ANCHOR SCHEDULE**

NOMINAL PIPE SIZE	11-1/4\"/>								
	4"	0.2	3/8"	1'-2"	0.4	3/8"	1'-2"	0.6	3/8"
6"	0.4	3/8"	1'-2"	0.7	3/8"	1'-2"	1.3	3/8"	1'-2"
8"	0.6	3/8"	1'-2"	1.2	3/8"	1'-2"	2.3	3/8"	1'-2"
10"	0.9	3/8"	1'-2"	1.7	3/8"	1'-2"	3.4	1/2"	1'-6"
12"	1.3	3/8"	1'-2"	2.5	1/2"	1'-6"	4.8	5/8"	2'-0"
14"	1.7	3/8"	1'-2"	3.3	1/2"	1'-6"	6.5	5/8"	2'-0"
16"	2.2	3/8"	1'-2"	4.3	1/2"	1'-6"	8.4	3/4"	2'-3"
18"	2.7	1/2"	1'-6"	5.4	5/8"	2'-0"	10.6	7/8"	2'-6"
20"	3.3	1/2"	1'-6"	6.6	5/8"	2'-0"	13.0	7/8"	2'-6"
24"	4.7	5/8"	2'-0"	9.4	3/4"	2'-3"	18.5	1-1/8"	3'-6"

1. THRUST BLOCK TO BE 3000 PSI CONCRETE MINIMUM.

2 TYPICAL VERTICAL THRUST BLOCK DETAILS  
 C504 NOT TO SCALE D126-01



4 TYPICAL WATER MAIN RELOCATION AND SEPARATION DETAIL  
 C504 NOT TO SCALE D117-01

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 Fax: (915) 788-0668  
 www.gymopc.com

ARCHITECTURE  
 ENGINEERING  
**GYMOPC**  
 LAND SURVEYING



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**SITE DETAILS**  
 PROPOSED GOODYEAR AUTO SERVICE CENTER  
 1240 ARSENAL STREET  
 CITY OF WATERTOWN, NEW YORK

Project No: 2014-274  
 Scale: As Noted  
 Date: 2/4/2016  
 Drawn By: THR  
 Designed By: RGC/THR  
 Checked By:  
 Date Issued: 2/9/2016  
 Drwg. No.

**C504**

**ENGINEERING REPORT**

**PROPOSED GOODYEAR SERVICE CENTER**

**CITY OF WATERTOWN  
JEFFERSON COUNTY, NEW YORK**



ENGINEERING REPORT

**PROPOSED GOODYEAR SERVICE CENTER**

ARSENAL STREET  
CITY OF WATERTOWN  
JEFFERSON COUNTY  
STATE OF NEW YORK

**VDI PROPERTIES, LLC**

7911 BREWERTON ROAD  
CICERO, NY 13039  
PH: (315) 436 - 6567  
CONTACT: MR. PATRICK DONEGAN

PROJECT # 2014-274E

**9 FEBRUARY 2016**



---

RYAN G. CHURCHILL, P.E.  
PARTNER, MANAGING ENGINEER

The above Engineer states that to the best of his knowledge, information and belief, the plans and specifications are in accordance with the applicable requirements of New York State. It is a violation of New York State Law for any person, unless acting under the direction of a licensed professional engineer to alter this document in any way. If altered, such licensee shall affix his or her seal and the notation "altered by" followed by his or her signature, date, and a specific description of alteration.

**GYMO ARCHITECTURE, ENGINEERING  
& LAND SURVEYING, P.C.**

**220 STERLING STREET-WATERTOWN, NY-TELE: (315)788-3900 FAX: (315)788-0668**

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## **1.0 SITE AND PROJECT DESCRIPTIONS**

### **1.1 Location**

The project is located on Arsenal Street in the City of Watertown, Jefferson County, New York. The project area was formerly Blockbuster and is located east of the existing Pearle Vision building. The site/building pad currently is a developed commercial site, and is served with utilities. Ground cover is primarily impervious areas, including asphalt pavement, sidewalk, and the existing building.

The project is located on City of Watertown Tax parcels 8-53-101.001 and 8-53-116.100. The approximate project site limits can be seen on the civil plans in Appendix A.

### **1.2 Project Description**

The project involves construction of a new  $\pm 6,000$  sf Goodyear Service Center. The existing building (formerly Blockbuster) will be demolished to allow for new construction. A special use permit is not anticipated as the land use will be consistent with the area's zoning.

The site will be served with several amenities, including water and sanitary/storm sewer service, lighting, landscaping, and parking facilities. These features are depicted on the Site Development Drawings (see Appendix A). The utilities are discussed in greater detail in latter sections of the report.

### **1.3 Zoning/Parking/Approvals**

The project site is located in an area zoned as Commercial. There is no proposed zone change.

Parking requirements per City of Watertown zoning is five space / 1,000 square foot of retail space. A large portion of the propped use is garage space with 7 large bay does for maintenance of customer's vehicles, which can be removed from the parking requirement calculation. The showroom/retail space of the proposed Goodyear is  $\pm 1,616$  sf. This equates to a required 9 spaces and currently 30 spaces are proposed.

### **1.4 Site Topography**

The site was previously a commercial development, resulting in gentle slopes. The site contains a high point as the existing finished floor of the building (center of the site), to be demolished of approximately 408, and elevations generally fall gently as you move towards the exterior of the project parcel. The majority of the site generally drains via overland sheet flow in a southerly direction to existing catch basins located throughout the existing site. For existing cover, see attached orthoimagery in Appendix B. For existing topography, see attached Utility and Grading Plan in Appendix A.

### **1.5 Soil Classification**

According to the United States Department of Agriculture, Natural Resources Conservation Service (USDA NRCS), on the site you will find Urban Land (Ur) throughout the site.

See the attached USDA/NRCS Soil Survey descriptions for more information on the specific soil type properties in Appendix B.

**2.0 WATER FACILITIES**

**2.1 Water Distribution**

An existing 12-inch water main is located along Arsenal Street (south of the project site). An existing hydrant (to the south of the site) will continue to be utilized for fire protection to the site.

The projected flows for each lot were calculated based on the anticipated uses and the recommended rates used by the NYS DEC. As shown in the table below, the average daily water demand is 1,200 gallons/day (assuming the space is a service station at a rate of 400 gallons/day/toilet). Using a peaking factor of four, the maximum demand anticipated is 3.33 gallons/minute (gpm).

Anticipated Use	Anticipated Water Usage (GPD)
6,000 sf Service Center (3 toilets)	1,200 GPD

A 6" HDPE service will serve the proposed facility for domestic uses and proposed sprinkler system, as shown on the Civil Plans.

Hydrant flow tests were conducted by GYMO. The results of these tests are attached in Appendix D of this report. A hydrant was flowed to the east of the project site and the hydrant adjacent to the proposed Service Station was monitored, which is approximately the middle of the site as it fronts along Arsenal at a value of 1,440 gpm, while the pressure dropped from 99 to 89 pounds per square inch (PSI).

**3.0 SANITARY SEWER FACILITIES**

**3.1 Existing Sanitary Sewer Facilities**

A municipal, gravity sanitary sewer system exists in the project area. A sanitary sewer main exists on the southerly side of Arsenal Street. The existing building is served with a sanitary sewer lateral. Sanitary sewer waste is ultimately treated at the City of Watertown Wastewater Treatment Facility.

**3.2 Proposed Sanitary Sewer Facilities**

To dispose of sewage generated on site, it is proposed that the existing gravity service will convey waste to the existing sanitary sewer main located on the southerly side of Arsenal Street. The estimated sewer flows for this project are listed in the Water Distribution section of this report. The sanitary lateral will remain privately owned. A grease trap is proposed, as required.

Refer to the Utility Sheets attached in Appendix A for the location of the sanitary sewer facilities.

## **4.0 HYDROLOGIC AND HYDRAULIC ANALYSES**

### **4.1 Existing and Proposed Drainage**

As previously discussed, the majority of the site generally drains via overland sheet flow leading to existing catch basins throughout the site, which ultimately discharge to existing drainage structures on Arsenal Street. The rear portion of the site sheet flows to an existing retention pond. For existing cover and grade conditions, see attached orthoimagery in Appendix B. For existing topography, see attached Utility and Grading Plan in Appendix A.

### **4.2 Proposed Storm Sewer Piping**

The site's runoff will be discharged similarly to the existing conditions of the site. Existing drainage structures will be utilized where possible and proposed grading will direct runoff to these existing structures.

The surrounding environment will also be protected from contamination and erosion through the implementation of Best Management Practices (BMP) during construction as required by the NYS DEC.

The storm drainage piping will be designed to carry, at a minimum, the peak runoff of the 10 year - 24 hour storm event. In addition, a 100-year overland flood route will be designed to avoid flooding of any structures.

## **5.0 LIGHTING**

### **5.1 Site Lighting**

The site parking will be illuminated by pole mounted luminaires (LED's) mounted at a height of 25 feet and wallpacks on the building. These proposed light poles and fixtures are shown on the Civil Plans. Care was given to not spill light over the property line to adjacent property owners. Cut Sheets can be seen in Appendix C.

## **6.0 LANDSCAPING**

### **6.1 Existing Landscaping**

There is no existing, desirable landscaping located on the site.

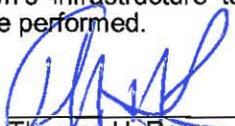
### **6.2 Proposed Landscaping**

Landscaping will be provided to comply with City of Watertown requirements. Landscaping will be chosen that is native to the area, grows well in the soil conditions of the project, and fits in with the overall theme of the area. Refer to the civil drawings in Appendix A for detailed information on the proposed landscaping.

## **7.0 SUMMARY**

The proposed Goodyear Service Center will be a welcome addition to the City of Watertown. The project shall not cause the City of Watertown's infrastructure to be exceeded, provided the improvements discussed in this report are performed.

  
Ryan G. Churchill, P.E.  
Managing Engineer, Partner

  
Thomas H. Ross  
Project Engineer

**APPENDIX A**

**SITE DEVELOPMENT PLANS**

**APPENDIX B**

**MAPPING**



United States  
Department of  
Agriculture

**NRCS**

Natural  
Resources  
Conservation  
Service

A product of the National  
Cooperative Soil Survey,  
a joint effort of the United  
States Department of  
Agriculture and other  
Federal agencies, State  
agencies including the  
Agricultural Experiment  
Stations, and local  
participants

# Custom Soil Resource Report for **Jefferson County, New York**



February 5, 2016

# Preface

---

Soil surveys contain information that affects land use planning in survey areas. They highlight soil limitations that affect various land uses and provide information about the properties of the soils in the survey areas. Soil surveys are designed for many different users, including farmers, ranchers, foresters, agronomists, urban planners, community officials, engineers, developers, builders, and home buyers. Also, conservationists, teachers, students, and specialists in recreation, waste disposal, and pollution control can use the surveys to help them understand, protect, or enhance the environment.

Various land use regulations of Federal, State, and local governments may impose special restrictions on land use or land treatment. Soil surveys identify soil properties that are used in making various land use or land treatment decisions. The information is intended to help the land users identify and reduce the effects of soil limitations on various land uses. The landowner or user is responsible for identifying and complying with existing laws and regulations.

Although soil survey information can be used for general farm, local, and wider area planning, onsite investigation is needed to supplement this information in some cases. Examples include soil quality assessments (<http://www.nrcs.usda.gov/wps/portal/nrcs/main/soils/health/>) and certain conservation and engineering applications. For more detailed information, contact your local USDA Service Center (<http://offices.sc.egov.usda.gov/locator/app?agency=nrcs>) or your NRCS State Soil Scientist ([http://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/contactus/?cid=nrcs142p2\\_053951](http://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/contactus/?cid=nrcs142p2_053951)).

Great differences in soil properties can occur within short distances. Some soils are seasonally wet or subject to flooding. Some are too unstable to be used as a foundation for buildings or roads. Clayey or wet soils are poorly suited to use as septic tank absorption fields. A high water table makes a soil poorly suited to basements or underground installations.

The National Cooperative Soil Survey is a joint effort of the United States Department of Agriculture and other Federal agencies, State agencies including the Agricultural Experiment Stations, and local agencies. The Natural Resources Conservation Service (NRCS) has leadership for the Federal part of the National Cooperative Soil Survey.

Information about soils is updated periodically. Updated information is available through the NRCS Web Soil Survey, the site for official soil survey information.

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# How Soil Surveys Are Made

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Soil surveys are made to provide information about the soils and miscellaneous areas in a specific area. They include a description of the soils and miscellaneous areas and their location on the landscape and tables that show soil properties and limitations affecting various uses. Soil scientists observed the steepness, length, and shape of the slopes; the general pattern of drainage; the kinds of crops and native plants; and the kinds of bedrock. They observed and described many soil profiles. A soil profile is the sequence of natural layers, or horizons, in a soil. The profile extends from the surface down into the unconsolidated material in which the soil formed or from the surface down to bedrock. The unconsolidated material is devoid of roots and other living organisms and has not been changed by other biological activity.

Currently, soils are mapped according to the boundaries of major land resource areas (MLRAs). MLRAs are geographically associated land resource units that share common characteristics related to physiography, geology, climate, water resources, soils, biological resources, and land uses (USDA, 2006). Soil survey areas typically consist of parts of one or more MLRA.

The soils and miscellaneous areas in a survey area occur in an orderly pattern that is related to the geology, landforms, relief, climate, and natural vegetation of the area. Each kind of soil and miscellaneous area is associated with a particular kind of landform or with a segment of the landform. By observing the soils and miscellaneous areas in the survey area and relating their position to specific segments of the landform, a soil scientist develops a concept, or model, of how they were formed. Thus, during mapping, this model enables the soil scientist to predict with a considerable degree of accuracy the kind of soil or miscellaneous area at a specific location on the landscape.

Commonly, individual soils on the landscape merge into one another as their characteristics gradually change. To construct an accurate soil map, however, soil scientists must determine the boundaries between the soils. They can observe only a limited number of soil profiles. Nevertheless, these observations, supplemented by an understanding of the soil-vegetation-landscape relationship, are sufficient to verify predictions of the kinds of soil in an area and to determine the boundaries.

Soil scientists recorded the characteristics of the soil profiles that they studied. They noted soil color, texture, size and shape of soil aggregates, kind and amount of rock fragments, distribution of plant roots, reaction, and other features that enable them to identify soils. After describing the soils in the survey area and determining their properties, the soil scientists assigned the soils to taxonomic classes (units). Taxonomic classes are concepts. Each taxonomic class has a set of soil characteristics with precisely defined limits. The classes are used as a basis for comparison to classify soils systematically. Soil taxonomy, the system of taxonomic classification used in the United States, is based mainly on the kind and character of soil properties and the arrangement of horizons within the profile. After the soil scientists classified and named the soils in the survey area, they compared the

## Custom Soil Resource Report

individual soils with similar soils in the same taxonomic class in other areas so that they could confirm data and assemble additional data based on experience and research.

The objective of soil mapping is not to delineate pure map unit components; the objective is to separate the landscape into landforms or landform segments that have similar use and management requirements. Each map unit is defined by a unique combination of soil components and/or miscellaneous areas in predictable proportions. Some components may be highly contrasting to the other components of the map unit. The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The delineation of such landforms and landform segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, onsite investigation is needed to define and locate the soils and miscellaneous areas.

Soil scientists make many field observations in the process of producing a soil map. The frequency of observation is dependent upon several factors, including scale of mapping, intensity of mapping, design of map units, complexity of the landscape, and experience of the soil scientist. Observations are made to test and refine the soil-landscape model and predictions and to verify the classification of the soils at specific locations. Once the soil-landscape model is refined, a significantly smaller number of measurements of individual soil properties are made and recorded. These measurements may include field measurements, such as those for color, depth to bedrock, and texture, and laboratory measurements, such as those for content of sand, silt, clay, salt, and other components. Properties of each soil typically vary from one point to another across the landscape.

Observations for map unit components are aggregated to develop ranges of characteristics for the components. The aggregated values are presented. Direct measurements do not exist for every property presented for every map unit component. Values for some properties are estimated from combinations of other properties.

While a soil survey is in progress, samples of some of the soils in the area generally are collected for laboratory analyses and for engineering tests. Soil scientists interpret the data from these analyses and tests as well as the field-observed characteristics and the soil properties to determine the expected behavior of the soils under different uses. Interpretations for all of the soils are field tested through observation of the soils in different uses and under different levels of management. Some interpretations are modified to fit local conditions, and some new interpretations are developed to meet local needs. Data are assembled from other sources, such as research information, production records, and field experience of specialists. For example, data on crop yields under defined levels of management are assembled from farm records and from field or plot experiments on the same kinds of soil.

Predictions about soil behavior are based not only on soil properties but also on such variables as climate and biological activity. Soil conditions are predictable over long periods of time, but they are not predictable from year to year. For example, soil scientists can predict with a fairly high degree of accuracy that a given soil will have a high water table within certain depths in most years, but they cannot predict that a high water table will always be at a specific level in the soil on a specific date.

After soil scientists located and identified the significant natural bodies of soil in the survey area, they drew the boundaries of these bodies on aerial photographs and identified each as a specific map unit. Aerial photographs show trees, buildings, fields, roads, and rivers, all of which help in locating boundaries accurately.

## Soil Map

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The soil map section includes the soil map for the defined area of interest, a list of soil map units on the map and extent of each map unit, and cartographic symbols displayed on the map. Also presented are various metadata about data used to produce the map, and a description of each soil map unit.

# Custom Soil Resource Report Soil Map



Map Scale: 1:556 if printed on A portrait (8.5" x 11") sheet.

0 5 10 20 30 Meters

0 25 50 100 150 Feet

Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 18N WGS84

Custom Soil Resource Report

MAP LEGEND		MAP INFORMATION	
 Area of Interest (AOI)	 Spoil Area	The soil surveys that comprise your AOI were mapped at 1:15,800.	
 Soil Map Unit Polygons	 Stony Spot		
 Soil Map Unit Lines	 Very Stony Spot	Warning: Soil Map may not be valid at this scale.	
 Soil Map Unit Points	 Wet Spot		
<b>Special Point Features</b>	 Other	Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.	
 Blowout	 Special Line Features		
 Borrow Pit	<b>Water Features</b>	Please rely on the bar scale on each map sheet for map measurements.	
 Clay Spot	 Streams and Canals		
 Closed Depression	<b>Transportation</b>	Source of Map: Natural Resources Conservation Service Web Soil Survey URL: <a href="http://websoilsurvey.nrcs.usda.gov">http://websoilsurvey.nrcs.usda.gov</a> Coordinate System: Web Mercator (EPSG:3857)	
 Gravel Pit	 Rails		
 Gravelly Spot	 Interstate Highways	Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.	
 Landfill	 US Routes		
 Lava Flow	 Major Roads	This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.	
 Marsh or swamp	 Local Roads		
 Mine or Quarry	<b>Background</b>	Soil Survey Area: Jefferson County, New York Survey Area Data: Version 12, Sep 21, 2015	
 Miscellaneous Water	 Aerial Photography		
 Perennial Water		Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.	
 Rock Outcrop			
 Saline Spot		Date(s) aerial images were photographed: May 11, 2011—Jul 2, 2011	
 Sandy Spot			
 Severely Eroded Spot		The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map-unit boundaries may be evident.	
 Sinkhole			
 Slide or Slip			
 Sodic Spot			

## Map Unit Legend

Jefferson County, New York (NY045)			
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
Ur	Urban land	1.0	100.0%
<b>Totals for Area of Interest</b>		<b>1.0</b>	<b>100.0%</b>

## Map Unit Descriptions

The map units delineated on the detailed soil maps in a soil survey represent the soils or miscellaneous areas in the survey area. The map unit descriptions, along with the maps, can be used to determine the composition and properties of a unit.

A map unit delineation on a soil map represents an area dominated by one or more major kinds of soil or miscellaneous areas. A map unit is identified and named according to the taxonomic classification of the dominant soils. Within a taxonomic class there are precisely defined limits for the properties of the soils. On the landscape, however, the soils are natural phenomena, and they have the characteristic variability of all natural phenomena. Thus, the range of some observed properties may extend beyond the limits defined for a taxonomic class. Areas of soils of a single taxonomic class rarely, if ever, can be mapped without including areas of other taxonomic classes. Consequently, every map unit is made up of the soils or miscellaneous areas for which it is named and some minor components that belong to taxonomic classes other than those of the major soils.

Most minor soils have properties similar to those of the dominant soil or soils in the map unit, and thus they do not affect use and management. These are called noncontrasting, or similar, components. They may or may not be mentioned in a particular map unit description. Other minor components, however, have properties and behavioral characteristics divergent enough to affect use or to require different management. These are called contrasting, or dissimilar, components. They generally are in small areas and could not be mapped separately because of the scale used. Some small areas of strongly contrasting soils or miscellaneous areas are identified by a special symbol on the maps. If included in the database for a given area, the contrasting minor components are identified in the map unit descriptions along with some characteristics of each. A few areas of minor components may not have been observed, and consequently they are not mentioned in the descriptions, especially where the pattern was so complex that it was impractical to make enough observations to identify all the soils and miscellaneous areas on the landscape.

The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The objective of mapping is not to delineate pure taxonomic classes but rather to separate the landscape into landforms or landform segments that have similar use and management requirements. The delineation of such segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, however, onsite investigation is needed to define and locate the soils and miscellaneous areas.

## Custom Soil Resource Report

An identifying symbol precedes the map unit name in the map unit descriptions. Each description includes general facts about the unit and gives important soil properties and qualities.

Soils that have profiles that are almost alike make up a *soil series*. Except for differences in texture of the surface layer, all the soils of a series have major horizons that are similar in composition, thickness, and arrangement.

Soils of one series can differ in texture of the surface layer, slope, stoniness, salinity, degree of erosion, and other characteristics that affect their use. On the basis of such differences, a soil series is divided into *soil phases*. Most of the areas shown on the detailed soil maps are phases of soil series. The name of a soil phase commonly indicates a feature that affects use or management. For example, Alpha silt loam, 0 to 2 percent slopes, is a phase of the Alpha series.

Some map units are made up of two or more major soils or miscellaneous areas. These map units are complexes, associations, or undifferentiated groups.

A *complex* consists of two or more soils or miscellaneous areas in such an intricate pattern or in such small areas that they cannot be shown separately on the maps. The pattern and proportion of the soils or miscellaneous areas are somewhat similar in all areas. Alpha-Beta complex, 0 to 6 percent slopes, is an example.

An *association* is made up of two or more geographically associated soils or miscellaneous areas that are shown as one unit on the maps. Because of present or anticipated uses of the map units in the survey area, it was not considered practical or necessary to map the soils or miscellaneous areas separately. The pattern and relative proportion of the soils or miscellaneous areas are somewhat similar. Alpha-Beta association, 0 to 2 percent slopes, is an example.

An *undifferentiated group* is made up of two or more soils or miscellaneous areas that could be mapped individually but are mapped as one unit because similar interpretations can be made for use and management. The pattern and proportion of the soils or miscellaneous areas in a mapped area are not uniform. An area can be made up of only one of the major soils or miscellaneous areas, or it can be made up of all of them. Alpha and Beta soils, 0 to 2 percent slopes, is an example.

Some surveys include *miscellaneous areas*. Such areas have little or no soil material and support little or no vegetation. Rock outcrop is an example.

## Jefferson County, New York

### Ur—Urban land

#### Map Unit Setting

*National map unit symbol:* 9srz  
*Mean annual precipitation:* 33 to 50 inches  
*Mean annual air temperature:* 45 to 46 degrees F  
*Frost-free period:* 110 to 170 days  
*Farmland classification:* Not prime farmland

#### Map Unit Composition

*Urban land:* 90 percent  
*Minor components:* 10 percent  
*Estimates are based on observations, descriptions, and transects of the mapunit.*

#### Minor Components

##### Udorthents, smoothed

*Percent of map unit:* 10 percent  
*Landform:* Depressions

# **Soil Information for All Uses**

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## **Soil Properties and Qualities**

The Soil Properties and Qualities section includes various soil properties and qualities displayed as thematic maps with a summary table for the soil map units in the selected area of interest. A single value or rating for each map unit is generated by aggregating the interpretive ratings of individual map unit components. This aggregation process is defined for each property or quality.

## **Soil Qualities and Features**

Soil qualities are behavior and performance attributes that are not directly measured, but are inferred from observations of dynamic conditions and from soil properties. Example soil qualities include natural drainage, and frost action. Soil features are attributes that are not directly part of the soil. Example soil features include slope and depth to restrictive layer. These features can greatly impact the use and management of the soil.

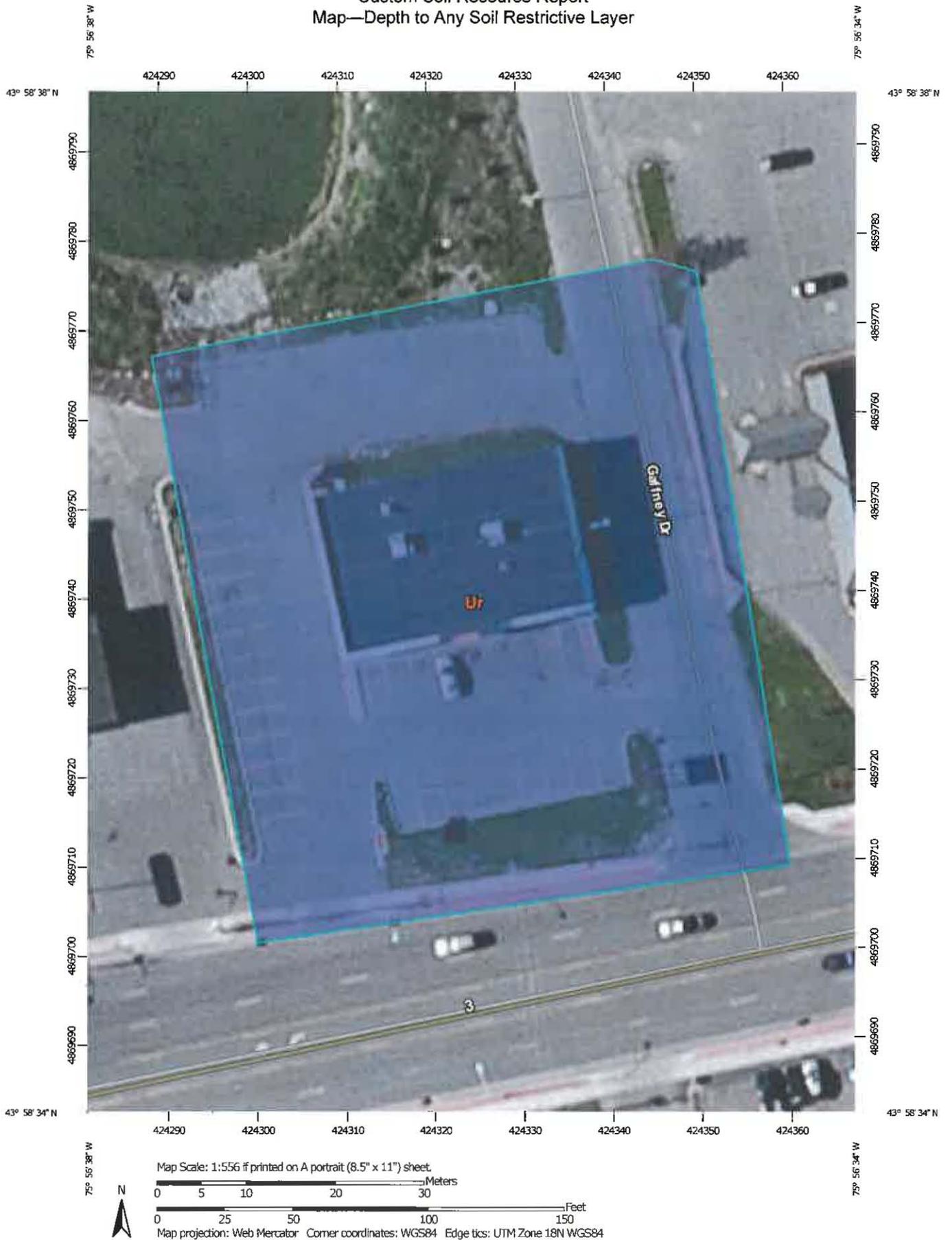
## **Depth to Any Soil Restrictive Layer**

A "restrictive layer" is a nearly continuous layer that has one or more physical, chemical, or thermal properties that significantly impede the movement of water and air through the soil or that restrict roots or otherwise provide an unfavorable root environment. Examples are bedrock, cemented layers, dense layers, and frozen layers.

This theme presents the depth to any type of restrictive layer that is described for each map unit. If more than one type of restrictive layer is described for an individual soil type, the depth to the shallowest one is presented. If no restrictive layer is described in a map unit, it is represented by the "> 200" depth class.

This attribute is actually recorded as three separate values in the database. A low value and a high value indicate the range of this attribute for the soil component. A "representative" value indicates the expected value of this attribute for the component. For this soil property, only the representative value is used.

# Custom Soil Resource Report Map—Depth to Any Soil Restrictive Layer



Custom Soil Resource Report

MAP LEGEND		MAP INFORMATION
<p><b>Area of Interest (AOI)</b></p> <p> Area of Interest (AOI)</p> <p><b>Soils</b></p> <p><b>Soil Rating Polygons</b></p> <ul style="list-style-type: none"> <li> 0 - 25</li> <li> 25 - 50</li> <li> 50 - 100</li> <li> 100 - 150</li> <li> 150 - 200</li> <li> &gt; 200</li> <li> Not rated or not available</li> </ul> <p><b>Soil Rating Lines</b></p> <ul style="list-style-type: none"> <li> 0 - 25</li> <li> 25 - 50</li> <li> 50 - 100</li> <li> 100 - 150</li> <li> 150 - 200</li> <li> &gt; 200</li> <li> Not rated or not available</li> </ul> <p><b>Soil Rating Points</b></p> <ul style="list-style-type: none"> <li> 0 - 25</li> <li> 25 - 50</li> <li> 50 - 100</li> <li> 100 - 150</li> <li> 150 - 200</li> <li> &gt; 200</li> </ul>	<p> Not rated or not available</p> <p><b>Water Features</b></p> <ul style="list-style-type: none"> <li> Streams and Canals</li> </ul> <p><b>Transportation</b></p> <ul style="list-style-type: none"> <li> Rails</li> <li> Interstate Highways</li> <li> US Routes</li> <li> Major Roads</li> <li> Local Roads</li> </ul> <p><b>Background</b></p> <ul style="list-style-type: none"> <li> Aerial Photography</li> </ul>	<p>The soil surveys that comprise your AOI were mapped at 1:15,800.</p> <div style="border: 1px solid black; padding: 5px;"> <p>Warning: Soil Map may not be valid at this scale.</p> <p>Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.</p> </div> <p>Please rely on the bar scale on each map sheet for map measurements.</p> <p>Source of Map: Natural Resources Conservation Service            Web Soil Survey URL: <a href="http://websoilsurvey.nrcs.usda.gov">http://websoilsurvey.nrcs.usda.gov</a>            Coordinate System: Web Mercator (EPSG:3857)</p> <p>Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.</p> <p>This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.</p> <p>Soil Survey Area: Jefferson County, New York            Survey Area Data: Version 12, Sep 21, 2015</p> <p>Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.</p> <p>Date(s) aerial images were photographed: May 11, 2011—Jul 2, 2011</p> <p>The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map-unit boundaries may be evident.</p>

Custom Soil Resource Report

**Table—Depth to Any Soil Restrictive Layer**

Depth to Any Soil Restrictive Layer— Summary by Map Unit — Jefferson County, New York (NY045)				
Map unit symbol	Map unit name	Rating (centimeters)	Acres in AOI	Percent of AOI
Ur	Urban land	>200	1.0	100.0%
<b>Totals for Area of Interest</b>			<b>1.0</b>	<b>100.0%</b>

**Rating Options—Depth to Any Soil Restrictive Layer**

*Units of Measure:* centimeters

*Aggregation Method:* Dominant Component

*Component Percent Cutoff:* None Specified

*Tie-break Rule:* Lower

*Interpret Nulls as Zero:* No

# References

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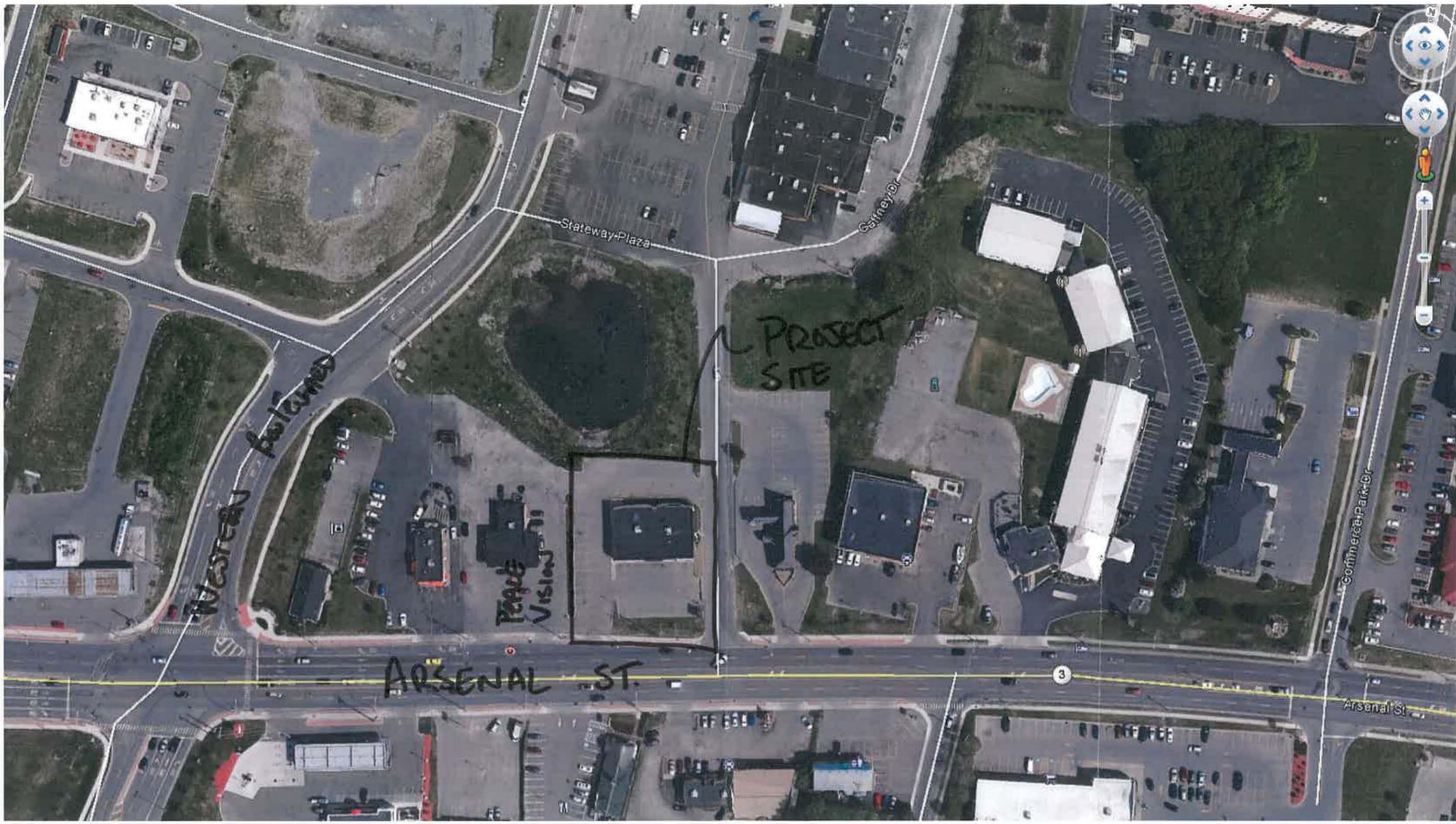
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- United States Department of Agriculture, Natural Resources Conservation Service. National range and pasture handbook. <http://www.nrcs.usda.gov/wps/portal/nrcs/detail/national/landuse/rangepasture/?cid=stelprdb1043084>

## Custom Soil Resource Report

United States Department of Agriculture, Natural Resources Conservation Service. National soil survey handbook, title 430-VI. [http://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/scientists/?cid=nrcs142p2\\_054242](http://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/scientists/?cid=nrcs142p2_054242)

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Westway Parkway

Stateway Plaza

Gaffney Dr.

PROJECT SITE

Peace Vision

ARSENAL ST.

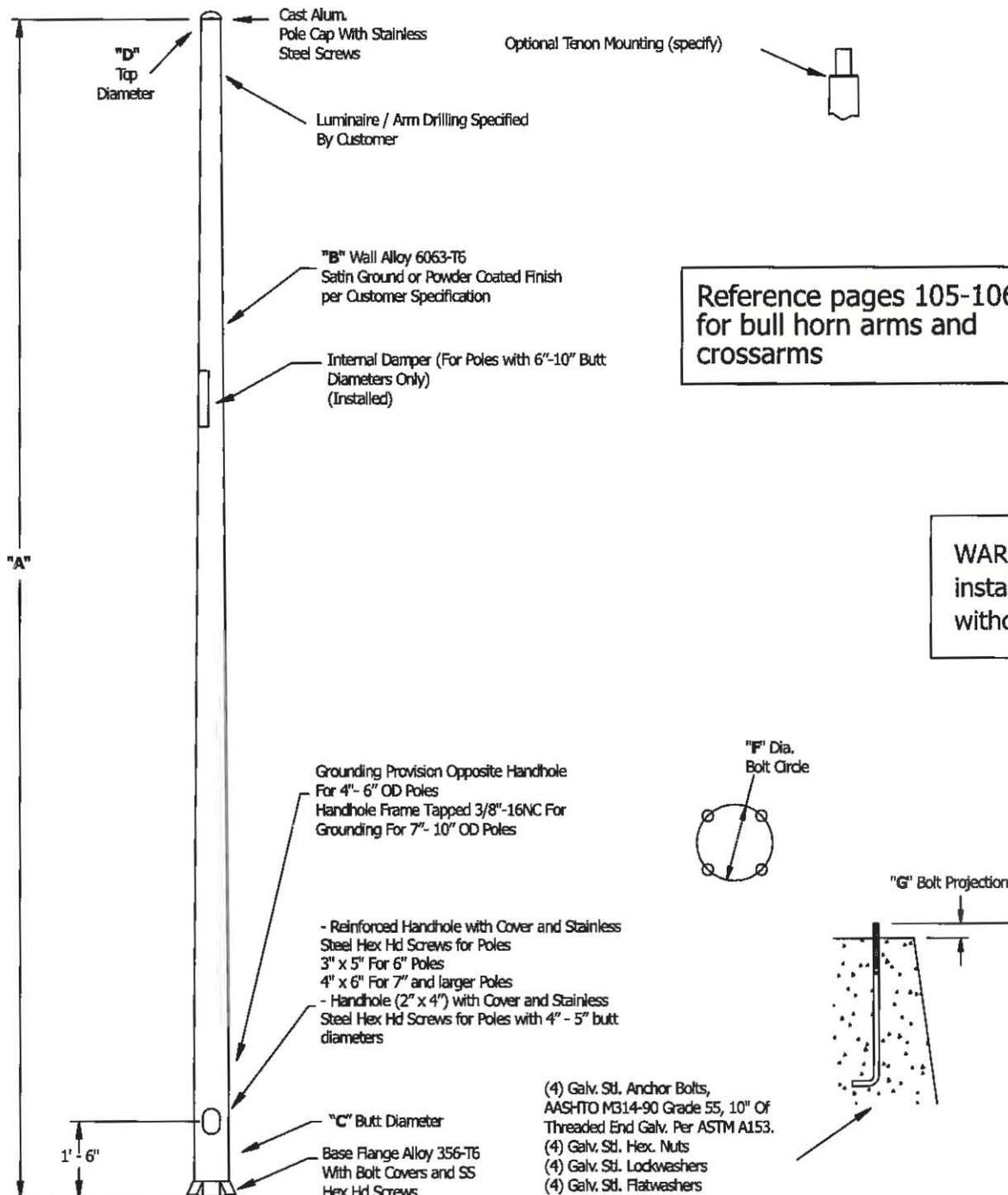
Commercial Park Dr.

Arsenal St.

3

**APPENDIX C**

**LIGHTING CUT SHEETS**



Reference pages 105-106 for bull horn arms and crossarms

**WARNING: Do not install light pole without luminaire.**

- (4) Galv. Std. Anchor Bolts, AASHTO M314-90 Grade 55, 10" Of Threaded End Galv. Per ASTM A153.
- (4) Galv. Std. Hex. Nuts
- (4) Galv. Std. Lockwashers
- (4) Galv. Std. Flatwashers

<b>Mounting Height:</b>	"E" Square 25 ft	
<b>Wall Thickness:</b>	.156 in	
<b>Butt Diameter:</b>	6 in	
<b>Top Diameter:</b>	4.5 in	
<b>Base Diameter:</b>	9.75 in	
<b>Bolt Circle:</b>	9-10 in	
<b>Bolt Projection:</b>	2.75 in	
<b>Bolt Size:</b>	.75 x 30 x 3	
<b>Net Weight:</b>	90	
<b>Luminary Weight:</b>	100	
<b>Arm Length:</b>		
<b>Quantity:</b>		

<b>Maximum EPA</b>	
<b>70:</b>	7.7
<b>80:</b>	4.9
<b>90:</b>	3.5
<b>100:</b>	2.7
<b>110:</b>	2.0

**Accessories**

**Your Name:**  
**Representative Name:**  
**Architect Name:**  
**Project Name:**  
**Customer P.O. #:**

**Finish:** -  
**Date:** 02/03/2016  
**Notes:**

## DESCRIPTION

The Galleon™ LED luminaire delivers exceptional performance in a highly scalable, low-profile design. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP66 rated and UL/cUL Listed for wet locations.

Catalog #		Type	LA-IV-SL-HS
Project		Date	
Comments			
Prepared by			

## SPECIFICATION FEATURES

### Construction

Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy-wall, die-cast aluminum end caps enclose housing and die-cast aluminum heat sinks. A unique, patent pending interlocking housing and heat sink provides scalability with superior structural rigidity. 3G vibration tested. Optional tool-less hardware available for ease of entry into electrical chamber. Housing is IP66 rated.

### Optics

Patented, high-efficiency injection-molded AccuLED Optics technology. Optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT 70 CRI. Optional 6000K CCT and 3000K CCT.

### Electrical

LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Standard with 0-10V dimming. Shipped standard with Eaton proprietary circuit module designed to withstand 10kV of transient line surge. The Galleon LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Light Squares are IP66 rated. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 530mA and 700mA drive currents.

### Mounting

**STANDARD ARM MOUNT:** Extruded aluminum arm includes internal bolt guides allowing for easy positioning of fixture during assembly. When mounting two or more luminaires at 90° and 120° apart, the EA extended arm may be required. Refer to the arm mounting requirement table.

Round pole adapter included.

For wall mounting, specify wall mount bracket option. 3G vibration rated. **QUICK MOUNT ARM:** Arm is bolted directly to the pole and the fixture slides onto the quick mount arm and is secured via a single fastener, facilitating quick and easy installation. The versatile, patent pending, quick mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8". Removal of the door on the quick mount arm enables wiring of the fixture without having to access the driver compartment. A knock-out enables round pole mounting.

### Finish

Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Heat sink is powder coated black. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available.

### Warranty

Five-year warranty.

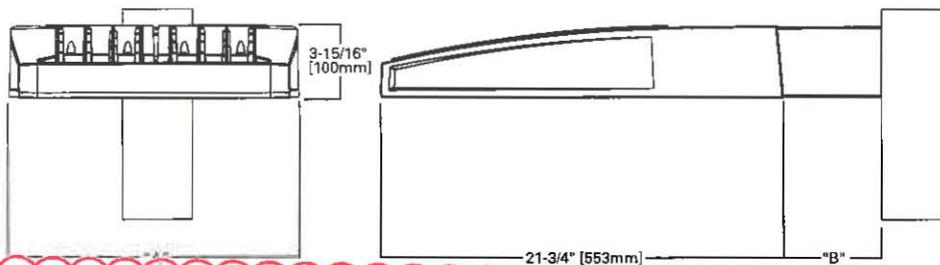


## GLEON GALLEON LED

1-10 Light Squares  
Solid State LED

AREA/SITE LUMINAIRE

## DIMENSIONS



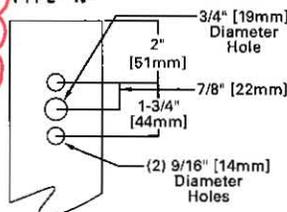
### DIMENSION DATA

Number of Light Squares	"A" Width	"B" Standard Arm Length	"B" Optional Arm Length <sup>1</sup>	Weight with Arm (lbs.)	EPA with Arm <sup>2</sup> (Sq. Ft.)
1-4	15-1/2" (394mm)	7" (178mm)	10" (254mm)	33 (15.0 kgs.)	0.96
5-6	21-5/8" (549mm)	7" (178mm)	10" (254mm)	44 (20.0 kgs.)	1.00
7-8	27-5/8" (702mm)	7" (178mm)	13" (330mm)	54 (24.5 kgs.)	1.07
9-10	33-3/4" (857mm)	7" (178mm)	16" (406mm)	63 (28.6 kgs.)	1.12

NOTES: 1. Optional arm length to be used when mounting two fixtures at 90° on a single pole. 2. EPA calculated with optional arm length.

### DRILLING PATTERN

#### TYPE "N"



### CERTIFICATION DATA

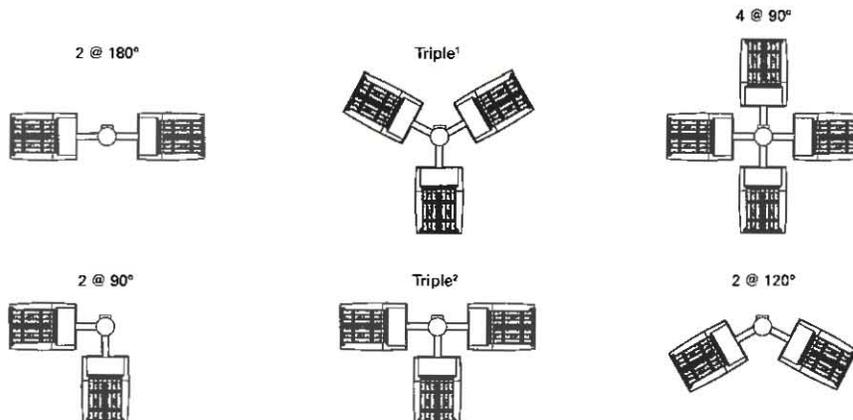
UL/cUL Wet Location Listed  
ISO 9001  
LM79 / LM80 Compliant  
3G Vibration Rated  
IP66 Rated  
DesignLights Consortium™ Qualified\*

### ENERGY DATA

Electronic LED Driver  
>0.9 Power Factor  
<20% Total Harmonic Distortion  
120V-277V 50/60Hz  
347V & 480V 60Hz  
-40°C Min. Temperature  
40°C Max. Temperature  
50°C Max. Temperature (HA Option)

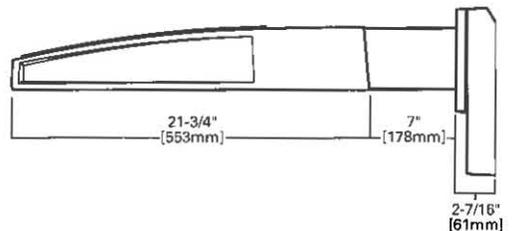
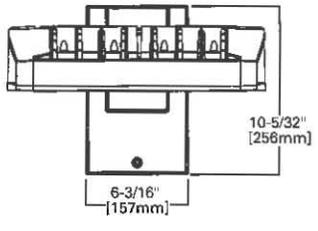
ARM MOUNTING REQUIREMENTS

Configuration	90° Apart	120° Apart
GLEON-AE-01	7" Arm (Standard)	7" Arm (Standard)
GLEON-AE-02	7" Arm (Standard)	7" Arm (Standard)
GLEON-AE-03	7" Arm (Standard)	7" Arm (Standard)
GLEON-AE-04	7" Arm (Standard)	7" Arm (Standard)
GLEON-AE-05	10" Extended Arm (Required)	7" Arm (Standard)
GLEON-AE-06	10" Extended Arm (Required)	7" Arm (Standard)
GLEON-AE-07	13" Extended Arm (Required)	13" Extended Arm (Required)
GLEON-AE-08	13" Extended Arm (Required)	13" Extended Arm (Required)
GLEON-AE-09	16" Extended Arm (Required)	16" Extended Arm (Required)
GLEON-AE-10	16" Extended Arm (Required)	16" Extended Arm (Required)

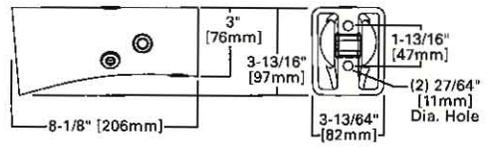


NOTES: 1 Round poles are 3 @ 120° Square poles are 3 @ 90° 2 Round poles are 3 @ 90°.

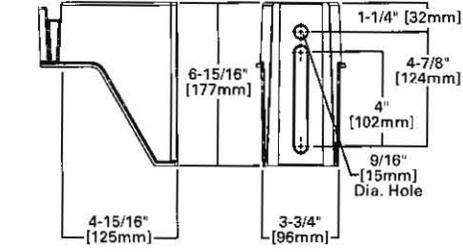
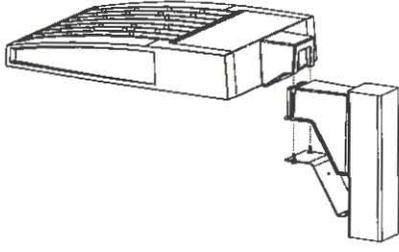
STANDARD WALL MOUNT



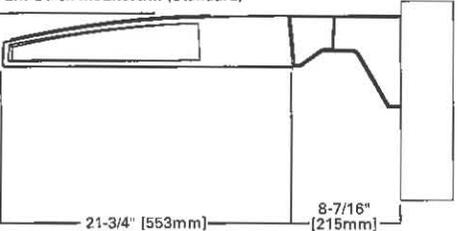
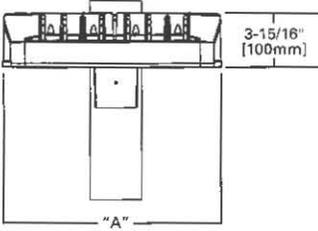
MAST ARM MOUNT



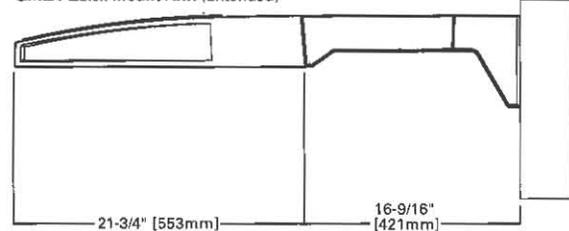
QUICK MOUNT ARM (INCLUDES FIXTURE ADAPTER)



QM Quick Mount Arm (Standard)



QMEA Quick Mount Arm (Extended)

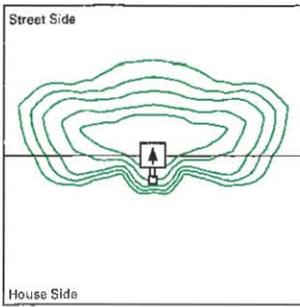


QUICK MOUNT ARM DATA

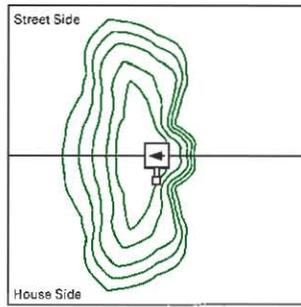
Number of Light Squares 1,2	"A" Width	Weight with QM Arm (lbs.)	Weight with QMEA Arm (lbs.)	EPA (Sq. Ft.)
1-4	15-1/2" (394mm)	35 (15.91 kgs.)	38 (17.27 kgs.)	1.11
5-6 3	21-5/8" (549mm)	46 (20.91 kgs.)	49 (22.27 kgs.)	
7-8	27-5/8" (702mm)	56 (25.45 kgs.)	59 (26.82 kgs.)	

NOTES: 1 QM option available with 1-8 light square configurations. 2 QMEA option available with 1-6 light square configurations. 3 QMEA arm to be used when mounting two fixtures at 90° on a single pole.

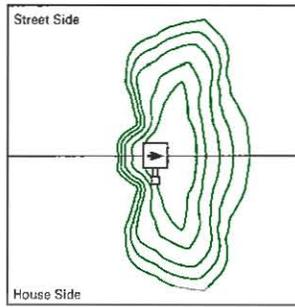
**OPTIC ORIENTATION**



**Standard**



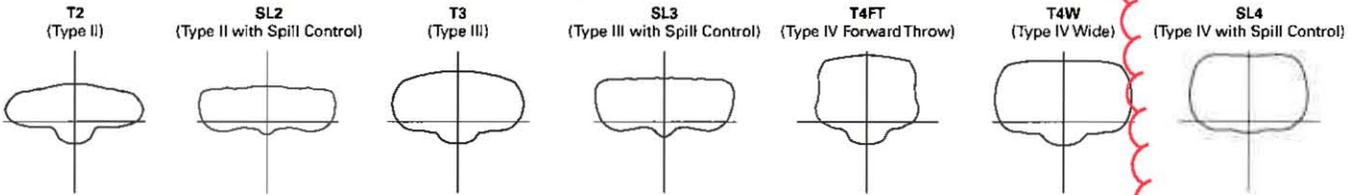
**Optics Rotated Left @ 90° [L90]**



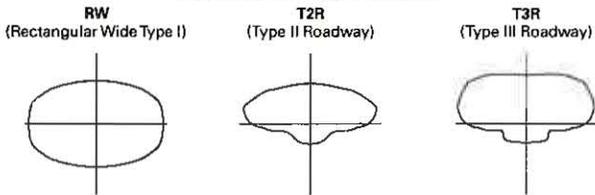
**Optics Rotated Right @ 90° [R90]**

**OPTICAL DISTRIBUTIONS**

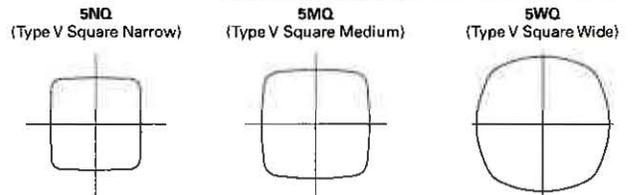
Asymmetric Area Distributions



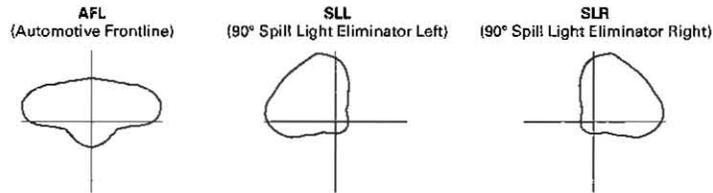
Asymmetric Roadway Distributions



Symmetric Distributions



Specialized Distributions



**NOMINAL POWER AND LUMENS (1A)**

Number of Light Squares		1	2	3	4	5	6	7	8	9	10
Drive Current		1A									
Nominal Power (Watts)		56	107	157	213	264	315	370	421	475	528
Input Current @ 120V (A)		0.47	0.90	1.31	1.79	2.21	2.64	3.09	3.51	3.96	4.41
Input Current @ 208V (A)		0.28	0.51	0.74	1.02	1.25	1.48	1.76	1.99	2.22	2.50
Input Current @ 240V (A)		0.25	0.45	0.65	0.90	1.10	1.30	1.55	1.75	1.95	2.20
Input Current @ 277V (A)		0.23	0.41	0.59	0.82	1.00	1.18	1.41	1.59	1.77	2.00
<b>Optics</b>											
T2	Lumens	5,272	10,303	15,373	20,313	25,168	30,118	35,618	40,357	45,018	49,842
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5
T2R	Lumens	5,597	10,938	16,321	21,565	26,719	31,974	37,813	42,844	47,792	52,914
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G4	B4-U0-G5
T3	Lumens	5,374	10,501	15,669	20,704	25,652	30,697	36,303	41,134	45,884	50,802
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5
T3R	Lumens	5,493	10,735	16,017	21,164	26,222	31,379	37,110	42,048	46,904	51,930
	BUG Rating	B1-U0-G2	B1-U0-G2	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5
T4FT	Lumens	5,405	10,562	15,760	20,824	25,801	30,875	36,514	41,372	46,150	51,096
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
T4W	Lumens	5,335	10,426	15,556	20,555	25,468	30,476	36,042	40,838	45,554	50,436
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5
SL2	Lumens	5,263	10,285	15,347	20,278	25,124	30,066	35,556	40,288	44,940	49,756
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5
SL3	Lumens	5,373	10,500	15,667	20,701	25,649	30,693	36,298	41,128	45,878	50,794
	BUG Rating	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
SL4	Lumens	5,105	9,976	14,886	19,669	24,370	29,163	34,488	39,078	43,591	48,262
	BUG Rating	B1-U0-G2	B1-U0-G3	B1-U0-G3	B2-U0-G4	B2-U0-G4	B2-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
5NQ	Lumens	5,542	10,833	16,100	21,352	26,455	31,656	37,430	42,421	47,320	52,092
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3	B5-U0-G4
5MQ	Lumens	5,644	11,029	16,457	21,745	26,942	32,241	38,128	43,202	48,191	53,356
	BUG Rating	B3-U0-G1	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G5
5WQ	Lumens	5,659	11,059	16,501	21,803	27,014	32,327	38,230	43,317	48,320	53,498
	BUG Rating	B3-U0-G1	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G5	B5-U0-G5	B5-U0-G5
SLL/SLR	Lumens	4,722	9,227	13,767	18,191	22,539	26,971	31,897	36,141	40,315	44,635
	BUG Rating	B1-U0-G2	B1-U0-G3	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
RW	Lumens	5,492	10,732	16,014	21,159	26,216	31,372	37,101	42,038	46,893	51,918
	BUG Rating	B2-U0-G1	B3-U0-G1	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4
AFL	Lumens	5,512	10,771	16,072	21,236	26,311	31,486	37,236	42,191	47,063	52,107
	BUG Rating	B1-U0-G1	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G4

\* Nominal data for 4000K CCT.

**LUMEN MULTIPLIER**

Ambient Temperature	Lumen Multiplier
0°C	1.02
10°C	1.01
25°C	1.00
40°C	0.99
50°C	0.97

**LUMEN MAINTENANCE**

Ambient Temperature	TM-21 Lumen Maintenance (60,000 Hours)	Theoretical L70 (Hours)
25°C	> 94%	> 350,000
40°C	> 93%	> 250,000
50°C*	> 90%	> 170,000

\* 50°C lumen maintenance data applies to 530mA and 700mA drive currents.

## NOMINAL POWER AND LUMENS (700MA)

Number of Light Squares	1	2	3	4	5	6	7	8	9	10	
Drive Current	700mA	700mA	700mA	700mA	700mA	700mA	700mA	700mA	700mA	700mA	
Nominal Power (Watts)	38	72	105	138	176	210	243	276	314	348	
Input Current @ 120V (A)	0.32	0.59	0.86	1.14	1.45	1.72	2	2.28	2.58	2.86	
Input Current @ 208V (A)	0.21	0.36	0.51	0.67	0.87	1.02	1.18	1.34	1.53	1.69	
Input Current @ 240V (A)	0.19	0.32	0.45	0.59	0.77	0.90	1.04	1.18	1.35	1.49	
Input Current @ 277V (A)	0.20	0.29	0.40	0.51	0.69	0.80	0.91	1.02	1.20	1.31	
Optics											
T2	Lumens	3,854	7,531	11,237	14,847	18,395	22,013	26,033	29,497	32,904	36,430
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G4
T2R	Lumens	4,091	7,995	11,929	15,762	19,529	23,370	27,638	31,316	34,932	38,676
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4
T3	Lumens	3,928	7,676	11,453	15,133	18,750	22,437	26,534	30,065	33,537	37,132
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5
T3R	Lumens	4,015	7,846	11,707	15,469	19,166	22,936	27,124	30,733	34,283	37,957
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5
T4FT	Lumens	3,951	7,720	11,519	15,221	18,858	22,567	26,688	30,240	33,732	37,347
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
T4W	Lumens	3,900	7,620	11,370	15,024	18,615	22,276	26,343	29,849	33,296	36,864
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
SL2	Lumens	3,847	7,518	11,217	14,821	18,364	21,975	25,988	29,447	32,847	36,368
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5
SL3	Lumens	3,927	7,675	11,451	15,131	18,747	22,434	26,531	30,061	33,533	37,126
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G3	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5
SL4	Lumens	3,731	7,292	10,880	14,376	17,812	21,315	25,208	28,562	31,861	35,275
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B2-U0-G4	B2-U0-G4	B2-U0-G4	B2-U0-G5	B2-U0-G5	B3-U0-G5
5NQ	Lumens	4,051	7,916	11,811	15,606	19,336	23,139	27,335	31,006	34,567	38,294
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G2	B5-U0-G3	B5-U0-G3
5MQ	Lumens	4,125	8,062	12,029	15,894	19,692	23,565	27,869	31,577	35,224	38,999
	BUG Rating	B2-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4
5WQ	Lumens	4,136	8,083	12,061	15,936	19,745	23,628	27,943	31,661	35,318	39,103
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G4
SLL/SLR	Lumens	3,451	6,744	10,063	13,296	16,471	19,714	23,314	26,416	29,467	32,625
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G3	B2-U0-G3	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
RW	Lumens	4,014	7,844	11,704	15,465	19,162	22,930	27,118	30,726	34,274	37,948
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3
AFL	Lumens	4,029	7,873	11,747	15,522	19,231	23,014	27,216	30,838	34,399	38,026
	BUG Rating	B1-U0-G1	B1-U0-G1	B2-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G3

\* Nominal data for 4000K CCT.

## LUMEN MULTIPLIER

Ambient Temperature	Lumen Multiplier
0°C	1.02
10°C	1.01
25°C	1.00
40°C	0.99
50°C	0.97

## LUMEN MAINTENANCE

Ambient Temperature	TM-21 Lumen Maintenance (60,000 Hours)	Theoretical L70 (Hours)
25°C	> 94%	> 350,000
40°C	> 93%	> 250,000
50°C*	> 90%	> 170,000

\* 50°C lumen maintenance data applies to 530mA and 700mA drive currents.

## NOMINAL POWER AND LUMENS (530MA)

Number of Light Squares	1	2	3	4	5	6	7	8	9	10	
Drive Current	530mA	530mA	530mA	530mA	530mA	530mA	530mA	530mA	530mA	530mA	
Nominal Power (Watts)	30	54	80	105	130	159	184	209	234	259	
Input Current @ 120V (A)	0.25	0.45	0.66	0.86	1.07	1.32	1.52	1.72	1.93	2.14	
Input Current @ 208V (A)	0.17	0.28	0.39	0.51	0.63	0.78	0.9	1.02	1.14	1.26	
Input Current @ 240V (A)	0.17	0.25	0.35	0.45	0.55	0.70	0.80	0.90	1.00	1.10	
Input Current @ 277V (A)	0.19	0.24	0.32	0.40	0.49	0.64	0.72	0.80	0.89	0.98	
Optics											
T2	Lumens	3,079	6,017	8,978	11,862	14,697	17,588	20,800	23,567	26,289	29,106
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4
T2R	Lumens	3,269	6,380	9,531	12,593	15,603	18,672	22,082	25,020	27,909	30,800
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G4
T3	Lumens	3,138	6,133	9,150	12,091	14,980	17,926	21,200	24,021	26,795	29,667
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4
T3R	Lumens	3,208	6,269	9,354	12,359	15,313	18,325	21,671	24,555	27,390	30,326
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G4
T4FT	Lumens	3,156	6,168	9,203	12,161	15,067	18,030	21,323	24,160	26,950	29,839
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5
T4W	Lumens	3,116	6,088	9,084	12,004	14,872	17,797	21,047	23,848	26,602	29,453
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5
SL2	Lumens	3,074	6,006	8,962	11,842	14,672	17,558	20,764	23,527	26,244	29,056
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4
SL3	Lumens	3,138	6,132	9,149	12,089	14,978	17,924	21,197	24,018	26,791	29,662
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B2-U0-G3	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G4
SL4	Lumens	2,981	5,826	8,693	11,486	14,231	17,030	20,140	22,820	25,456	28,184
	BUG Rating	B0-U0-G1	B1-U0-G2	B1-U0-G3	B1-U0-G3	B1-U0-G3	B2-U0-G3	B2-U0-G4	B2-U0-G4	B2-U0-G4	B2-U0-G5
5NQ	Lumens	3,236	6,324	9,437	12,469	15,449	18,487	21,263	24,773	27,634	30,595
	BUG Rating	B1-U0-G0	B2-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G2
5MQ	Lumens	3,296	6,441	9,610	12,698	15,733	18,828	22,266	25,229	28,142	31,158
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3	B5-U0-G3
5WQ	Lumens	3,305	6,458	9,636	12,732	15,775	18,878	22,325	25,296	28,217	31,241
	BUG Rating	B2-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4
SLL/SLR	Lumens	2,757	5,388	8,040	10,623	13,162	15,751	18,627	21,105	23,543	26,066
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G3	B2-U0-G3	B2-U0-G3	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G4
RW	Lumens	3,207	6,267	9,351	12,356	15,309	18,320	21,666	24,549	27,384	30,319
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3
AFL	Lumens	3,219	6,290	9,385	12,401	15,365	18,387	21,745	24,638	27,484	30,429
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G1	B2-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G2	B3-U0-G3	B3-U0-G3

\* Nominal data for 4000K CCT.

## LUMEN MULTIPLIER

Ambient Temperature	Lumen Multiplier
0°C	1.02
10°C	1.01
25°C	1.00
40°C	0.99
50°C	0.97

## LUMEN MAINTENANCE

Ambient Temperature	TM-21 Lumen Maintenance (80,000 Hours)	Theoretical L70 (Hours)
25°C	> 94%	> 350,000
40°C	> 93%	> 250,000
50°C*	> 90%	> 170,000

\* 50°C lumen maintenance data applies to 530mA and 700mA drive currents.

## ORDERING INFORMATION

Sample Number: GLEON-AE-04-LED-E1-T3-GM-700

Product Family <sup>1,2</sup>	Light Engine	Number of Light Squares <sup>3</sup>	Lamp Type	Voltage	Distribution	Color	Mounting
GLEON=Galleon	AE=1A Drive Current	01=1 02=2 03=3 04=4 05=5 06=6 07=7 <sup>4</sup> 08=8 <sup>4</sup> 09=9 <sup>5</sup> 10=10 <sup>5</sup>	LED=Solid State Light Emitting Diodes	E1=(120-277V) 347=347V <sup>6</sup> 480=480V <sup>6,7</sup>	T2=Type II T2R=Type II Roadway T3=Type III T3R=Type III Roadway T4FT=Type IV Forward Throw T4W=Type IV Wide 5N0=Type V Narrow 5M0=Type V Square Medium 5W0=Type V Square Wide SL2=Type II w/Spill Control SL3=Type III w/Spill Control SL4=Type IV w/Spill Control SLL=90° Spill Light Eliminator Left SLR=90° Spill Light Eliminator Right RW=Rectangular Wide Type I AFL=Automotive Frontline	AP=Grey BZ=Bronze BK=Black DP=Dark Platinum GM=Graphite Metallic WH=White	[Blank]=Arm for Round or Square Pole EA=Extended Arm <sup>8</sup> MA=Mast Arm Adapter <sup>9</sup> WM=Wall Mount QM=Quick Mount Arm (Standard Length) <sup>10</sup> QMEA=Quick Mount Arm (Extended Length) <sup>11</sup>
Options (Add as Suffix)					Accessories (Order Separately)		
2L=Two Circuits <sup>12,13</sup> 7030=70 CRI / 3000K <sup>14</sup> 8030=80 CRI / 3000K <sup>15</sup> 7050=70 CRI / 5000K <sup>16</sup> 7060=70 CRI / 6000K <sup>14</sup> 530=Drive Current Factory Set to 530mA <sup>18</sup> 700=Drive Current Factory Set to 700mA <sup>18</sup> P=Button Type Photocontrol (120, 208, 240 or 277V) PER7=NEMA 7-PIN Twistlock Photocontrol Receptacle R=NEMA Twistlock Photocontrol Receptacle HA=50°C High Ambient <sup>13,17</sup> MS/DIM-L08=Motion Sensor for Dimming Operation, Maximum 8' Mounting Height <sup>18,19,20,21,22</sup> MS/DIM-L20=Motion Sensor for Dimming Operation, 9' - 20' Mounting Height <sup>18,19,20,21,22</sup> MS/DIM-L40W=Motion Sensor for Dimming Operation, 21' - 40' Mounting Height (Wide Range) <sup>18,19,20,21,22</sup> MS/X-L08=Bi-Level Motion Sensor, Maximum 8' Mounting Height <sup>18,19,20,21,22,25</sup> MS/X-L20=Bi-Level Motion Sensor, 9' - 20' Mounting Height <sup>18,19,20,21,23,25</sup> MS/X-L40=Bi-Level Motion Sensor, 21' - 40' Mounting Height <sup>18,19,20,21,24,25</sup> MS/X-L40W=Bi-Level Motion Sensor, 21' - 40' Mounting Height (Wide Range) <sup>18,19,20,21,25,25</sup> MS-L08=Motion Sensor for ON/OFF Operation, Maximum 8' Mounting Height <sup>18,19,20,21,22</sup> MS-L20=Motion Sensor for ON/OFF Operation, 9' - 20' Mounting Height <sup>18,19,20,21,23</sup> MS-L40=Motion Sensor for ON/OFF Operation, 21' - 40' Mounting Height <sup>18,19,20,21,24</sup> MS-L40W=Motion Sensor for ON/OFF Operation, 21' - 40' Mounting Height (Wide Range) <sup>18,19,20,25</sup> DIMRF-LW=LumaWatt Wireless Sensor, Wide Lens for 8' - 16' Mounting Height <sup>27</sup> DIMRF-LN=LumaWatt Wireless Sensor, Narrow Lens for 16' - 40' Mounting Height <sup>27</sup> L90=Optics Rotated 90° Left R90=Optics Rotated 90° Right MT=Factory Installed Mesh Top TH=Tool-less Door Hardware LCF=Light Square Trim Plate Painted to Match Housing <sup>28</sup> HSS=Factory Installed House Side Shield <sup>29</sup> CE=CE Marking <sup>30</sup>					OA/RA1016=NEMA Photocontrol Multi-Tap - 105-285V OA/RA1027=NEMA Photocontrol - 480V OA/RA1201=NEMA Photocontrol - 347V OA/RA1013=Photocontrol Shorting Cap OA/RA1014=120V Photocontrol MA1252=10kV Surge Module Replacement MA1036-XX=Single Tenon Adapter for 2-3/8" O.D. Tenon MA1037-XX=2 @ 180° Tenon Adapter for 2-3/8" O.D. Tenon MA1197-XX=3 @ 120° Tenon Adapter for 2-3/8" O.D. Tenon MA1188-XX=4 @ 90° Tenon Adapter for 2-3/8" O.D. Tenon MA1189-XX=2 @ 90° Tenon Adapter for 2-3/8" O.D. Tenon MA1190-XX=3 @ 90° Tenon Adapter for 2-3/8" O.D. Tenon MA1191-XX=2 @ 120° Tenon Adapter for 2-3/8" O.D. Tenon MA1038-XX=Single Tenon Adapter for 3-1/2" O.D. Tenon MA1039-XX=2 @ 180° Tenon Adapter for 3-1/2" O.D. Tenon MA1192-XX=3 @ 120° Tenon Adapter for 3-1/2" O.D. Tenon MA1193-XX=4 @ 90° Tenon Adapter for 3-1/2" O.D. Tenon MA1194-XX=2 @ 90° Tenon Adapter for 3-1/2" O.D. Tenon MA1195-XX=3 @ 90° Tenon Adapter for 3-1/2" O.D. Tenon FSIR-100=Wireless Configuration Tool for Occupancy Sensor <sup>31</sup> GLEON-MT1=Field Installed Mesh Top for 1-4 Light Squares GLEON-MT2=Field Installed Mesh Top for 5-6 Light Squares GLEON-MT3=Field Installed Mesh Top for 7-8 Light Squares GLEON-MT4=Field Installed Mesh Top for 9-10 Light Squares GLEON-QM=Quick Mount Arm Kit <sup>10</sup> GLEON-QM-EA=Quick Mount Extended Length Arm Kit <sup>11</sup> LS/HSS=Field Installed House Side Shield <sup>29,32</sup>		

## NOTES:

- Customer is responsible for engineering analysis to confirm pole and fixture compatibility for all applications. Refer to our white paper WP513001EN for additional support information.
- DesignLights Consortium™ Qualified. Refer to [www.designlights.org](http://www.designlights.org) Qualified Products List under Family Models for details.
- Standard 4000K CCT and minimum 70 CRI.
- Not compatible with extended quick mount arm (QMEA).
- Not compatible with standard quick mount arm (QM) or extended quick mount arm (QMEA).
- Requires the use of a step down transformer when combined with MS/DIM, MS/X or DIMRF.
- Only for use with 480V Wye systems. Per NEC, not for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase High Leg Delta and Three Phase Corner Grounded Delta systems).
- May be required when two or more luminaires are oriented on a 90° or 120° drilling pattern. Refer to arm mounting requirement table.
- Factory installed.
- Maximum 8 light squares.
- Maximum 6 light squares.
- 2L is not available with MS/X or MS/DIM at 347V or 480V. 2L in AE-02 through AE-04 requires a larger housing, normally used for AE-05 or AE-06. Extended arm option may be required when mounting two or more fixtures per pole at 90° or 120°. Refer to arm mounting requirement table.
- Not available with LumaWatt wireless sensors.
- Extended lead times apply. Use dedicated IES files for 3000K and 6000K when performing layouts. These files are published on the Galleon luminaire product page on the website.
- Extended lead times apply. For 8030, factor 7030 IES files x .92 (8% lumen loss). For 7050, use 7060 IES files.
- 1 Amp standard. Use dedicated IES files for 530mA and 700mA when performing layouts. These files are published on the Galleon luminaire product page on the website.
- 50°C lumen maintenance data applies to 530mA and 700mA drive currents.
- Consult factory for more information.
- Utilizes Integral step-down transformer when 347V or 480V is selected.
- The FSIR-100 accessory is required to adjust parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative at Eaton for more information.
- Not available with HA option.
- Approximately 22" detection diameter at 8' mounting height.
- Approximately 40" detection diameter at 20' mounting height.
- Approximately 60" detection diameter at 40' mounting height.
- Approximately 100" detection diameter at 40' mounting height.
- Replace X with number of light squares operating in low output mode.
- LumaWatt wireless sensors are factory installed only requiring network components RF-EM-1, RF-GW-1 and RF-ROUT-1 in appropriate quantities. See [www.eaton.com/lighting](http://www.eaton.com/lighting) for LumaWatt application information.
- Not available with house side shield (HSS).
- Only for use with SL2, SL3, SL4 and AFL distributions. The Light Square trim plate is painted black when the HSS option is selected.
- CE is not available with the DIMRF, MS, MS/X, MS/DIM, P, R or PER7 options. Available in 120-277V only.
- This tool enables adjustment of parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative at Eaton for more information.
- One required for each Light Square.

## DESCRIPTION

The Galleon™ LED luminaire delivers exceptional performance in a highly scalable, low-profile design. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP66 rated and UL/cUL Listed for wet locations.

Catalog #		Type	LA-III-SL-HS
Project		Date	
Comments			
Prepared by			

## SPECIFICATION FEATURES

### Construction

Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy-wall, die-cast aluminum end caps enclose housing and die-cast aluminum heat sinks. A unique, patent pending interlocking housing and heat sink provides scalability with superior structural rigidity. 3G vibration tested. Optional tool-less hardware available for ease of entry into electrical chamber. Housing is IP66 rated.

### Optics

Patented, high-efficiency injection-molded AccuLED Optics technology. Optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT 70 CRI. Optional 6000K CCT and 3000K CCT.

### Electrical

LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Standard with 0-10V dimming. Shipped standard with Eaton proprietary circuit module designed to withstand 10kV of transient line surge. The Galleon LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Light Squares are IP66 rated. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 530mA and 700mA drive currents.

### Mounting

**STANDARD ARM MOUNT:** Extruded aluminum arm includes internal bolt guides allowing for easy positioning of fixture during assembly. When mounting two or more luminaires at 90° and 120° apart, the EA extended arm may be required. Refer to the arm mounting requirement table.

Round pole adapter included.

For wall mounting, specify wall mount bracket option. 3G vibration rated. **QUICK MOUNT ARM:** Arm is bolted directly to the pole and the fixture slides onto the quick mount arm and is secured via a single fastener, facilitating quick and easy installation. The versatile, patent pending, quick mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8". Removal of the door on the quick mount arm enables wiring of the fixture without having to access the driver compartment. A knock-out enables round pole mounting.

### Finish

Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Heat sink is powder coated black. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available.

### Warranty

Five-year warranty.

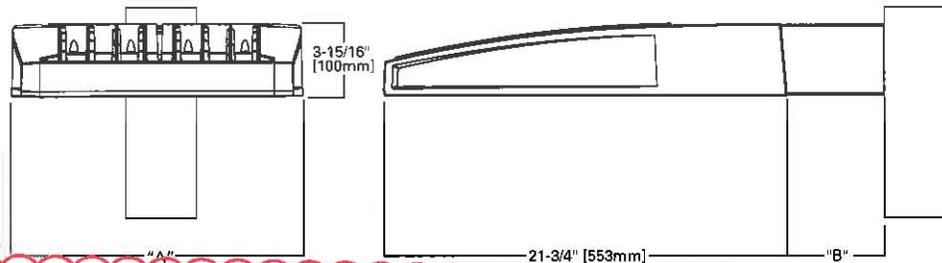


## GLEON GALLEON LED

1-10 Light Squares  
Solid State LED

AREA/SITE LUMINAIRE

## DIMENSIONS



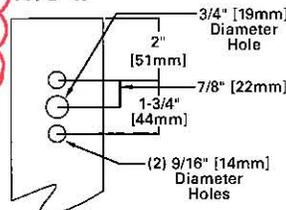
### DIMENSION DATA

Number of Light Squares	"A" Width	"B" Standard Arm Length	"B" Optional Arm Length <sup>1</sup>	Weight with Arm (lbs.)	EPA with Arm <sup>2</sup> (Sq. Ft.)
1-4	15-1/2" (394mm)	7" (178mm)	10" (254mm)	33 (15.0 kgs.)	0.96
5-6	21-3/8" (549mm)	7" (178mm)	10" (254mm)	44 (20.0 kgs.)	1.00
7-8	27-5/8" (702mm)	7" (178mm)	13" (330mm)	54 (24.5 kgs.)	1.07
9-10	33-3/4" (857mm)	7" (178mm)	16" (406mm)	63 (28.6 kgs.)	1.12

NOTES: 1. Optional arm length to be used when mounting two fixtures at 90° on a single pole. 2. EPA calculated with optional arm length.

### DRILLING PATTERN

#### TYPE "N"



### CERTIFICATION DATA

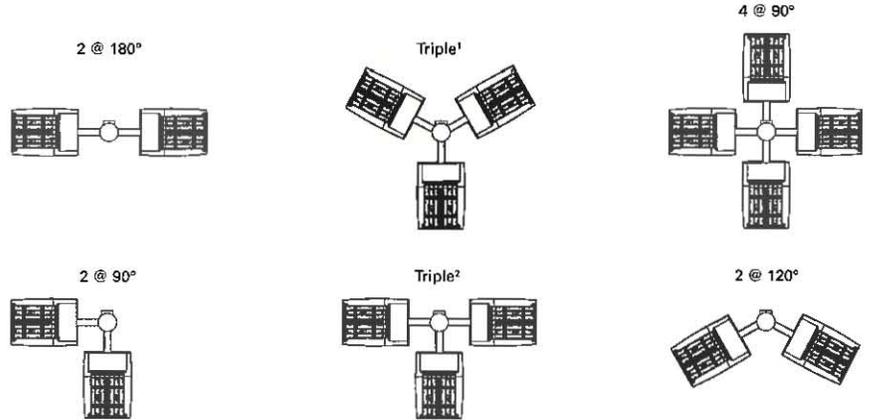
UL/cUL Wet Location Listed  
ISO 9001  
LM79 / LM80 Compliant  
3G Vibration Rated  
IP66 Rated  
DesignLights Consortium™ Qualified\*

### ENERGY DATA

Electronic LED Driver  
>0.9 Power Factor  
<20% Total Harmonic Distortion  
120V-277V 50/60Hz  
347V & 480V 60Hz  
-40°C Min. Temperature  
40°C Max. Temperature  
50°C Max. Temperature (HA Option)

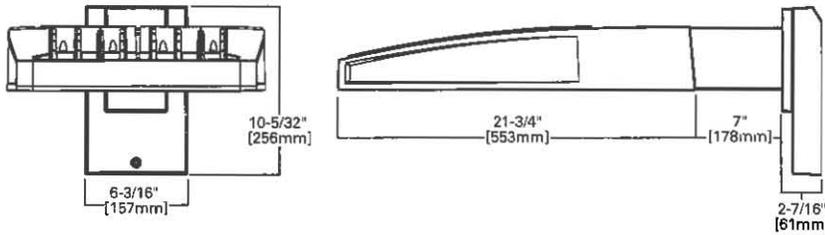
ARM MOUNTING REQUIREMENTS

Configuration	90° Apart	120° Apart
GLEON-AE-01	7" Arm (Standard)	7" Arm (Standard)
GLEON-AE-02	7" Arm (Standard)	7" Arm (Standard)
GLEON-AE-03	7" Arm (Standard)	7" Arm (Standard)
GLEON-AE-04	7" Arm (Standard)	7" Arm (Standard)
GLEON-AE-05	10" Extended Arm (Required)	7" Arm (Standard)
GLEON-AE-06	10" Extended Arm (Required)	7" Arm (Standard)
GLEON-AE-07	13" Extended Arm (Required)	13" Extended Arm (Required)
GLEON-AE-08	13" Extended Arm (Required)	13" Extended Arm (Required)
GLEON-AE-09	16" Extended Arm (Required)	16" Extended Arm (Required)
GLEON-AE-10	16" Extended Arm (Required)	16" Extended Arm (Required)

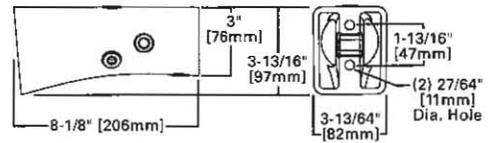


NOTES: 1 Round poles are 3 @ 120°. Square poles are 3 @ 90°. 2 Round poles are 3 @ 90°.

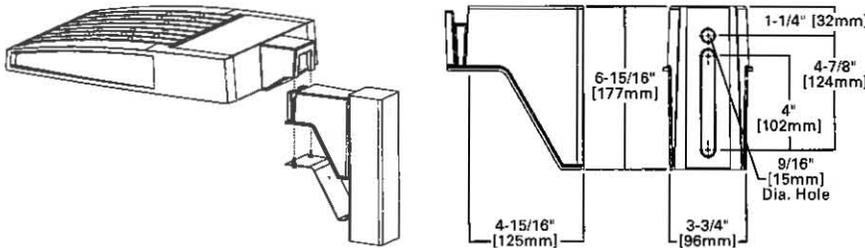
STANDARD WALL MOUNT



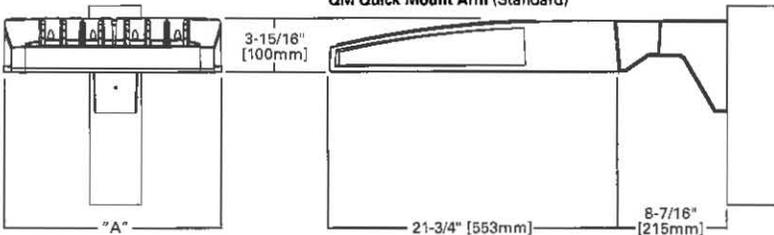
MAST ARM MOUNT



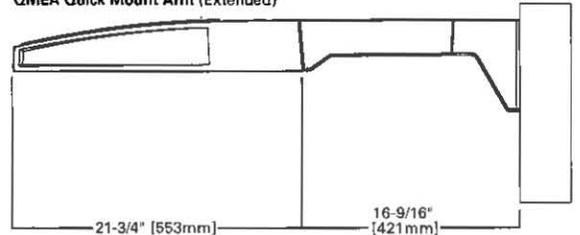
QUICK MOUNT ARM (INCLUDES FIXTURE ADAPTER)



QM Quick Mount Arm (Standard)



QMEA Quick Mount Arm (Extended)

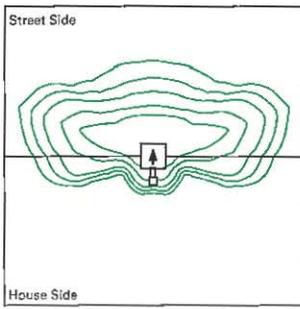


QUICK MOUNT ARM DATA

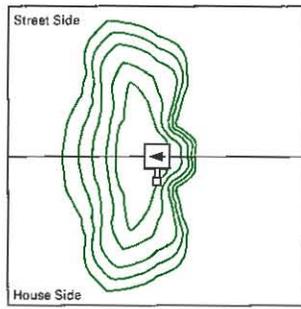
Number of Light Squares <sup>1,2</sup>	"A" Width	Weight with QM Arm (lbs.)	Weight with QMEA Arm (lbs.)	EPA (Sq. Ft.)
1-4	15-1/2" (394mm)	35 (15.91 kgs.)	38 (17.27 kgs.)	1.11
5-6 <sup>3</sup>	21-5/8" (549mm)	46 (20.91 kgs.)	49 (22.27 kgs.)	
7-8	27-5/8" (702mm)	56 (25.45 kgs.)	59 (26.82 kgs.)	

NOTES: 1 QM option available with 1-8 light square configurations. 2 QMEA option available with 1-8 light square configurations. 3 QMEA arm to be used when mounting two fixtures at 90° on a single pole.

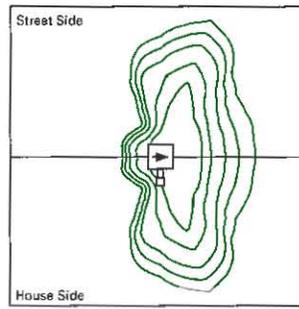
**OPTIC ORIENTATION**



**Standard**

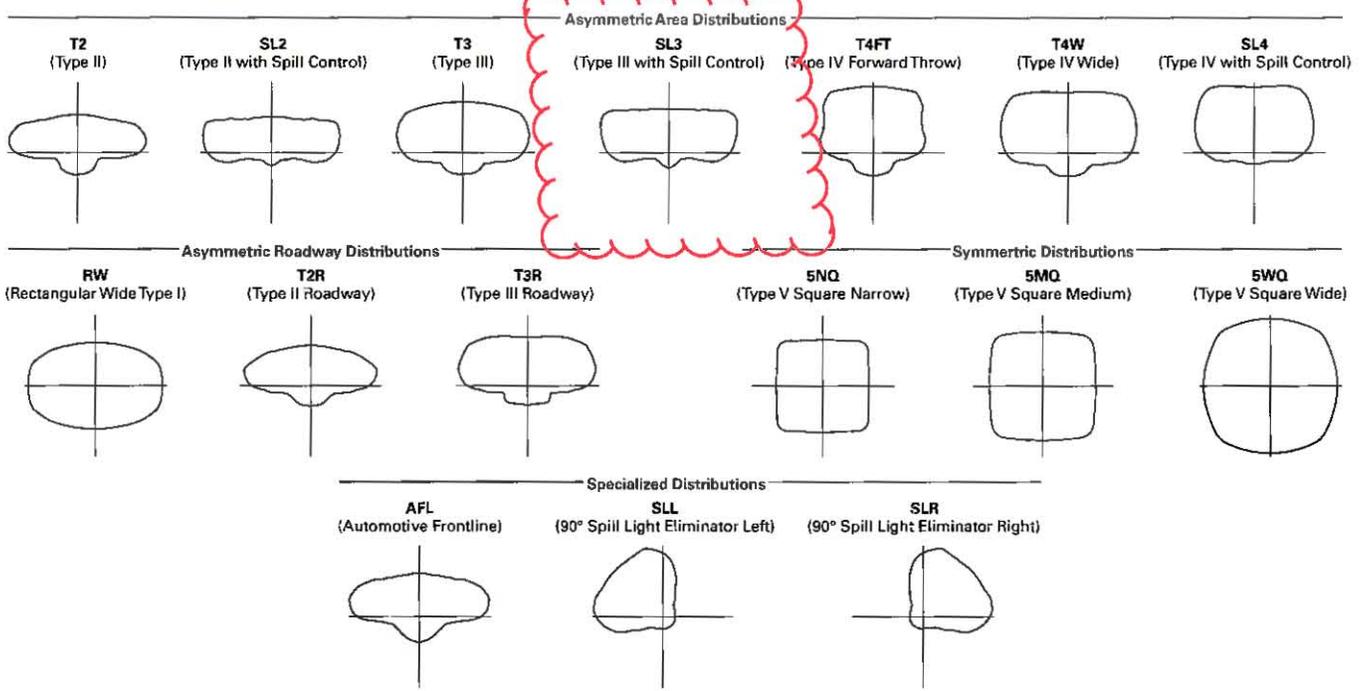


**Optics Rotated Left @ 90° [L90]**



**Optics Rotated Right @ 90° [R90]**

**OPTICAL DISTRIBUTIONS**



NOMINAL POWER AND LUMENS (1A)

Number of Light Squares	1	2	3	4	5	6	7	8	9	10	
Drive Current	1A	1A	1A	1A	1A	1A	1A	1A	1A	1A	
Nominal Power (Watts)	56	107	157	213	264	315	370	421	475	528	
Input Current @ 120V (A)	0.47	0.90	1.31	1.79	2.21	2.64	3.09	3.51	3.96	4.41	
Input Current @ 208V (A)	0.28	0.51	0.74	1.02	1.25	1.48	1.76	1.99	2.22	2.50	
Input Current @ 240V (A)	0.25	0.45	0.65	0.90	1.10	1.30	1.55	1.75	1.95	2.20	
Input Current @ 277V (A)	0.23	0.41	0.59	0.82	1.00	1.18	1.41	1.59	1.77	2.00	
Optics											
T2	Lumens	5,272	10,303	15,373	20,313	25,168	30,118	35,618	40,357	45,018	49,842
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5
T2R	Lumens	5,597	10,938	16,321	21,565	26,719	31,974	37,813	42,844	47,792	52,914
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B4-U0-G4	B4-U0-G5
T3	Lumens	5,374	10,501	15,669	20,704	25,652	30,697	36,303	41,134	45,884	50,802
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5
T3R	Lumens	5,493	10,735	16,017	21,164	26,222	31,379	37,110	42,048	46,904	51,930
	BUG Rating	B1-U0-G2	B1-U0-G2	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
T4FT	Lumens	5,405	10,562	15,760	20,824	25,801	30,875	36,514	41,372	46,150	51,096
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
T4W	Lumens	5,335	10,426	15,556	20,555	25,468	30,476	36,042	40,838	45,554	50,436
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
SL2	Lumens	5,263	10,285	15,347	20,278	25,124	30,066	35,556	40,288	44,940	49,756
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5
SL3	Lumens	5,373	10,500	15,667	20,701	25,649	30,693	36,298	41,128	45,878	50,794
	BUG Rating	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
SL4	Lumens	5,105	9,975	14,800	19,569	24,370	29,163	34,485	39,078	43,591	48,262
	BUG Rating	B1-U0-G2	B1-U0-G3	B1-U0-G3	B2-U0-G4	B2-U0-G4	B2-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
5NQ	Lumens	5,542	10,830	16,160	21,352	26,455	31,658	37,439	42,421	47,320	52,392
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3	B5-U0-G4
5MQ	Lumens	5,644	11,029	16,457	21,745	26,942	32,241	38,128	43,202	48,191	53,356
	BUG Rating	B3-U0-G1	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G5
5WQ	Lumens	5,659	11,059	16,501	21,803	27,014	32,327	38,230	43,317	48,320	53,498
	BUG Rating	B3-U0-G1	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G5	B5-U0-G5	B5-U0-G5
SLL/SLR	Lumens	4,722	9,227	13,767	18,191	22,539	26,971	31,897	36,141	40,315	44,635
	BUG Rating	B1-U0-G2	B1-U0-G3	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
RW	Lumens	5,492	10,732	16,014	21,159	26,216	31,372	37,101	42,038	46,893	51,918
	BUG Rating	B2-U0-G1	B3-U0-G1	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4
AFL	Lumens	5,512	10,771	16,072	21,236	26,311	31,486	37,236	42,191	47,063	52,107
	BUG Rating	B1-U0-G1	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G4

\* Nominal data for 4000K CCT.

LUMEN MULTIPLIER

Ambient Temperature	Lumen Multiplier
0°C	1.02
10°C	1.01
25°C	1.00
40°C	0.99
50°C	0.97

LUMEN MAINTENANCE

Ambient Temperature	TM-21 Lumen Maintenance (60,000 Hours)	Theoretical L70 (Hours)
25°C	> 94%	> 350,000
40°C	> 93%	> 250,000
50°C*	> 90%	> 170,000

\* 50°C lumen maintenance data applies to 530mA and 700mA drive currents.

NOMINAL POWER AND LUMENS (700MA)

Number of Light Squares	1	2	3	4	5	6	7	8	9	10	
Drive Current	700mA	700mA	700mA	700mA	700mA	700mA	700mA	700mA	700mA	700mA	
Nominal Power (Watts)	38	72	105	138	176	210	243	276	310	348	
Input Current @ 120V (A)	0.32	0.59	0.86	1.14	1.45	1.72	2	2.28	2.58	2.86	
Input Current @ 208V (A)	0.21	0.36	0.51	0.67	0.87	1.02	1.18	1.34	1.53	1.69	
Input Current @ 240V (A)	0.19	0.32	0.45	0.59	0.77	0.90	1.04	1.18	1.35	1.49	
Input Current @ 277V (A)	0.20	0.29	0.40	0.51	0.69	0.80	0.91	1.02	1.20	1.31	
Optics											
T2	Lumens	3,854	7,531	11,237	14,847	18,395	22,013	26,033	29,497	32,904	36,430
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G4
T2R	Lumens	4,091	7,995	11,829	15,762	19,529	23,370	27,638	31,316	34,932	38,676
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4
T3	Lumens	3,928	7,676	11,453	15,133	18,750	22,497	26,534	30,065	33,537	37,132
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5
T3R	Lumens	4,015	7,846	11,707	15,469	19,166	22,936	27,124	30,733	34,283	37,957
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5
T4FT	Lumens	3,951	7,720	11,519	15,231	18,858	22,567	26,688	30,240	33,732	37,347
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5
T4W	Lumens	3,900	7,620	11,370	15,024	18,615	22,276	26,343	29,849	33,296	36,864
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5
SL2	Lumens	3,847	7,518	11,217	14,821	18,364	21,975	25,988	29,447	32,847	36,368
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5
SL3	Lumens	3,927	7,675	11,451	15,131	18,747	22,434	26,531	30,061	33,533	37,126
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G3	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
SL4	Lumens	3,731	7,292	10,880	14,376	17,812	21,315	25,208	28,562	31,861	35,275
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B2-U0-G4	B2-U0-G4	B2-U0-G4	B2-U0-G5	B2-U0-G5	B3-U0-G5
5NQ	Lumens	4,051	7,916	11,811	15,606	19,336	23,139	27,355	31,006	34,587	38,294
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G2	B5-U0-G3	B5-U0-G3
5MQ	Lumens	4,125	8,062	12,029	15,894	19,692	23,565	27,869	31,577	35,224	38,999
	BUG Rating	B2-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4
5WQ	Lumens	4,136	8,083	12,061	15,936	19,745	23,628	27,943	31,661	35,318	39,103
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G4
SLL/SLR	Lumens	3,451	6,744	10,063	13,296	16,474	19,714	23,314	26,416	29,467	32,625
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G3	B2-U0-G3	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
RW	Lumens	4,014	7,844	11,704	15,465	19,162	22,930	27,118	30,726	34,274	37,948
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3
RFL	Lumens	4,029	7,873	11,747	15,522	19,231	23,014	27,216	30,838	34,399	38,026
	BUG Rating	B1-U0-G1	B1-U0-G1	B2-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G3

\* Nominal data for 4000K CCT.

LUMEN MULTIPLIER

Ambient Temperature	Lumen Multiplier
0°C	1.02
10°C	1.01
25°C	1.00
40°C	0.99
50°C	0.97

LUMEN MAINTENANCE

Ambient Temperature	TM-21 Lumen Maintenance (60,000 Hours)	Theoretical L70 (Hours)
25°C	> 94%	> 350,000
40°C	> 93%	> 250,000
50°C*	> 90%	> 170,000

\* 50°C lumen maintenance data applies to 530mA and 700mA drive currents.

## NOMINAL POWER AND LUMENS (530mA)

Number of Light Squares		1	2	3	4	5	6	7	8	9	10
Drive Current		530mA									
Nominal Power (Watts)		30	54	80	105	130	159	184	209	234	259
Input Current @ 120V (A)		0.25	0.45	0.66	0.86	1.07	1.32	1.52	1.72	1.93	2.14
Input Current @ 208V (A)		0.17	0.28	0.39	0.51	0.63	0.78	0.9	1.02	1.14	1.26
Input Current @ 240V (A)		0.17	0.25	0.35	0.45	0.55	0.70	0.80	0.90	1.00	1.10
Input Current @ 277V (A)		0.19	0.24	0.32	0.40	0.49	0.64	0.72	0.80	0.89	0.98
Optics											
T2	Lumens	3,079	6,017	8,978	11,862	14,697	17,588	20,800	23,567	26,289	29,106
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4
T2R	Lumens	3,269	6,380	9,531	12,593	15,603	18,672	22,082	25,020	27,909	30,900
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G4
T3	Lumens	3,138	6,133	9,150	12,091	14,980	17,926	21,200	24,021	26,795	29,667
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4
T3R	Lumens	3,208	6,269	9,354	12,359	15,313	18,325	21,671	24,555	27,390	30,326
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G4
T4FT	Lumens	3,156	6,168	9,203	12,161	15,067	18,030	21,323	24,160	26,950	29,639
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5
T4W	Lumens	3,116	6,088	9,084	12,004	14,872	17,797	21,047	23,848	26,602	29,453
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5
SL2	Lumens	3,074	6,006	8,962	11,842	14,672	17,558	20,764	23,527	26,244	29,056
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4
SL3	Lumens	3,138	6,132	9,149	12,089	14,978	17,924	21,197	24,018	26,791	29,662
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B2-U0-G3	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G4
SL4	Lumens	2,981	5,826	8,693	11,486	14,231	17,030	20,140	22,820	25,456	28,184
	BUG Rating	B0-U0-G1	B1-U0-G2	B1-U0-G3	B1-U0-G3	B1-U0-G3	B2-U0-G3	B2-U0-G4	B2-U0-G4	B2-U0-G4	B2-U0-G5
5NQ	Lumens	3,236	6,354	9,437	12,469	15,449	18,487	21,063	24,773	27,634	30,595
	BUG Rating	B1-U0-G0	B2-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G2
5MQ	Lumens	3,296	6,441	9,610	12,698	15,733	18,828	22,266	25,229	28,142	31,158
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3	B5-U0-G3
5WQ	Lumens	3,305	6,458	9,636	12,732	15,775	18,876	22,325	25,296	28,217	31,241
	BUG Rating	B2-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4
SLL/SLR	Lumens	2,757	5,388	8,040	10,623	13,162	15,751	18,627	21,105	23,543	26,066
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G3	B2-U0-G3	B2-U0-G3	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G4
RW	Lumens	3,207	6,267	9,351	12,356	15,309	18,320	21,666	24,549	27,384	30,319
	BUG Rating	B2-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3
AFL	Lumens	3,219	6,290	9,385	12,401	15,365	18,387	21,745	24,638	27,484	30,429
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G1	B2-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2	B3-U0-G2	B3-U0-G3	B3-U0-G3

\* Nominal data for 4000K CCT.

## LUMEN MULTIPLIER

Ambient Temperature	Lumen Multiplier
0°C	1.02
10°C	1.01
25°C	1.00
40°C	0.99
50°C	0.97

## LUMEN MAINTENANCE

Ambient Temperature	TM-21 Lumen Maintenance (60,000 Hours)	Theoretical L70 (Hours)
25°C	> 94%	> 350,000
40°C	> 93%	> 250,000
50°C*	> 90%	> 170,000

\* 50°C lumen maintenance data applies to 530mA and 700mA drive currents.

ORDERING INFORMATION

Sample Number: GLEON-AE-04-LED-E1-T3-GM-700

Product Family <sup>1,2</sup>	Light Engine	Number of Light Squares <sup>3</sup>	Lamp Type	Voltage	Distribution	Color	Mounting
GLEON=Galleon	AE=1A Drive Current	01=1 02=2 03=3 04=4 05=5 06=6 07=7 <sup>4</sup> 08=8 <sup>4</sup> 09=9 <sup>5</sup> 10=10 <sup>5</sup>	LED=Solid State Light Emitting Diodes	E1=(120-277V) 347=347V <sup>6</sup> 480=480V <sup>6,7</sup>	T2=Type II T2R=Type II Roadway T3=Type III T3R=Type III Roadway T4FT=Type IV Forward Throw T4W=Type IV Wide 5NQ=Type V Narrow 5MQ=Type V Square Medium 5WQ=Type V Square Wide SL2=Type II w/Spill Control SL3=Type III w/Spill Control SL4=Type IV w/Spill Control SLL=90° Spill Light Eliminator Left SLR=90° Spill Light Eliminator Right RW=Rectangular Wide Type I AFL=Automotive Frontline	AP=Grey BZ=Bronze BK=Black DP=Dark Platinum GM=Graphite Metallic WH=White	[Blank]=Arm for Round or Square Pole EA=Extended Arm <sup>8</sup> MA=Mast Arm Adapter <sup>9</sup> WM=Wall Mount QM=Quick Mount Arm (Standard Length) <sup>10</sup> QMEA=Quick Mount Arm (Extended Length) <sup>11</sup>

Options (Add as Suffix)	Accessories (Order Separately)
<p>2L=Two Circuits <sup>12,13</sup> 7030=70 CRI / 3000K <sup>14</sup> 8030=80 CRI / 3000K <sup>15</sup> 7050=70 CRI / 5000K <sup>15</sup> 7060=70 CRI / 6000K <sup>14</sup> 530=Drive Current Factory Set to 530mA <sup>16</sup> 700=Drive Current Factory Set to 700mA <sup>16</sup> P=Button Type Photocontrol (120, 208, 240 or 277V) PER7=NEMA 7-PIN Twistlock Photocontrol Receptacle R=NEMA Twistlock Photocontrol Receptacle HA=50°C High Ambient <sup>19,17</sup> MS/DIM-L08=Motion Sensor for Dimming Operation, Maximum 8' Mounting Height <sup>18,19,20,21,22</sup> MS/DIM-L20=Motion Sensor for Dimming Operation, 9' - 20' Mounting Height <sup>18,19,20,21,22</sup> MS/DIM-L40=Motion Sensor for Dimming Operation, 21' - 40' Mounting Height <sup>18,19,20,21</sup> MS/DIM-L40W=Motion Sensor for Dimming Operation, 21' - 40' Mounting Height (Wide Range) <sup>18,19,20,21,25</sup> MS/X-L08=Bi-Level Motion Sensor, Maximum 8' Mounting Height <sup>18,19,20,21,22,26</sup> MS/X-L20=Bi-Level Motion Sensor, 9' - 20' Mounting Height <sup>18,19,20,21,22,26</sup> MS/X-L40=Bi-Level Motion Sensor, 21' - 40' Mounting Height <sup>18,19,20,21,24,26</sup> MS/X-L40W=Bi-Level Motion Sensor, 21' - 40' Mounting Height (Wide Range) <sup>18,19,20,21,25,26</sup> MS-L08=Motion Sensor for ON/OFF Operation, Maximum 8' Mounting Height <sup>18,19,20,21,22</sup> MS-L20=Motion Sensor for ON/OFF Operation, 9' - 20' Mounting Height <sup>18,19,20,21,22</sup> MS-L40=Motion Sensor for ON/OFF Operation, 21' - 40' Mounting Height <sup>18,19,20,21,24</sup> MS-L40W=Motion Sensor for ON/OFF Operation, 21' - 40' Mounting Height (Wide Range) <sup>18,19,20,22</sup> DIMRF-LW=LumaWatt Wireless Sensor, Wide Lens for 8' - 16' Mounting Height <sup>27</sup> DIMRF-LN=LumaWatt Wireless Sensor, Narrow Lens for 16' - 40' Mounting Height <sup>27</sup> L90=Optics Rotated 90° Left R90=Optics Rotated 90° Right MT=Factory Installed Mesh Top TH=Tool-less Door Hardware LCF=Light Square Trim Plate Painted to Match Housing <sup>28</sup> HSS=Factory Installed House Side Shield <sup>29</sup> CE=CE Marking <sup>30</sup></p>	<p>OA/RA1016=NEMA Photocontrol Multi-Tap - 105-285V OA/RA1027=NEMA Photocontrol - 480V OA/RA1201=NEMA Photocontrol - 347V OA/RA1013=Photocontrol Shorting Cap OA/RA1014=120V Photocontrol MA1252=10kV Surge Module Replacement MA1036-XX=Single Tenon Adapter for 2-3/8" O.D. Tenon MA1037-XX=2 @ 180° Tenon Adapter for 2-3/8" O.D. Tenon MA1197-XX=3 @ 120° Tenon Adapter for 2-3/8" O.D. Tenon MA1188-XX=4 @ 90° Tenon Adapter for 2-3/8" O.D. Tenon MA1189-XX=2 @ 90° Tenon Adapter for 2-3/8" O.D. Tenon MA1190-XX=3 @ 90° Tenon Adapter for 2-3/8" O.D. Tenon MA1191-XX=2 @ 120° Tenon Adapter for 2-3/8" O.D. Tenon MA1038-XX=Single Tenon Adapter for 3-1/2" O.D. Tenon MA1039-XX=2 @ 180° Tenon Adapter for 3-1/2" O.D. Tenon MA1192-XX=3 @ 120° Tenon Adapter for 3-1/2" O.D. Tenon MA1193-XX=4 @ 90° Tenon Adapter for 3-1/2" O.D. Tenon MA1194-XX=2 @ 90° Tenon Adapter for 3-1/2" O.D. Tenon MA1195-XX=3 @ 90° Tenon Adapter for 3-1/2" O.D. Tenon FSIR-100=Wireless Configuration Tool for Occupancy Sensor <sup>31</sup> GLEON-MT1=Field Installed Mesh Top for 1-4 Light Squares GLEON-MT2=Field Installed Mesh Top for 5-8 Light Squares GLEON-MT3=Field Installed Mesh Top for 7-8 Light Squares GLEON-MT4=Field Installed Mesh Top for 9-10 Light Squares GLEON-QM=Quick Mount Arm Kit <sup>10</sup> GLEON-QM-EA=Quick Mount Extended Length Arm Kit <sup>11</sup> LS/HSS=Field Installed House Side Shield <sup>29,32</sup></p>

- NOTES:
- Customer is responsible for engineering analysis to confirm pole and fixture compatibility for all applications. Refer to our white paper WP513001EN for additional support information.
  - DesignLights Consortium™ Qualified. Refer to [www.designlights.org](http://www.designlights.org) Qualified Products List under Family Models for details.
  - Standard 4000K CCT and minimum 70 CRI.
  - Not compatible with extended quick mount arm (QMEA).
  - Not compatible with standard quick mount arm (QM) or extended quick mount arm (QMEA).
  - Requires the use of a step down transformer when combined with MS/DIM, MS/X or DIMRF.
  - Only for use with 480V Wye systems. Per NEC, not for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase High Leg Delta and Three Phase Corner Grounded Delta systems).
  - May be required when two or more luminaires are oriented on a 90° or 120° drilling pattern. Refer to arm mounting requirement table.
  - Factory installed.
  - Maximum 8 light squares.
  - Maximum 6 light squares.
  - 2L is not available with MS/X or MS/DIM at 347V or 480V. 2L in AE-02 through AE-04 requires a larger housing, normally used for AE-05 or AE-06. Extended arm option may be required when mounting two or more fixtures per pole at 90° or 120°. Refer to arm mounting requirement table.
  - Not available with LumaWatt wireless sensors.
  - Extended lead times apply. Use dedicated IES files for 3000K and 6000K when performing layouts. These files are published on the Galleon luminaire product page on the website.
  - Extended lead times apply. For 8030, factor 7030 IES files x .92 (8% lumen loss). For 7050, use 7060 IES files.
  - 1 Amp standard. Use dedicated IES files for 530mA and 700mA when performing layouts. These files are published on the Galleon luminaire product page on the website.
  - 50°C lumen maintenance data applies to 530mA and 700mA drive currents.
  - Consult factory for more information.
  - Utilizes internal step-down transformer when 347V or 480V is selected.
  - The FSIR-100 accessory is required to adjust parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative at Eaton for more information.
  - Not available with HA option.
  - Approximately 22' detection diameter at 8' mounting height.
  - Approximately 40' detection diameter at 20' mounting height.
  - Approximately 60' detection diameter at 40' mounting height.
  - Approximately 100' detection diameter at 40' mounting height.
  - Replace X with number of light squares operating in low output mode.
  - LumaWatt wireless sensors are factory installed only requiring network components RF-EM-1, RF-GW-1 and RF-ROUT-1 in appropriate quantities. See [www.eaton.com/lighting](http://www.eaton.com/lighting) for LumaWatt application information.
  - Not available with house side shield (HSS).
  - Only for use with SL2, SL3, SL4 and AFL distributions. The Light Square trim plate is painted black when the HSS option is selected.
  - CE is not available with the DIMRF, MS, MS/X, MS/DIM, P, R or PER7 options. Available in 120-277V only.
  - This tool enables adjustment of parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative at Eaton for more information.
  - One required for each Light Square.

## DESCRIPTION

The patented Lumark Crosstour™ LED Wall Pack Series of luminaires provides an architectural style with super bright, energy efficient LEDs. The low-profile, rugged die-cast aluminum construction, universal back box, stainless steel hardware along with a sealed and gasketed optical compartment make the Crosstour impervious to contaminants. The Crosstour wall luminaire is ideal for wall/surface, inverted mount for façade/canopy illumination, post/bollard, site lighting, floodlight and low level pathway illumination including stairs. Typical applications include building entrances, multi-use facilities, apartment buildings, institutions, schools, stairways and loading docks test.

Catalog #		Type	
Project		WLA	
Comments		Date	
Prepared by			

## SPECIFICATION FEATURES

### Construction

Slim, low-profile LED design with rugged one-piece, die-cast aluminum hinged removable door and back box. Matching housing styles incorporate both a small and large design. The small housing is available in 7W and 18W. The large housing is available in the 26W model. Patent pending secure lock hinge feature allows for safe and easy tool-less electrical connections with the supplied push-in connectors. Back box includes three (3) half-inch, NPT threaded conduit entry points. The universal back box supports both the small and large forms and mounts to standard 3-1/2" to 4" round and octagonal, 4" square, single gang and masonry junction boxes. Key hole gasket allows for adaptation to junction box or wall. External fin design extracts heat from the fixture surface. One-piece silicone gasket seals door and back box. Minimum 5" wide pole for site lighting application. Not recommended for car wash applications.

### Optical

Silicone sealed optical LED chamber incorporates a custom engineered mirrored anodized reflector providing high-efficiency illumination. Optical assembly includes impact-resistant tempered glass and meets IESNA requirements for full cutoff compliance. Solid state LED Crosstour luminaires are thermally optimized with five (5) lumen packages in cool 5000K or neutral warm 3500K LED color temperature (CCT).

### Electrical

LED driver is mounted to the die-cast housing for optimal heat sinking. LED thermal management system incorporates both conduction and natural convection to transfer heat rapidly away from the LED source. 7W models operate in -40°C to 40°C [-40°F to 104°F]. 18W and 26W models operate in -40°C to 40°C [-40°F to 104°F]. High ambient 50°C models available. Crosstour luminaires maintain greater than 90% of initial

light output after 72,000 hours of operation. Three (3) half-inch NPT threaded conduit entry points allow for thru-branch wiring. Back box is an authorized electrical wiring compartment. Integral LED electronic driver incorporates surge protection. 120-277V 50/60Hz or 347V 60Hz models.

### Finish

Crosstour is protected with a Super durable TGIC carbon bronze or summit white polyester powder coat paint. Super durable TGIC powder coat paint finishes withstand extreme climate conditions while providing optimal color and gloss retention of the installed life.

### Warranty

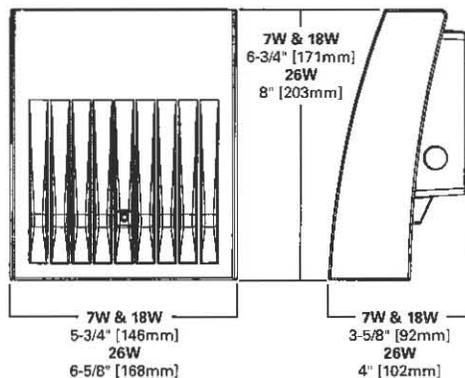
Five-year warranty.



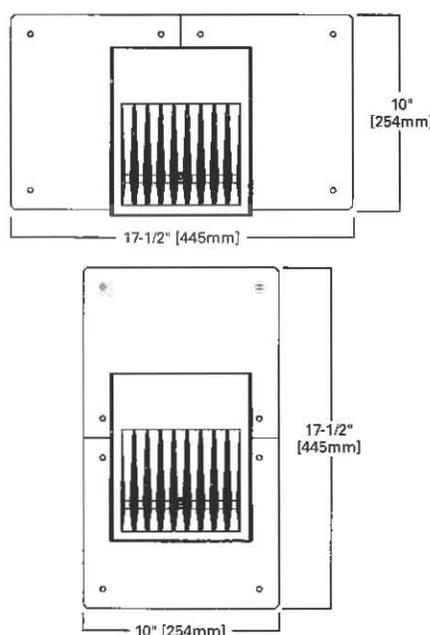
## XTOR CROSSTOUR LED

**APPLICATIONS:**  
WALL / SURFACE  
POST / BOLLARD  
LOW LEVEL  
FLOODLIGHT  
INVERTED  
SITE LIGHTING

## DIMENSIONS



## ESCUTCHEON PLATES



## CERTIFICATION DATA

UL/cUL Wet Location Listed  
LM79 / LM80 Compliant  
ROHS Compliant  
ADA Compliant  
NOM Compliant Models  
IP66 Ingressed Protection Rated  
Title 24 Compliant  
DesignLights Consortium® Qualified\*

## TECHNICAL DATA

40°C Maximum Ambient Temperature  
External Supply Wiring 90°C Minimum

## EPA

Effective Projected Area (Sq. Ft.):  
XTOR1A/XTOR2A=0.34  
XTOR3A=0.45

## SHIPPING DATA:

Approximate Net Weight:  
3.7 - 5.25 lbs. [1.7 - 2.4 kgs.]

**LUMEN MAINTENANCE**

Ambient Temperature	TM-21 Lumen Maintenance (72,000 Hours)	Theoretical L70 (Hours)
<b>XTOR1A Model</b>		
25°C	> 92%	> 290,000
40°C	> 82%	> 290,000
50°C	> 81%	> 270,000
<b>XTOR2A Model</b>		
25°C	> 91%	> 270,000
40°C	> 90%	> 260,000
50°C	> 88%	> 225,000
<b>XTOR3A Model</b>		
25°C	> 91%	> 280,000
40°C	> 91%	> 270,000
50°C	> 89%	> 240,000

**LUMENS CR/COT TABLE**

LED Information	XTOR1A	XTOR2A	XTOR2A-N	XTOR3A	XTOR3A-N
Delivered Lumens (Wall Mount)	722	1,633	1,523	2,804	2,284
Delivered Lumens (With Flood Accessory Kit) <sup>1</sup>	468	1,060	978	2,168	1,738
B.U.G. Rating <sup>2</sup>	B0-U0-G0	F1-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0
CCT (Kelvin)	5,000	5,000	3,500	5,000	3,500
CRI (Color Rendering Index)	85	85	70	85	70
Power Consumption (Watts)	7W	18W	18W	26W	26W

NOTES: 1 Includes shield and visor. 2 B.U.G. Rating does not apply to floodlighting.

**CURRENT DRAW**

Voltage	Model Series		
	XTOR1A	XTOR2A	XTOR3A
120V	0.05A	0.15A	0.22A
208V	0.03A	0.08A	0.13A
240V	0.03A	0.07A	0.11A
277V	0.03A	0.06A	0.10A
347V	0.025A	0.068A	0.082A

**ORDERING INFORMATION**

Sample Number: XTOR2A-N-WT-PC1

Series <sup>1</sup>	LED Kelvin Color	Housing Color	Options (Add as Suffix)	Accessories (Order Separately)
XTOR1A=Small Door, 7W XTOR2A=Small Door, 18W XTOR3A=Small Door, 26W	[Blank]=Bright White (Standard) 5000K N=Neutral Warm White, 3500K <sup>2</sup>	[Blank]=Carbon Bronze (Standard) WT=Summit White	PC1=Photocontrol 120V <sup>3</sup> PC2=Photocontrol 208-277V <sup>3,4</sup> 347V=347V <sup>5</sup> HA=50°C High Ambient <sup>5</sup>	WG/XTOR=Wire Guard <sup>6</sup> XTORFLD-KNC=Knuckle Floodlight Kit <sup>7</sup> XTORFLD-TRN=Trunnion Floodlight Kit <sup>7</sup> XTORFLD-KNC-WT=Knuckle Floodlight Kit, Summit White <sup>7</sup> XTORFLD-TRN-WT=Trunnion Floodlight Kit, Summit White <sup>7</sup> EWP/XTOR=Escutcheon Wall Plate, Carbon Bronze EWP/XTOR-WT=Escutcheon Wall Plate, Summit White

NOTES: 1 DesignLights Consortium<sup>1</sup> Qualified. Refer to [www.designlights.org](http://www.designlights.org) Qualified Products List under Family Models for details. 2 XTOR1A not available in 3500K. 3 Photocontrols are factory installed. 4 Order PC2 for 347V models. 5 Thru-branch wiring not available with HA option or with 347V. 6 Wire guard for wall/surface mount. Not for use with floodlight kit accessory. 7 Floodlight kit accessory supplied with knuckle (KNC) or trunnion (TRN) base, small and large top visors and small and large impact shields.

**STOCK ORDERING INFORMATION**

7W Series	18W Series	26W Series
XTOR1A=7W, 5000K, Carbon Bronze	XTOR2A=18W, 5000K, Carbon Bronze	XTOR3A=26W, 5000K, Carbon Bronze
XTOR1A-WT=7W, 5000K, Summit White	XTOR2A-N=18W, 3500K, Carbon Bronze	XTOR3A-N=26W, 3500K, Carbon Bronze
XTOR1A-PC1=7W, 5000K, 120V PC, Carbon Bronze	XTOR2A-WT=18W, Summit White	XTOR3A-WT=26W, Summit White
	XTOR2A-PC1=18W, 120V PC, Carbon Bronze	XTOR3A-PC1=26W, 120V PC, Carbon Bronze

**5-DAY QUICK SHIP ORDERING INFORMATION**

7W Series	18W Series	26W Series
XTOR1A-WT-PC1=7W, 5000K, Summit White, 120V PC	XTOR2A-PC2=18W, 5000K, 208-277V PC, Carbon Bronze	XTOR3A-PC2=26W, 5000K, 208-277V PC, Carbon Bronze
	XTOR2A-WT-PC1=18W, 5000K, Summit White, 120V PC	XTOR3A-WT-PC1=26W, 5000K, Summit White, 120V PC
	XTOR2A-WT-PC2=18W, 5000K, Summit White, 208-277V PC	XTOR3A-WT-PC2=26W, 5000K, Summit White, 208-277V PC
	XTOR2A-N-WT=18W, 3500K, Summit White	XTOR3A-N-WT=26W, 3500K, Summit White
	XTOR2A-N-PC1=18W, 3500K, 120V PC, Carbon Bronze	XTOR3A-N-PC1=26W, 3500K, 120V PC, Carbon Bronze
	XTOR2A-N-PC2=18W, 3500K, 208-277V PC, Carbon Bronze	XTOR3A-N-PC2=26W, 3500K, 208-277V PC, Carbon Bronze
	XTOR2A-N-WHT-PC1=18W, 3500K, Summit White, 120V PC	XTOR3A-N-WHT-PC1=26W, 3500K, Summit White, 120V PC
	XTOR2A-N-WT-PC2=18W, 3500K, Summit White, 208-277V PC	XTOR3A-N-WT-PC2=26W, 3500K, Summit White, 208-277V PC

## DESCRIPTION

The Impact Elite family of wall luminaires is the ideal complement to site design. Incorporating modular LightBAR™ technology, the Impact Elite luminaire provides outstanding uniformity and energy-conscious illumination. Combined with a rugged construction, the Impact Elite luminaire is the ideal facade and security luminaire for zones surrounding schools, office complexes, apartments and recreational facilities. UL/cUL listed for wet locations.

Catalog #		Type	WLB
Project		Date	
Comments			
Prepared by			

## SPECIFICATION FEATURES

### Construction

Heavy-wall, die-cast aluminum housing and removable hinged door frame for precise tolerance control and repeatability. Hinged door inset for clean mating with housing surface and secured via two captive fasteners. Optional tamper-resistant Torx™ head fasteners offer vandal resistant access to the electrical chamber.

### Optics

Choice of six patented, high-efficiency AccuLED Optics™ distributions. Optics are precisely designed to shape the light output, maximizing efficiency and application spacing. AccuLED Optics technology creates consistent distributions with the scalability to meet customized application requirements. Offered Standard in 4000K (+/- 275K) CCT and minimum 70 CRI. Optional 3000K CCT, 5000K CCT and 5700K CCT.

### Electrical

LED drivers mount to die-cast aluminum back housing for optimal heat sinking, operation efficacy, and prolonged life. Standard drivers feature electronic universal voltage (120-277V 50/60Hz), 347V 60Hz or 480V 60Hz operation, greater than 0.9 power factor, less than 20% harmonic distortion, and are suitable for operation in -40°C to 40°C ambient environments. All fixtures are shipped standard with 10kV/10kA common – and differential – mode surge protection. LightBARs feature an IP66 enclosure rating and maintain greater than 95% lumen maintenance at 60,000 hours per IESNA TM-21. Emergency egress options for -20°C ambient environments and occupancy sensor available.

### Mounting

Gasketed and zinc plated rigid steel mounting attachment fits directly to 4" j-box or wall with the Impact Elite "Hook-N-Lock" mechanism for quick installation. Secured with two captive corrosion resistant black oxide coated allen head set screws concealed from bottom of fixture.

### Finish

Cast components finished in a five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult the McGraw-Edison Architectural Colors brochure for the complete selection.

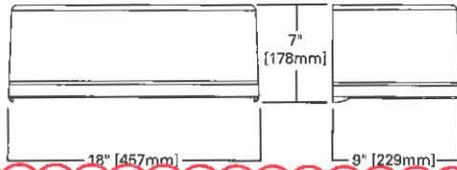
### Warranty

Five-year warranty.

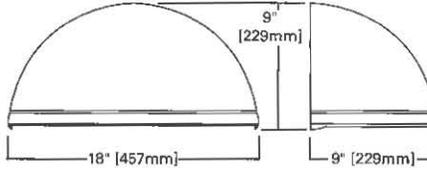


## DIMENSIONS

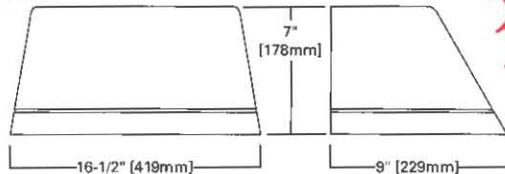
### Cylinder



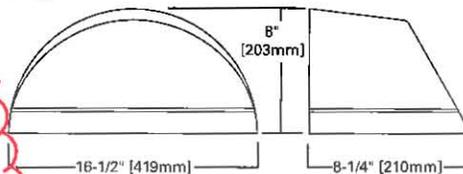
### Quarter Sphere



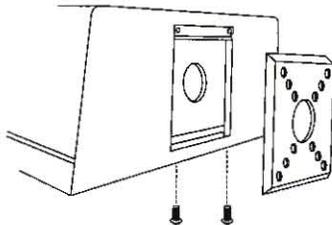
### Trapezoid



### Wedge



## HOOK-N-LOCK MOUNTING



## ISC/ISS/IST/SW IMPACT ELITE LED



1 - 2 LightBARs  
Solid State LED

## WALL MOUNT LUMINAIRE

### CERTIFICATION DATA

UL/cUL Listed  
LM79 / LM80 Compliant  
IP66 LightBARs  
ISO 9001  
DesignLights Consortium® Qualified\*

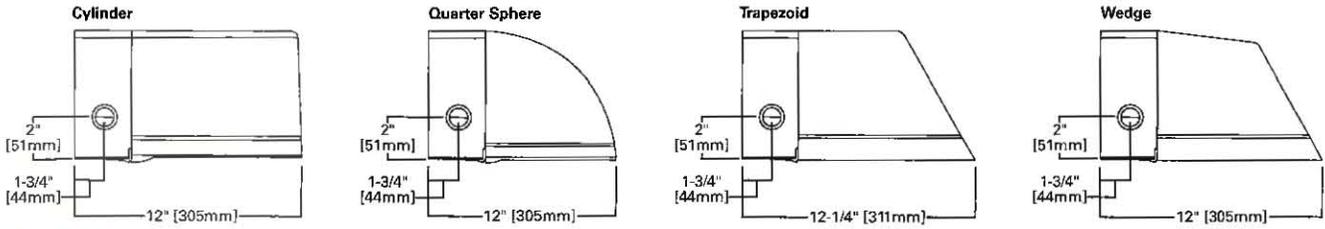
### ENERGY DATA

Electronic LED Driver  
>0.9 Power Factor  
<20% Total Harmonic Distortion  
120-277V/50 & 60Hz, 347V/60Hz,  
480V/60Hz  
-40°C Minimum Temperature  
40°C Ambient Temperature Rating

### SHIPPING DATA

Approximate Net Weight:  
18 lbs. (8 kgs.)

THRUWAY BACK BOX



POWER AND LUMENS BY BAR COUNT

Number of LightBARs	E01	E02	F01	F02	
	21 LED LightBAR		7 LED LightBAR		
Drive Current	350mA		1A		
Power (Watts)	120-277V	25W	47W	26W	50W
Current (A)	120V	0.22	0.40	0.22	0.42
	277V	0.10	0.18	0.10	0.19
Power (Watts)	347V or 480V	31W	52W	32W	55W
Current (A)	347V	0.11	0.16	0.11	0.17
	480V	0.16	0.18	0.16	0.18
<b>Optics</b>					
BL2	Lumens	2,738	5,476	2,260	4,521
	Bug Rating	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1
BL3	Lumens	2,702	5,405	2,231	4,462
	Bug Rating	B1-U0-G1	B1-U0-G2	B1-U0-G1	B1-U0-G1
BL4	Lumens	2,613	5,225	2,157	4,313
	Bug Rating	B1-U0-G1	B1-U0-G2	B1-U0-G1	B1-U0-G1
GZW	Lumens	2,785	5,570	2,290	4,580
	Bug Rating	B2-U0-G2	B3-U0-G3	B1-U0-G1	B2-U0-G2
SLR/SLL	Lumens	2,435	4,869	2,010	4,020
	Bug Rating	B1-U0-G1	B1-U0-G2	B1-U0-G1	B1-U0-G2

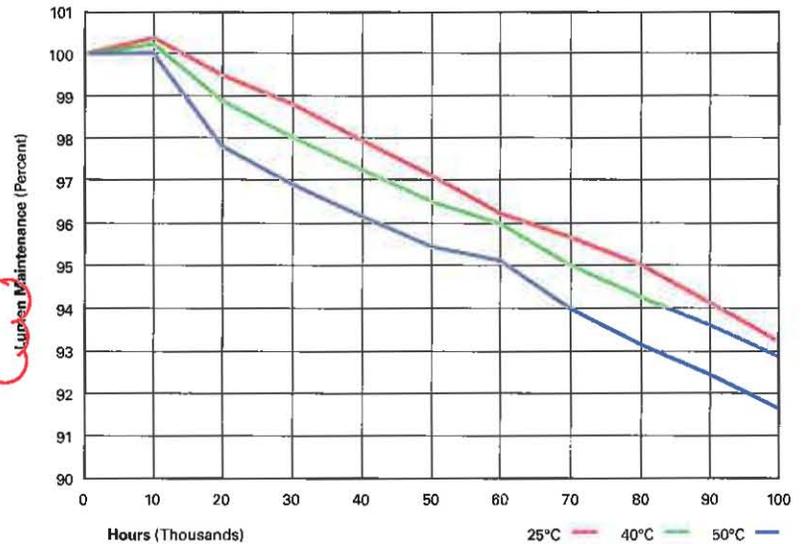
LUMEN MAINTENANCE

Ambient Temperature	25,000 Hours*	50,000 Hours*	60,000 Hours*	100,000 Hours	Theoretical L70 (Hours)
25°C	> 99%	> 97%	> 96%	> 93%	> 450,000
40°C	> 98%	> 97%	> 96%	> 92%	> 425,000
50°C	> 97%	> 96%	> 95%	> 91%	> 400,000

\* Per IESNA TM-21 data.

LUMEN MULTIPLIER

Ambient Temperature	Lumen Multiplier
10°C	1.02
15°C	1.01
25°C	1.00
40°C	0.99



ORDERING INFORMATION

Sample Number: ISC-E02-LED-E1-BL3-GW

Product Family 1	Number of LightBARs 2,2	Lamp Type	Voltage	Distribution	Color
ISC=Impact Elite LED Small Cylinder ISS=Impact Elite LED Small Quarter Sphere IST=Impact Elite LED Small Trapezoid ISW=Impact Elite LED Small Wedge	E01=(1) 21 LED LightBAR E02=(2) 21 LED LightBARs F01=(1) 7 LED LightBAR F02=(2) 7 LED LightBARs	LED=Solid State Light Emitting Diodes	E1=Electronic (120-277V) 347=347V 480=480V 4	BL2=Type II w/Back Light Control BL3=Type III w/Back Light Control BL4=Type IV w/Back Light Control GZW=Wall Grazer Wide SLL=90° Spill Light Eliminator Left SLR=90° Spill Light Eliminator Right	AP=Grey BZ=Bronze BK=Black DP=Dark Platinum GM=Graphite Metallic WH=White

ADVISE

Options (Add as Suffix)	Accessories (Order Separately) 11
2L=Two Circuits 9 7030=70 CRI / 3000K CCT 7 7050=70 CRI / 5000K CCT 7 7060=70 CRI / 5700K CCT 7 8030=80 CRI / 3000K CCT 7 P=Button Type Photocontrol (Available in 120, 208, 240 or 277V. Must Specify Voltage) OSB=Occupancy Sensor with Back Box (Specify 120V or 277V) 8 BBB-XX=Battery Pack with Back Box (Specify 120V or 277V) 9 CWB-XX=Cold Weather Battery Pack with Back Box (Specify 120V or 277V) 10 DIM=0-10V Dimming Drivers LCF=LightBAR Cover Plate Matches Housing Finish ULG=Uplight Glow TR=Tamper Resistant Hardware	MA1253=10kV Circuit Module Replacement MA1254-XX=Thruway Back Box - Impact Elite Trapezoid MA1255-XX=Thruway Back Box - Impact Elite Cylinder MA1256-XX=Thruway Back Box - Impact Elite Quarter Sphere MA1257-XX=Thruway Back Box - Impact Elite Wedge

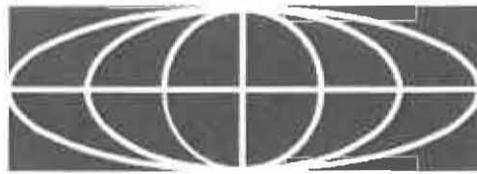
NOTES:

- DesignLights Consortium® Qualified. Refer to [www.designlights.org](http://www.designlights.org) Qualified Products List under Family Models for details.
- Standard 4000K CCT and greater than 70 CRI LightBARs for downlight use only.
- 21 LED LightBAR powered by 350mA and 7 LED LightBAR powered by 1A.
- Only for use with 480V Wye systems. Per NEC, not for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase High Leg Delta and Three Phase Corner Grounded Delta systems).
- Custom and RAL color matching available upon request. Consult your lighting representative at Eaton for more information.
- Low-level output varies by bar count. Consult factory. Not available with 347V or 480V. Available with two bars (E02 or F02) only.
- Extended lead times apply.
- Available with E02 or F02, only one bar on street side will be wired to sensor. Time delay factory setting 15-minutes. When ordered with PC option, both bars are connected to photocontrol as primary switching means. Standard sensor lens covers 8' mounting height, 360° coverage, maximum 48" diameter. Not available in all configurations or with BBB or CWB options.
- Specify 120V or 277V. LED standard integral battery pack is rated for minimum operating temperature 32°F (0°C). Operates one bar for 90-minutes. Not available in all configurations or with OSB option. Consult factory.
- Specify 120V or 277V. LED cold weather integral battery pack is rated for minimum operating temperature -4°F (-20°C). Operates one bar for 90-minutes. Not available in all configurations or with OSB option. Consult factory.
- Replace XX with color suffix.

**APPENDIX D**

**HYDRANT FLOW TEST DATA**

WATER COMPANY  
FLOW TEST REPORT



**G·Y·M·O**

ARCHITECTURE, ENGINEERING & LAND SURVEYING, P.C.  
220 Sterling Street, Watertown, New York 13601  
tel.315.788.3900 fax.315.788.0668 e-mail.gymopc@gymopc.com

LOCATION: ARSENAL ST WATERTOWN, NY DATE: 02-05-2016

TEST MADE BY: AL CUPPERWELL TIME: 1:10 PM

REPRESENTATIVE OF: GYMO

WITNESS: WATERTOWN WATER DEPT.

PURPOSE OF TEST: DETERMINE FLOW CHARACTERISTICS AT PROJECT SITE

CONSUMPTION RATE DURING TEST: 1440 gpm

IF PUMPS AFFECT TEST, INDICATE PUMPS OPERATING: \_\_\_\_\_

FLOW HYDRANTS:

	A1	A2	A3	TOTAL
SIZE NOZZLE				
PITOT READING				
GPM	1440			

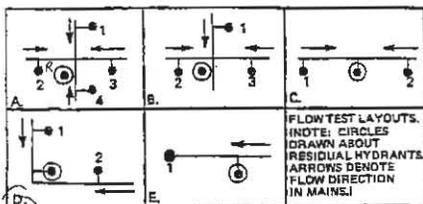
STATIC B: 99 PSI RESIDUAL B: 89 PSI

PROJECTED RESULTS: @ 20 PSI RESIDUAL \_\_\_\_\_ GPM; OR @ \_\_\_\_\_ PSI RESIDUAL \_\_\_\_\_ GPM

REMARKS:  $Q_R = 1440 \left( \frac{99-20}{99-89} \right)^{1.54} = 4,396 \text{ gpm @ } 20 \text{ psi}$

LOCATION MAP: SHOW LINE SIZES AND DISTANCE TO NEXT CROSS CONNECTED LINE. SHOW VALVES AND HYDRANT BRANCH SIZE. INDICATE NORTH, SHOW FLOWING HYDRANTS – LABEL A1, A2, A3. SHOW LOCATION OF STATIC AND RESIDUAL – LABEL B.

INDICATE B HYDRANT \_\_\_\_\_ SPRINKLER \_\_\_\_\_ OTHER (IDENTIFY) \_\_\_\_\_



LAYOUT OF TEST. AFTER THE LOCATION AT WHICH THE TEST IS TO BE RUN HAS BEEN DETERMINED, A GROUP OF TEST HYDRANTS IN THE VICINITY IS SELECTED. ONCE SELECTED, DUE CONSIDERATION SHOULD BE GIVEN TO POTENTIAL INTERFERENCE TO TRAFFIC FLOW PATTERNS, DAMAGE TO SURROUNDINGS (E.G., ROADWAYS, SIDEWALKS, LANDSCAPES, VEHICLES, AND PEDESTRIANS), AND POTENTIAL FLOODING PROBLEMS BOTH LOCAL AND REMOTE FROM THE TEST SITE. ONE HYDRANT IS CHOSEN TO BE THE RESIDUAL HYDRANT AT WHICH THE NORMAL PRESSURE WILL BE OBSERVED WITH THE OTHER HYDRANTS IN THE GROUP CLOSED, AND THE RESIDUAL PRESSURE WILL BE OBSERVED WITH THE OTHER HYDRANTS FLOWING. THIS HYDRANT IS CHOSEN SO THAT THE HYDRANTS WHICH WILL BE FLOWED ARE THE NEXT HYDRANTS BETWEEN IT AND THE LARGER MAINS, WHICH CONSTITUTE THE IMMEDIATE SOURCES OF SUPPLY IN THE AREA.

THE NUMBER OF HYDRANTS TO BE USED IN ANY TEST DEPENDS UPON THE STRENGTH OF THE DISTRIBUTION SYSTEM IN THE VICINITY OF THE TEST LOCATION. TO OBTAIN SATISFACTORY TEST RESULTS FOR THEORETICAL CALCULATION OF EXPECTED FLOWS OR RATED CAPACITIES, SUFFICIENT DISCHARGE SHOULD BE ACHIEVED TO CAUSE A DROP IN PRESSURE AT THE RESIDUAL HYDRANT OF AT LEAST 25 PERCENT OR TO FLOW THE TOTAL DEMAND NECESSARY FOR FIRE FIGHTING PURPOSES. IF THE MAINS ARE SMALL AND THE SYSTEM IS WEAK, ONLY ONE OR TWO HYDRANTS NEED TO BE FLOWED. IF, ON THE OTHER HAND, THE MAINS ARE LARGE AND THE SYSTEM IS STRONG, IT MAY BE NECESSARY TO FLOW AS MANY AS SEVEN OR EIGHT HYDRANTS

Res No. 6

March 2, 2016

To: The Honorable Mayor and City Council

From: Kenneth A. Mix, Planning and Community Development Coordinator

Subject: Finding That Adopting a New Zoning Map and Amending Chapter 310 of the Code of the City of Watertown Will Not Have a Significant Negative Impact on the Environment

The City Council has before it an ordinance that will adopt a new Zoning Map and reference that map in the Zoning Ordinance. Before the Council votes on the proposed ordinance it must complete an environmental review pursuant to the State Environmental Quality Review Act.

The Ordinance is a Type I Action requiring a Full Environmental Assessment Form. Part 1 of the form has been completed for the Council's use. The Council must complete Part 2, and Part 3 if necessary, before voting on the resolution. The resolution states that the adoption of the new Zoning Map will not have a significant negative impact on the environment.

# RESOLUTION

Page 1 of 2

Finding That Adopting a New Zoning Map and Amending Chapter 310 of the Code of the City of Watertown Will Not Have a Significant Negative Impact on the Environment

Council Member HORBACZ, Cody J.  
 Council Member JENNINGS, Stephen A.  
 Council Member MACALUSO, Teresa R.  
 Council Member WALCZYK, Mark C.  
 Mayor BUTLER, Joseph M. Jr.

Total .....

YEA	NAY

***Introduced by***

WHEREAS the City Council of the City of Watertown, New York, has before it an ordinance adopting a new zoning map and amending Chapter 310 of the Code of the City of Watertown, and

WHEREAS the City Council must evaluate all proposed actions in light of the State Environmental Quality Review Act (SEQRA) and the regulations promulgated pursuant thereto, and

and WHEREAS the adoption of the proposed ordinance will constitute such an action,

WHEREAS the City Council has determined that the ordinance is a "Type I Action" as that term is defined in 6NYCRR Section 617.2, and

WHEREAS there are no other involved agencies, so a coordinated review was not initiated and the City Council is by default the lead agency, and

WHEREAS to aid the City Council in its determination as to whether the proposed project will have a significant effect on the environment, Part 1 of a Full Environmental Assessment Form has been prepared by Staff, a copy of which is attached and made part of this resolution,

# RESOLUTION

Page 2 of 2

Finding That Adopting a New Zoning Map and Amending Chapter 310 of the Code of the City of Watertown Will Not Have a Significant Negative Impact on the Environment

- Council Member HORBACZ, Cody J.
- Council Member JENNINGS, Stephen A.
- Council Member MACALUSO, Teresa R.
- Council Member WALCZYK, Mark C.
- Mayor BUTLER, Joseph M. Jr.

Total .....

YEA	NAY

NOW THEREFORE BE IT RESOLVED by the City Council of the City of Watertown, New York, that:

1. It is established as lead agency for the purposes of the State Environmental Quality Review.
2. Based upon its examination of the Environmental Assessment Form, in comparison with the proposed action with the criteria set forth in 6NYCRR Section 617.7, no significant impact on the environment is known and the approval of the proposed ordinance will not have a significant negative impact on the environment.
3. The Mayor of the City of Watertown is authorized to execute the Environmental Assessment Form to the effect that the City Council is issuing a Negative Declaration under SEQRA.
4. This Resolution shall take effect immediately.

**Seconded by**

**Full Environmental Assessment Form  
Part 1 - Project and Setting**

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Sponsor Information.**

Name of Action or Project: Adopting New Zoning Map and Amending Chapter 310 of the Code of the City of Watertown		
Project Location (describe, and attach a general location map): City-wide		
Brief Description of Proposed Action (include purpose or need): Adoption of a new Zoning Map derived from the City's computer Geographic Information System. The majority of the existing zoning districts will stay as they were, except 369 parcels that were split by two zoning districts will have only one zoning classification and parcels that did not have a zoning classification will be given one.		
Name of Applicant/Sponsor: City of Watertown		Telephone: (315) 785-7740
		E-Mail: <a href="mailto:planning@watertown-ny.gov">planning@watertown-ny.gov</a>
Address: 245 Washington Street		
City/PO: Watertown	State: NY	Zip Code: 13601
Project Contact (if not same as sponsor; give name and title/role): Kenneth A. Mix, Planning & Community Development Coordinator		Telephone: (315) 785-7724
		E-Mail: <a href="mailto:kmix@watertown-ny.gov">kmix@watertown-ny.gov</a>
Address: 245 Washington Street		
City/PO: Watertown	State: NY	Zip Code: 13601
Property Owner (if not same as sponsor):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:

**B. Government Approvals**

<b>B. Government Approvals, Funding, or Sponsorship.</b> ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)		
<b>Government Entity</b>	<b>If Yes: Identify Agency and Approval(s) Required</b>	<b>Application Date (Actual or projected)</b>
a. City Council, Town Board, or Village Board of Trustees <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	City Council - Ordinance approval.	March 7, 2016
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	City Planning Board - Recommendation	Made Recommendation on 2/2/16
c. City Council, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Jefferson County Planning - Recommendation	Made Recommendation on 2/23/16
f. Regional agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

**C. Planning and Zoning**

<b>C.1. Planning and zoning actions.</b>	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<ul style="list-style-type: none"> <li>• If Yes, complete sections C, F and G.</li> <li>• If No, proceed to question C.2 and complete all remaining sections and questions in Part 1</li> </ul>	
<b>C.2. Adopted land use plans.</b>	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	
_____	
_____	
_____	
c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	
_____	
_____	
_____	

**C.3. Zoning**

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance.  Yes  No  
 If Yes, what is the zoning classification(s) including any applicable overlay district?  
All districts.

b. Is the use permitted or allowed by a special or conditional use permit?  Yes  No

c. Is a zoning change requested as part of the proposed action?  Yes  No  
 If Yes,  
 i. What is the proposed new zoning for the site? New Zoning Map for entire City.

**C.4. Existing community services.**

a. In what school district is the project site located? Watertown City School District and General Brown Central School District

b. What police or other public protection forces serve the project site?  
Watertown Police Department

c. Which fire protection and emergency medical services serve the project site?  
Watertown Fire Department and Guilfoyle Ambulance

d. What parks serve the project site?  
All City parks.

**D. Project Details**

**D.1. Proposed and Potential Development**

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)?  
 \_\_\_\_\_

b. a. Total acreage of the site of the proposed action? \_\_\_\_\_ acres  
 b. Total acreage to be physically disturbed? \_\_\_\_\_ acres  
 c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? \_\_\_\_\_ acres

c. Is the proposed action an expansion of an existing project or use?  Yes  No  
 i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % \_\_\_\_\_ Units: \_\_\_\_\_

d. Is the proposed action a subdivision, or does it include a subdivision?  Yes  No  
 If Yes,  
 i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)  
 \_\_\_\_\_  
 ii. Is a cluster/conservation layout proposed?  Yes  No  
 iii. Number of lots proposed? \_\_\_\_\_  
 iv. Minimum and maximum proposed lot sizes? Minimum \_\_\_\_\_ Maximum \_\_\_\_\_

e. Will proposed action be constructed in multiple phases?  Yes  No  
 i. If No, anticipated period of construction: \_\_\_\_\_ months  
 ii. If Yes:  
 • Total number of phases anticipated \_\_\_\_\_  
 • Anticipated commencement date of phase 1 (including demolition) \_\_\_\_\_ month \_\_\_\_\_ year  
 • Anticipated completion date of final phase \_\_\_\_\_ month \_\_\_\_\_ year  
 • Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

f. Does the project include new residential uses?  Yes  No  
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)?  Yes  No  
 If Yes,

i. Total number of structures \_\_\_\_\_

ii. Dimensions (in feet) of largest proposed structure: \_\_\_\_\_ height; \_\_\_\_\_ width; and \_\_\_\_\_ length

iii. Approximate extent of building space to be heated or cooled: \_\_\_\_\_ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?  Yes  No  
 If Yes,

i. Purpose of the impoundment: \_\_\_\_\_

ii. If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify: \_\_\_\_\_

iii. If other than water, identify the type of impounded/contained liquids and their source. \_\_\_\_\_

iv. Approximate size of the proposed impoundment. Volume: \_\_\_\_\_ million gallons; surface area: \_\_\_\_\_ acres

v. Dimensions of the proposed dam or impounding structure: \_\_\_\_\_ height; \_\_\_\_\_ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): \_\_\_\_\_

---

**D.2. Project Operations**

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both?  Yes  No  
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)  
 If Yes:

i. What is the purpose of the excavation or dredging? \_\_\_\_\_

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): \_\_\_\_\_
- Over what duration of time? \_\_\_\_\_

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. \_\_\_\_\_

iv. Will there be onsite dewatering or processing of excavated materials?  Yes  No  
 If yes, describe. \_\_\_\_\_

v. What is the total area to be dredged or excavated? \_\_\_\_\_ acres

vi. What is the maximum area to be worked at any one time? \_\_\_\_\_ acres

vii. What would be the maximum depth of excavation or dredging? \_\_\_\_\_ feet

viii. Will the excavation require blasting?  Yes  No

ix. Summarize site reclamation goals and plan: \_\_\_\_\_

---

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No  
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): \_\_\_\_\_

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

iii. Will proposed action cause or result in disturbance to bottom sediments?  Yes  No

If Yes, describe: \_\_\_\_\_

iv. Will proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No

If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

c. Will the proposed action use, or create a new demand for water?  Yes  No

If Yes:

i. Total anticipated water usage/demand per day: \_\_\_\_\_ gallons/day

ii. Will the proposed action obtain water from an existing public water supply?  Yes  No

If Yes:

- Name of district or service area: \_\_\_\_\_
- Does the existing public water supply have capacity to serve the proposal?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No
- Do existing lines serve the project site?  Yes  No

iii. Will line extension within an existing district be necessary to supply the project?  Yes  No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No

If, Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), maximum pumping capacity: \_\_\_\_\_ gallons/minute.

d. Will the proposed action generate liquid wastes?  Yes  No

If Yes:

i. Total anticipated liquid waste generation per day: \_\_\_\_\_ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): \_\_\_\_\_

iii. Will the proposed action use any existing public wastewater treatment facilities?  Yes  No

If Yes:

- Name of wastewater treatment plant to be used: \_\_\_\_\_
- Name of district: \_\_\_\_\_
- Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No

<ul style="list-style-type: none"> <li>• Do existing sewer lines serve the project site? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></li> <li>• Will line extension within an existing district be necessary to serve the project? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></li> </ul> <p>If Yes:</p> <ul style="list-style-type: none"> <li>• Describe extensions or capacity expansions proposed to serve this project: _____ _____</li> </ul>	
<p>iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <ul style="list-style-type: none"> <li>• Applicant/sponsor for new district: _____</li> <li>• Date application submitted or anticipated: _____</li> <li>• What is the receiving water for the wastewater discharge? _____</li> </ul>	
<p>v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge, or describe subsurface disposal plans): _____ _____</p>	
<p>vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____ _____</p>	
<p>e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. How much impervious surface will the project create in relation to total size of project parcel?            _____ Square feet or _____ acres (impervious surface)            _____ Square feet or _____ acres (parcel size)</p> <p>ii. Describe types of new point sources. _____ _____</p> <p>iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)? _____ _____</p> <ul style="list-style-type: none"> <li>• If to surface waters, identify receiving water bodies or wetlands: _____ _____</li> <li>• Will stormwater runoff flow to adjacent properties? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></li> </ul>	
<p>iv. Does proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p>	
<p>f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes, identify:</p> <p>i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles) _____</p> <p>ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers) _____</p> <p>iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation) _____</p>	
<p>g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>ii. In addition to emissions as calculated in the application, the project will generate:</p> <ul style="list-style-type: none"> <li>• _____ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)</li> <li>• _____ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)</li> <li>• _____ Tons/year (short tons) of Perfluorocarbons (PFCs)</li> <li>• _____ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)</li> <li>• _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)</li> <li>• _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)</li> </ul>	

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?  Yes  No  
 If Yes:  
 i. Estimate methane generation in tons/year (metric): \_\_\_\_\_  
 ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

---

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations?  Yes  No  
 If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

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j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?  Yes  No  
 If Yes:  
 i. When is the peak traffic expected (Check all that apply):  Morning  Evening  Weekend  
 Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_.  
 ii. For commercial activities only, projected number of semi-trailer truck trips/day: \_\_\_\_\_  
 iii. Parking spaces: Existing \_\_\_\_\_ Proposed \_\_\_\_\_ Net increase/decrease \_\_\_\_\_  
 iv. Does the proposed action include any shared use parking?  Yes  No  
 v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: \_\_\_\_\_

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vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site?  Yes  No  
 vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles?  Yes  No  
 viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes?  Yes  No

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k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?  Yes  No  
 If Yes:  
 i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_  
 ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): \_\_\_\_\_  
 iii. Will the proposed action require a new, or an upgrade to, an existing substation?  Yes  No

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l. Hours of operation. Answer all items which apply.  
 i. During Construction:  
 • Monday - Friday: \_\_\_\_\_  
 • Saturday: \_\_\_\_\_  
 • Sunday: \_\_\_\_\_  
 • Holidays: \_\_\_\_\_  
 ii. During Operations:  
 • Monday - Friday: \_\_\_\_\_  
 • Saturday: \_\_\_\_\_  
 • Sunday: \_\_\_\_\_  
 • Holidays: \_\_\_\_\_

<p>m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If yes:</p> <p>i. Provide details including sources, time of day and duration:</p> <p>_____</p> <p>_____</p>	
<p>ii. Will proposed action remove existing natural barriers that could act as a noise barrier or screen? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>Describe: _____</p> <p>_____</p>	
<p>n.. Will the proposed action have outdoor lighting? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If yes:</p> <p>i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:</p> <p>_____</p> <p>_____</p>	
<p>ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>Describe: _____</p> <p>_____</p>	
<p>o. Does the proposed action have the potential to produce odors for more than one hour per day? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____</p> <p>_____</p> <p>_____</p>	
<p>p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Product(s) to be stored _____</p> <p>ii. Volume(s) _____ per unit time _____ (e.g., month, year)</p> <p>iii. Generally describe proposed storage facilities: _____</p> <p>_____</p>	
<p>q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Describe proposed treatment(s):</p> <p>_____</p> <p>_____</p> <p>_____</p>	
<p>ii. Will the proposed action use Integrated Pest Management Practices? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p>	
<p>r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Describe any solid waste(s) to be generated during construction or operation of the facility:</p> <ul style="list-style-type: none"> <li>• Construction: _____ tons per _____ (unit of time)</li> <li>• Operation : _____ tons per _____ (unit of time)</li> </ul> <p>ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:</p> <ul style="list-style-type: none"> <li>• Construction: _____</li> <li>• Operation: _____</li> </ul> <p>iii. Proposed disposal methods/facilities for solid waste generated on-site:</p> <ul style="list-style-type: none"> <li>• Construction: _____</li> <li>• Operation: _____</li> </ul>	

s. Does the proposed action include construction or modification of a solid waste management facility?  Yes  No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_

ii. Anticipated rate of disposal/processing: \_\_\_\_\_

- \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or
- \_\_\_\_\_ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: \_\_\_\_\_ years

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t. Will proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_

ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_

iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No

If Yes: provide name and location of facility: \_\_\_\_\_

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: \_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

Urban  Industrial  Commercial  Residential (suburban)  Rural (non-farm)

Forest  Agriculture  Aquatic  Other (specify): \_\_\_\_\_

ii. If mix of uses, generally describe: \_\_\_\_\_

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b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces			
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____			

c. Is the project site presently used by members of the community for public recreation?  Yes  No  
 i. If Yes: explain: \_\_\_\_\_

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d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?  Yes  No  
 If Yes,  
 i. Identify Facilities: \_\_\_\_\_  
 \_\_\_\_\_

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e. Does the project site contain an existing dam?  Yes  No  
 If Yes:  
 i. Dimensions of the dam and impoundment:  
 • Dam height: \_\_\_\_\_ feet  
 • Dam length: \_\_\_\_\_ feet  
 • Surface area: \_\_\_\_\_ acres  
 • Volume impounded: \_\_\_\_\_ gallons OR acre-feet  
 ii. Dam's existing hazard classification: \_\_\_\_\_  
 iii. Provide date and summarize results of last inspection: \_\_\_\_\_  
 \_\_\_\_\_

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f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?  Yes  No  
 If Yes:  
 i. Has the facility been formally closed?  Yes  No  
 • If yes, cite sources/documentation: \_\_\_\_\_  
 ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: \_\_\_\_\_  
 \_\_\_\_\_  
 iii. Describe any development constraints due to the prior solid waste activities: \_\_\_\_\_  
 \_\_\_\_\_

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g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?  Yes  No  
 If Yes:  
 i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: \_\_\_\_\_  
 \_\_\_\_\_

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h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?  Yes  No  
 If Yes:  
 i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:  Yes  No  
 Yes – Spills Incidents database Provide DEC ID number(s): \_\_\_\_\_  
 Yes – Environmental Site Remediation database Provide DEC ID number(s): \_\_\_\_\_  
 Neither database  
 ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
 \_\_\_\_\_

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iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?  Yes  No  
 If yes, provide DEC ID number(s): \_\_\_\_\_  
 iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): \_\_\_\_\_  
 \_\_\_\_\_

v. Is the project site subject to an institutional control limiting property uses?  Yes  No

- If yes, DEC site ID number: \_\_\_\_\_
- Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
- Describe any use limitations: \_\_\_\_\_
- Describe any engineering controls: \_\_\_\_\_
- Will the project affect the institutional or engineering controls in place?  Yes  No
- Explain: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? \_\_\_\_\_ feet

b. Are there bedrock outcroppings on the project site?  Yes  No  
 If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_ %

c. Predominant soil type(s) present on project site: \_\_\_\_\_ %  
 \_\_\_\_\_ %  
 \_\_\_\_\_ %

d. What is the average depth to the water table on the project site? Average: \_\_\_\_\_ feet

e. Drainage status of project site soils:  Well Drained: \_\_\_\_\_ % of site  
 Moderately Well Drained: \_\_\_\_\_ % of site  
 Poorly Drained \_\_\_\_\_ % of site

f. Approximate proportion of proposed action site with slopes:  0-10%: \_\_\_\_\_ % of site  
 10-15%: \_\_\_\_\_ % of site  
 15% or greater: \_\_\_\_\_ % of site

g. Are there any unique geologic features on the project site?  Yes  No  
 If Yes, describe: \_\_\_\_\_  
 \_\_\_\_\_

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?  Yes  No

ii. Do any wetlands or other waterbodies adjoin the project site?  Yes  No

If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?  Yes  No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Lakes or Ponds: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Wetlands: Name \_\_\_\_\_ Approximate Size \_\_\_\_\_
- Wetland No. (if regulated by DEC) \_\_\_\_\_

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?  Yes  No  
 If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_

i. Is the project site in a designated Floodway?  Yes  No

j. Is the project site in the 100 year Floodplain?  Yes  No

k. Is the project site in the 500 year Floodplain?  Yes  No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?  Yes  No  
 If Yes:  
 i. Name of aquifer: \_\_\_\_\_

<p>m. Identify the predominant wildlife species that occupy or use the project site: _____          _____          _____</p>
<p>n. Does the project site contain a designated significant natural community? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span>          If Yes:            i. Describe the habitat/community (composition, function, and basis for designation): _____            ii. Source(s) of description or evaluation: _____            iii. Extent of community/habitat:                • Currently: _____ acres                • Following completion of project as proposed: _____ acres                • Gain or loss (indicate + or -): _____ acres</p>
<p>o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p>
<p>p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p>
<p>q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span>          If yes, give a brief description of how the proposed action may affect that use: _____          _____</p>
<p><b>E.3. Designated Public Resources On or Near Project Site</b></p>
<p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span>          If Yes, provide county plus district name/number: _____</p>
<p>b. Are agricultural lands consisting of highly productive soils present? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span>            i. If Yes: acreage(s) on project site? _____            ii. Source(s) of soil rating(s): _____</p>
<p>c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span>          If Yes:            i. Nature of the natural landmark:   <input type="checkbox"/> Biological Community   <input type="checkbox"/> Geological Feature            ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____            _____            _____</p>
<p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span>          If Yes:            i. CEA name: _____            ii. Basis for designation: _____            iii. Designating agency and date: _____</p>

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places?	<input type="checkbox"/> Yes <input type="checkbox"/> No
If Yes:	
<i>i.</i> Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District	
<i>ii.</i> Name: _____	
<i>iii.</i> Brief description of attributes on which listing is based: _____ _____	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/> Yes <input type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site?	
If Yes:	
<i>i.</i> Describe possible resource(s): _____	
<i>ii.</i> Basis for identification: _____	
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?	<input type="checkbox"/> Yes <input type="checkbox"/> No
If Yes:	
<i>i.</i> Identify resource: _____	
<i>ii.</i> Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____	
<i>iii.</i> Distance between project and resource: _____ miles.	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?	<input type="checkbox"/> Yes <input type="checkbox"/> No
If Yes:	
<i>i.</i> Identify the name of the river and its designation: _____	
<i>ii.</i> Is the activity consistent with development restrictions contained in 6NYCRR Part 666?	
<input type="checkbox"/> Yes <input type="checkbox"/> No	

**F. Additional Information**

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

**G. Verification**

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name City of Watertown Date March 2, 2016

Signature  Title Planning & Community Development Coordinator

**Full Environmental Assessment Form**  
**Part 2 - Identification of Potential Project Impacts**

Agency Use Only [If applicable]

Project :

Date :

**Part 2 is to be completed by the lead agency.** Part 2 is designed to help the lead agency inventory all potential resources that could be affected by a proposed project or action. We recognize that the lead agency's reviewer(s) will not necessarily be environmental professionals. So, the questions are designed to walk a reviewer through the assessment process by providing a series of questions that can be answered using the information found in Part 1. To further assist the lead agency in completing Part 2, the form identifies the most relevant questions in Part 1 that will provide the information needed to answer the Part 2 question. When Part 2 is completed, the lead agency will have identified the relevant environmental areas that may be impacted by the proposed activity.

If the lead agency is a state agency **and** the action is in any Coastal Area, complete the Coastal Assessment Form before proceeding with this assessment.

**Tips for completing Part 2:**

- Review all of the information provided in Part 1.
- Review any application, maps, supporting materials and the Full EAF Workbook.
- Answer each of the 18 questions in Part 2.
- If you answer “**Yes**” to a numbered question, please complete all the questions that follow in that section.
- If you answer “**No**” to a numbered question, move on to the next numbered question.
- Check appropriate column to indicate the anticipated size of the impact.
- Proposed projects that would exceed a numeric threshold contained in a question should result in the reviewing agency checking the box “Moderate to large impact may occur.”
- The reviewer is not expected to be an expert in environmental analysis.
- If you are not sure or undecided about the size of an impact, it may help to review the sub-questions for the general question and consult the workbook.
- When answering a question consider all components of the proposed activity, that is, the “whole action”.
- Consider the possibility for long-term and cumulative impacts as well as direct impacts.
- Answer the question in a reasonable manner considering the scale and context of the project.

<b>1. Impact on Land</b> Proposed action may involve construction on, or physical alteration of, <span style="float: right;"><input type="checkbox"/> NO <input type="checkbox"/> YES</span> the land surface of the proposed site. (See Part 1. D.1) <i>If “Yes”, answer questions a - j. If “No”, move on to Section 2.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may involve construction on land where depth to water table is less than 3 feet.	E2d	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may involve construction on slopes of 15% or greater.	E2f	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may involve construction on land where bedrock is exposed, or generally within 5 feet of existing ground surface.	E2a	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve the excavation and removal of more than 1,000 tons of natural material.	D2a	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may involve construction that continues for more than one year or in multiple phases.	D1e	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result in increased erosion, whether from physical disturbance or vegetation removal (including from treatment by herbicides).	D2e, D2q	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action is, or may be, located within a Coastal Erosion hazard area.	B1i	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**2. Impact on Geological Features**

The proposed action may result in the modification or destruction of, or inhibit access to, any unique or unusual land forms on the site (e.g., cliffs, dunes, minerals, fossils, caves). (See Part 1. E.2.g)

NO

YES

*If "Yes", answer questions a - c. If "No", move on to Section 3.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Identify the specific land form(s) attached: _____ _____	E2g	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may affect or is adjacent to a geological feature listed as a registered National Natural Landmark. Specific feature: _____	E3c	<input type="checkbox"/>	<input type="checkbox"/>
c. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**3. Impacts on Surface Water**

The proposed action may affect one or more wetlands or other surface water bodies (e.g., streams, rivers, ponds or lakes). (See Part 1. D.2, E.2.h)

NO

YES

*If "Yes", answer questions a - l. If "No", move on to Section 4.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may create a new water body.	D2b, D1h	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in an increase or decrease of over 10% or more than a 10 acre increase or decrease in the surface area of any body of water.	D2b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may involve dredging more than 100 cubic yards of material from a wetland or water body.	D2a	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve construction within or adjoining a freshwater or tidal wetland, or in the bed or banks of any other water body.	E2h	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may create turbidity in a waterbody, either from upland erosion, runoff or by disturbing bottom sediments.	D2a, D2h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may include construction of one or more intake(s) for withdrawal of water from surface water.	D2c	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may include construction of one or more outfall(s) for discharge of wastewater to surface water(s).	D2d	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may cause soil erosion, or otherwise create a source of stormwater discharge that may lead to siltation or other degradation of receiving water bodies.	D2e	<input type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may affect the water quality of any water bodies within or downstream of the site of the proposed action.	E2h	<input type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may involve the application of pesticides or herbicides in or around any water body.	D2q, E2h	<input type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may require the construction of new, or expansion of existing, wastewater treatment facilities.	D1a, D2d	<input type="checkbox"/>	<input type="checkbox"/>

l. Other impacts: _____ _____	<input type="checkbox"/>	<input type="checkbox"/>
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**4. Impact on groundwater**

The proposed action may result in new or additional use of ground water, or may have the potential to introduce contaminants to ground water or an aquifer.  NO  YES  
 (See Part 1. D.2.a, D.2.c, D.2.d, D.2.p, D.2.q, D.2.t)  
 If "Yes", answer questions a - h. If "No", move on to Section 5.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may require new water supply wells, or create additional demand on supplies from existing water supply wells.	D2c	<input type="checkbox"/>	<input type="checkbox"/>
b. Water supply demand from the proposed action may exceed safe and sustainable withdrawal capacity rate of the local supply or aquifer. Cite Source: _____	D2c	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may allow or result in residential uses in areas without water and sewer services.	D1a, D2c	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may include or require wastewater discharged to groundwater.	D2d, E2l	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the construction of water supply wells in locations where groundwater is, or is suspected to be, contaminated.	D2c, E1f, E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may require the bulk storage of petroleum or chemical products over ground water or an aquifer.	D2p, E2l	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may involve the commercial application of pesticides within 100 feet of potable drinking water or irrigation sources.	E2h, D2q, E2l, D2c	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**5. Impact on Flooding**

The proposed action may result in development on lands subject to flooding.  NO  YES  
 (See Part 1. E.2)  
 If "Yes", answer questions a - g. If "No", move on to Section 6.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in development in a designated floodway.	E2i	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in development within a 100 year floodplain.	E2j	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in development within a 500 year floodplain.	E2k	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in, or require, modification of existing drainage patterns.	D2b, D2e	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may change flood water flows that contribute to flooding.	D2b, E2i, E2j, E2k	<input type="checkbox"/>	<input type="checkbox"/>
f. If there is a dam located on the site of the proposed action, is the dam in need of repair, or upgrade?	E1e	<input type="checkbox"/>	<input type="checkbox"/>

g. Other impacts: _____ _____	<input type="checkbox"/>	<input type="checkbox"/>
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**6. Impacts on Air**  
 The proposed action may include a state regulated air emission source.  NO  YES  
 (See Part 1. D.2.f., D.2.h, D.2.g)  
*If "Yes", answer questions a - f. If "No", move on to Section 7.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. If the proposed action requires federal or state air emission permits, the action may also emit one or more greenhouse gases at or above the following levels: i. More than 1000 tons/year of carbon dioxide (CO <sub>2</sub> ) ii. More than 3.5 tons/year of nitrous oxide (N <sub>2</sub> O) iii. More than 1000 tons/year of carbon equivalent of perfluorocarbons (PFCs) iv. More than .045 tons/year of sulfur hexafluoride (SF <sub>6</sub> ) v. More than 1000 tons/year of carbon dioxide equivalent of hydrochlorofluorocarbons (HFCs) emissions vi. 43 tons/year or more of methane	D2g D2g D2g D2g D2g D2h	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
b. The proposed action may generate 10 tons/year or more of any one designated hazardous air pollutant, or 25 tons/year or more of any combination of such hazardous air pollutants.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may require a state air registration, or may produce an emissions rate of total contaminants that may exceed 5 lbs. per hour, or may include a heat source capable of producing more than 10 million BTU's per hour.	D2f, D2g	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may reach 50% of any of the thresholds in "a" through "c", above.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the combustion or thermal treatment of more than 1 ton of refuse per hour.	D2s	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**7. Impact on Plants and Animals**  
 The proposed action may result in a loss of flora or fauna. (See Part 1. E.2. m.-q.)  NO  YES  
*If "Yes", answer questions a - j. If "No", move on to Section 8.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may cause reduction in population or loss of individuals of any threatened or endangered species, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2o	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in a reduction or degradation of any habitat used by any rare, threatened or endangered species, as listed by New York State or the federal government.	E2o	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may cause reduction in population, or loss of individuals, of any species of special concern or conservation need, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2p	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in a reduction or degradation of any habitat used by any species of special concern and conservation need, as listed by New York State or the Federal government.	E2p	<input type="checkbox"/>	<input type="checkbox"/>

e. The proposed action may diminish the capacity of a registered National Natural Landmark to support the biological community it was established to protect.	E3c	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result in the removal of, or ground disturbance in, any portion of a designated significant natural community. Source: _____	E2n	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may substantially interfere with nesting/breeding, foraging, or over-wintering habitat for the predominant species that occupy or use the project site.	E2m	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action requires the conversion of more than 10 acres of forest, grassland or any other regionally or locally important habitat. Habitat type & information source: _____	E1b	<input type="checkbox"/>	<input type="checkbox"/>
i. Proposed action (commercial, industrial or recreational projects, only) involves use of herbicides or pesticides.	D2q	<input type="checkbox"/>	<input type="checkbox"/>
j. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>8. Impact on Agricultural Resources</b>			
The proposed action may impact agricultural resources. (See Part 1. E.3.a. and b.)		<input type="checkbox"/> NO	<input type="checkbox"/> YES
<i>If "Yes", answer questions a - h. If "No", move on to Section 9.</i>			
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action may impact soil classified within soil group 1 through 4 of the NYS Land Classification System.	E2c, E3b	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may sever, cross or otherwise limit access to agricultural land (includes cropland, hayfields, pasture, vineyard, orchard, etc).	E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in the excavation or compaction of the soil profile of active agricultural land.	E3b	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may irreversibly convert agricultural land to non-agricultural uses, either more than 2.5 acres if located in an Agricultural District, or more than 10 acres if not within an Agricultural District.	E1b, E3a	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may disrupt or prevent installation of an agricultural land management system.	E1 a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result, directly or indirectly, in increased development potential or pressure on farmland.	C2c, C3, D2c, D2d	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed project is not consistent with the adopted municipal Farmland Protection Plan.	C2c	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>9. Impact on Aesthetic Resources</b> The land use of the proposed action are obviously different from, or are in sharp contrast to, current land use patterns between the proposed project and a scenic or aesthetic resource. (Part 1. E.1.a, E.1.b, E.3.h.) <i>If "Yes", answer questions a - g. If "No", go to Section 10.</i>				<input type="checkbox"/> NO	<input type="checkbox"/> YES
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>		
a. Proposed action may be visible from any officially designated federal, state, or local scenic or aesthetic resource.	E3h	<input type="checkbox"/>	<input type="checkbox"/>		
b. The proposed action may result in the obstruction, elimination or significant screening of one or more officially designated scenic views.	E3h, C2b	<input type="checkbox"/>	<input type="checkbox"/>		
c. The proposed action may be visible from publicly accessible vantage points: i. Seasonally (e.g., screened by summer foliage, but visible during other seasons) ii. Year round	E3h	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>		
d. The situation or activity in which viewers are engaged while viewing the proposed action is: i. Routine travel by residents, including travel to and from work ii. Recreational or tourism based activities	E3h E2q, E1c	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>		
e. The proposed action may cause a diminishment of the public enjoyment and appreciation of the designated aesthetic resource.	E3h	<input type="checkbox"/>	<input type="checkbox"/>		
f. There are similar projects visible within the following distance of the proposed project: 0-1/2 mile 1/2 -3 mile 3-5 mile 5+ mile	D1a, E1a, D1f, D1g	<input type="checkbox"/>	<input type="checkbox"/>		
g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>		

<b>10. Impact on Historic and Archeological Resources</b> The proposed action may occur in or adjacent to a historic or archaeological resource. (Part 1. E.3.e, f. and g.) <i>If "Yes", answer questions a - e. If "No", go to Section 11.</i>				<input type="checkbox"/> NO	<input type="checkbox"/> YES
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>		
a. The proposed action may occur wholly or partially within, or substantially contiguous to, any buildings, archaeological site or district which is listed on or has been nominated by the NYS Board of Historic Preservation for inclusion on the State or National Register of Historic Places.	E3e	<input type="checkbox"/>	<input type="checkbox"/>		
b. The proposed action may occur wholly or partially within, or substantially contiguous to, an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory.	E3f	<input type="checkbox"/>	<input type="checkbox"/>		
c. The proposed action may occur wholly or partially within, or substantially contiguous to, an archaeological site not included on the NY SHPO inventory. Source: _____	E3g	<input type="checkbox"/>	<input type="checkbox"/>		

d. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
e. If any of the above (a-d) are answered "Moderate to large impact may occur", continue with the following questions to help support conclusions in Part 3:			
i. The proposed action may result in the destruction or alteration of all or part of the site or property.	E3e, E3g, E3f	<input type="checkbox"/>	<input type="checkbox"/>
ii. The proposed action may result in the alteration of the property's setting or integrity.	E3e, E3f, E3g, E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
iii. The proposed action may result in the introduction of visual elements which are out of character with the site or property, or may alter its setting.	E3e, E3f, E3g, E3h, C2, C3	<input type="checkbox"/>	<input type="checkbox"/>

<b>11. Impact on Open Space and Recreation</b>			
The proposed action may result in a loss of recreational opportunities or a reduction of an open space resource as designated in any adopted municipal open space plan. (See Part 1. C.2.c, E.1.c., E.2.q.) <i>If "Yes", answer questions a - e. If "No", go to Section 12.</i>		<input type="checkbox"/> NO	<input type="checkbox"/> YES
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action may result in an impairment of natural functions, or "ecosystem services", provided by an undeveloped area, including but not limited to stormwater storage, nutrient cycling, wildlife habitat.	D2e, E1b E2h, E2m, E2o, E2n, E2p	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the loss of a current or future recreational resource.	C2a, E1c, C2c, E2q	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may eliminate open space or recreational resource in an area with few such resources.	C2a, C2c E1c, E2q	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in loss of an area now used informally by the community as an open space resource.	C2c, E1c	<input type="checkbox"/>	<input type="checkbox"/>
e. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>12. Impact on Critical Environmental Areas</b>			
The proposed action may be located within or adjacent to a critical environmental area (CEA). (See Part 1. E.3.d) <i>If "Yes", answer questions a - c. If "No", go to Section 13.</i>		<input type="checkbox"/> NO	<input type="checkbox"/> YES
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action may result in a reduction in the quantity of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in a reduction in the quality of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input type="checkbox"/>	<input type="checkbox"/>
c. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**13. Impact on Transportation**  
 The proposed action may result in a change to existing transportation systems.  NO  YES  
 (See Part 1. D.2.j)  
*If "Yes", answer questions a - f. If "No", go to Section 14.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Projected traffic increase may exceed capacity of existing road network.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the construction of paved parking area for 500 or more vehicles.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action will degrade existing transit access.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action will degrade existing pedestrian or bicycle accommodations.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may alter the present pattern of movement of people or goods.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**14. Impact on Energy**  
 The proposed action may cause an increase in the use of any form of energy.  NO  YES  
 (See Part 1. D.2.k)  
*If "Yes", answer questions a - e. If "No", go to Section 15.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action will require a new, or an upgrade to an existing, substation.	D2k	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action will require the creation or extension of an energy transmission or supply system to serve more than 50 single or two-family residences or to serve a commercial or industrial use.	D1f, D1q, D2k	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may utilize more than 2,500 MWhrs per year of electricity.	D2k	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve heating and/or cooling of more than 100,000 square feet of building area when completed.	D1g	<input type="checkbox"/>	<input type="checkbox"/>
e. Other Impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

**15. Impact on Noise, Odor, and Light**  
 The proposed action may result in an increase in noise, odors, or outdoor lighting.  NO  YES  
 (See Part 1. D.2.m., n., and o.)  
*If "Yes", answer questions a - f. If "No", go to Section 16.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may produce sound above noise levels established by local regulation.	D2m	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in blasting within 1,500 feet of any residence, hospital, school, licensed day care center, or nursing home.	D2m, E1d	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in routine odors for more than one hour per day.	D2o	<input type="checkbox"/>	<input type="checkbox"/>

d. The proposed action may result in light shining onto adjoining properties.	D2n	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in lighting creating sky-glow brighter than existing area conditions.	D2n, E1a	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

### 16. Impact on Human Health

The proposed action may have an impact on human health from exposure to new or existing sources of contaminants. (See Part 1.D.2.q., E.1. d. f. g. and h.)

NO

YES

*If "Yes", answer questions a - m. If "No", go to Section 17.*

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action is located within 1500 feet of a school, hospital, licensed day care center, group home, nursing home or retirement community.	E1d	<input type="checkbox"/>	<input type="checkbox"/>
b. The site of the proposed action is currently undergoing remediation.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
c. There is a completed emergency spill remediation, or a completed environmental site remediation on, or adjacent to, the site of the proposed action.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
d. The site of the action is subject to an institutional control limiting the use of the property (e.g., easement or deed restriction).	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may affect institutional control measures that were put in place to ensure that the site remains protective of the environment and human health.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action has adequate control measures in place to ensure that future generation, treatment and/or disposal of hazardous wastes will be protective of the environment and human health.	D2t	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action involves construction or modification of a solid waste management facility.	D2q, E1f	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may result in the unearthing of solid or hazardous waste.	D2q, E1f	<input type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may result in an increase in the rate of disposal, or processing, of solid waste.	D2r, D2s	<input type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may result in excavation or other disturbance within 2000 feet of a site used for the disposal of solid or hazardous waste.	E1f, E1g E1h	<input type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may result in the migration of explosive gases from a landfill site to adjacent off site structures.	E1f, E1g	<input type="checkbox"/>	<input type="checkbox"/>
l. The proposed action may result in the release of contaminated leachate from the project site.	D2s, E1f, D2r	<input type="checkbox"/>	<input type="checkbox"/>
m. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>17. Consistency with Community Plans</b> The proposed action is not consistent with adopted land use plans. (See Part 1. C.1, C.2. and C.3.) <i>If "Yes", answer questions a - h. If "No", go to Section 18.</i>			
		<input type="checkbox"/> NO	<input type="checkbox"/> YES
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action's land use components may be different from, or in sharp contrast to, current surrounding land use pattern(s).	C2, C3, D1a E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action will cause the permanent population of the city, town or village in which the project is located to grow by more than 5%.	C2	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action is inconsistent with local land use plans or zoning regulations.	C2, C2, C3	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action is inconsistent with any County plans, or other regional land use plans.	C2, C2	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may cause a change in the density of development that is not supported by existing infrastructure or is distant from existing infrastructure.	C3, D1c, D1d, D1f, D1d, E1b	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action is located in an area characterized by low density development that will require new or expanded public infrastructure.	C4, D2c, D2d D2j	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may induce secondary development impacts (e.g., residential or commercial development not included in the proposed action)	C2a	<input type="checkbox"/>	<input type="checkbox"/>
h. Other: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>18. Consistency with Community Character</b> The proposed project is inconsistent with the existing community character. (See Part 1. C.2, C.3, D.2, E.3) <i>If "Yes", answer questions a - g. If "No", proceed to Part 3.</i>			
		<input type="checkbox"/> NO	<input type="checkbox"/> YES
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action may replace or eliminate existing facilities, structures, or areas of historic importance to the community.	E3e, E3f, E3g	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may create a demand for additional community services (e.g. schools, police and fire)	C4	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may displace affordable or low-income housing in an area where there is a shortage of such housing.	C2, C3, D1f D1g, E1a	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may interfere with the use or enjoyment of officially recognized or designated public resources.	C2, E3	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action is inconsistent with the predominant architectural scale and character.	C2, C3	<input type="checkbox"/>	<input type="checkbox"/>
f. Proposed action is inconsistent with the character of the existing natural landscape.	C2, C3 E1a, E1b E2g, E2h	<input type="checkbox"/>	<input type="checkbox"/>
g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

Project : Date : 

***Full Environmental Assessment Form***  
***Part 3 - Evaluation of the Magnitude and Importance of Project Impacts***  
***and***  
***Determination of Significance***

Part 3 provides the reasons in support of the determination of significance. The lead agency must complete Part 3 for every question in Part 2 where the impact has been identified as potentially moderate to large or where there is a need to explain why a particular element of the proposed action will not, or may, result in a significant adverse environmental impact.

Based on the analysis in Part 3, the lead agency must decide whether to require an environmental impact statement to further assess the proposed action or whether available information is sufficient for the lead agency to conclude that the proposed action will not have a significant adverse environmental impact. By completing the certification on the next page, the lead agency can complete its determination of significance.

**Reasons Supporting This Determination:**

To complete this section:

- Identify the impact based on the Part 2 responses and describe its magnitude. Magnitude considers factors such as severity, size or extent of an impact.
- Assess the importance of the impact. Importance relates to the geographic scope, duration, probability of the impact occurring, number of people affected by the impact and any additional environmental consequences if the impact were to occur.
- The assessment should take into consideration any design element or project changes.
- Repeat this process for each Part 2 question where the impact has been identified as potentially moderate to large or where there is a need to explain why a particular element of the proposed action will not, or may, result in a significant adverse environmental impact.
- Provide the reason(s) why the impact may, or will not, result in a significant adverse environmental impact
- For Conditional Negative Declarations identify the specific condition(s) imposed that will modify the proposed action so that no significant adverse environmental impacts will result.
- Attach additional sheets, as needed.

**Determination of Significance - Type 1 and Unlisted Actions**

SEQR Status:  Type 1  Unlisted

Identify portions of EAF completed for this Project:  Part 1  Part 2  Part 3

Upon review of the information recorded on this EAF, as noted, plus this additional support information

and considering both the magnitude and importance of each identified potential impact, it is the conclusion of the \_\_\_\_\_ as lead agency that:

A. This project will result in no significant adverse impacts on the environment, and, therefore, an environmental impact statement need not be prepared. Accordingly, this negative declaration is issued.

B. Although this project could have a significant adverse impact on the environment, that impact will be avoided or substantially mitigated because of the following conditions which will be required by the lead agency:

There will, therefore, be no significant adverse impacts from the project as conditioned, and, therefore, this conditioned negative declaration is issued. A conditioned negative declaration may be used only for UNLISTED actions (see 6 NYCRR 617.d).

C. This Project may result in one or more significant adverse impacts on the environment, and an environmental impact statement must be prepared to further assess the impact(s) and possible mitigation and to explore alternatives to avoid or reduce those impacts. Accordingly, this positive declaration is issued.

Name of Action:

Name of Lead Agency:

Name of Responsible Officer in Lead Agency:

Title of Responsible Officer:

Signature of Responsible Officer in Lead Agency:

Date:

Signature of Preparer (if different from Responsible Officer)

Date:

**For Further Information:**

Contact Person:

Address:

Telephone Number:

E-mail:

**For Type 1 Actions and Conditioned Negative Declarations, a copy of this Notice is sent to:**

Chief Executive Officer of the political subdivision in which the action will be principally located (e.g., Town / City / Village of)

Other involved agencies (if any)

Applicant (if any)

Environmental Notice Bulletin: <http://www.dec.ny.gov/enb/enb.html>

Ord No. 1

February 18, 2016

To: The Honorable Mayor and City Council

From: Sharon Addison, City Manager

Subject: Amending City Municipal Code § 293-52, Schedule IV:  
One Way Streets

On February 16, 2016, City Council reviewed City Engineer Justin Wood's Staff Report on options for Armstrong Place. At that meeting, it was agreed that for the safety of both pedestrian and vehicle traffic to turn Armstrong Place into a one way street southbound for the portion from the municipal parking lot on State Street to Franklin Street.

Attached for City Council consideration is an Ordinance amending City Municipal Code § 293-52, Schedule IV: One Way Streets.

**ORDINANCE**

Amending City Municipal Code § 293-52,  
Schedule IV: One-Way Streets

Page 1 of 1

Council Member HORBACZ, Cody J.  
 Council Member JENNINGS, Stephen A.  
 Council Member MACALUSO, Teresa R.  
 Council Member WALCZYK, Mark. C.  
 Mayor BUTLER, Jr., Joseph M.

YEA	NAY

Total .....

***Introduced by***

\_\_\_\_\_

BE IT ORDAINED that Chapter 293 of the City Code of the City of Watertown is amended to add the following:

§ 293-52 Schedule IV: One Way Streets

<u>Name of Street</u>	<u>Direction of Travel</u>	<u>Limits</u>
Armstrong Place	South	Commencing at a point 160 feet South from State Street Curb Line to Franklin Street

and,

BE IT FURTHER ORDAINED that this amendment shall take effect as soon as it is published once in the official newspaper of the City of Watertown, or printed as the City Manager directs.

***Seconded by***



CITY OF WATERTOWN  
ENGINEERING DEPARTMENT  
MEMORANDUM

DATE: 8 February 2016

TO: Sharon Addison, City Manager

FROM: Justin Wood, City Engineer

SUBJECT: Armstrong Place – Traffic Study

At the January 19, 2016 City Council meeting, Mr. Lon Murchison made a request to the City to make upper Armstrong Place a one-way street due to safety concerns. Council directed staff to look into the issue, which is the subject of this memo.

Armstrong Place is approximately 425' long, and runs between Franklin Street and State Street. The northern portion of the street serves as an entrance and drive lane for the Municipal Parking lot, and is an acceptable width of at least 24' to support two-way traffic. The southern portion of the street is only about 15' wide, and does not meet minimum width standards to support two-way traffic.

Furthermore, Armstrong Place is NOT a City owned street, any public works projects to substantially widen, or reconstruct the street would likely necessitate acquisition of not only the current 20 foot wide street boundary, but also an additional property taking from 231 Franklin Street (Olympic Apartments) to widen the street.

Staff from the Engineering Department and Police Department made 15 observations between Jan. 29 and Feb. 5, 2016 in two hour intervals to cover the peak traffic times. These peak hour observations were generally performed between 7-9 am, 11-1 pm, and 4-6 pm. to record traffic counts, patterns, as well as pedestrian, bicycle, and power handicap scooter usage. These observations revealed the following:

**Total Estimated Average (Avg.) Daily Traffic (ADT)  $\geq$  340 vehicles per day**

**The following data is expressed as average traffic over a 2 hr peak traffic interval:**

Total Avg. Traffic during two hour peak traffic interval = 85 vehicles

Avg. Traffic entering Armstrong Pl. from Franklin St. = 30 vehicles or 29%

Avg. Traffic entering Armstrong Pl. from State St. = 73 vehicles or 71%

Avg. Traffic parking in Municipal Parking lot = 52 vehicles or 51%

Avg. Traffic using Armstrong Pl. as a cut thru = 51 vehicles or 49%

Avg. Traffic - cut thru from Franklin St. to State St. = 19 vehicles or 38%

Avg. Traffic - cut thru from State St. to Franklin St. = 32 vehicles or 62%

During 30 hours of observations, only 18 instances of vehicles passing each other on the narrow section of Armstrong were recorded. One of the vehicles yielded in all cases and no near misses or accidents were noted.

Low Volume usage by pedestrians (max 10), motorized handicap scooters (max 2), and bicycles (max 2) were also recorded during these two hour intervals.

The Watertown School District (WSD) uses Armstrong Place twice a day, traveling south from State St. to a bus stop at the intersection with Franklin St.

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The results of this study show a majority of traffic on Armstrong Place is entering from State St. (71%). Furthermore, a majority of the cut through traffic on Armstrong Place, which results in safety issues at the narrow section near Franklin St., is traveling from State St. to Franklin Street.

One of the biggest safety concerns in the current layout and function of Armstrong Place, is the semi-blind right turn movement from Franklin Street onto Armstrong Place. The Pine Cleaners building restricts visibility of all roadway users (vehicles, pedestrians, and bicycles) heading south toward Franklin Street, therefore limiting the reaction time for both drivers when some is attempting to turn right onto Armstrong Place from Franklin St.

Three options the City could take to address the safety concerns along Armstrong Place are as follows:

**1. Make Armstrong Place a One-Way street from State St. to Franklin St.**

- This pattern is in line with current traffic patterns where a majority of traffic enters from State St. (71%) and the direction of travel for those using it as a cut through street (62%).

- Eliminates the semi-blind turn movement from Franklin St. onto Armstrong Place, which is the primary safety concern of this corridor and the origin of this reason for this request.

- Would limit access to the State St. Municipal Parking Lot and force all traffic to enter from State St. The users who accessed the lot from Franklin St., would be forced to travel to Public Square, or use Parker St. or William St. and make a left onto State St.

- Conversely, it would maintain a second point of egress from the parking lot, which is important at peak times because opportunities to make a left onto State St. are very limited.

- WSD bus travels daily on Armstrong Place from State St. to Franklin St., and picks up school children at intersection with Franklin St.

**2. Make Armstrong Place a One-Way street from Franklin St. to State St.**

- This pattern would adversely affect a higher percentage of users than Option 1 as most cut through traffic travels to Franklin St.

- Provides a second point of ingress to the State St. Municipal Parking Lot.

- Does not resolve the safety concern and blind spot for vehicles turning onto Armstrong Place from Franklin St. and not being able to see pedestrians and bicyclists traveling south toward Franklin.

### **3. Acquire Property, Widen the southern portion of Armstrong Place, and keep as a Two-Way street**

- Since Armstrong is not a City-owned street, this option would require research similar to the Palmer Street Acquisition, to determine the last known property owner or descendents thereof. In order to widen the street to an acceptable width of at least 24' for two way traffic, the City would also have to acquire property from 231 Franklin St. A decision would have to be made whether to include adequate width for and to construct a sidewalk as part of the project. The sidewalk could connect to an existing sidewalk installed from State St. to the end of the municipal parking lot. An estimated Rough Order of Magnitude (ROM) Cost for widening and rebuilding the southern end of Armstrong Place with sidewalk is \$200,000, excluding right of way acquisition costs.

Option 1 is a simple, cost effective solution to minimize the risk of accidents at the southern end of Armstrong Place, near Franklin St. A one way direction of traffic to Franklin St. will accommodate on average, 2/3 of users, and maintain a secondary exit from the municipal parking lot. Option 2 is less preferred and would have a greater impact to current traffic patterns, with one-way flow to State Street. Regardless of what option is chosen, however, consideration should be given to installing a concrete sidewalk to accommodate the non vehicular users of this corridor. This could be done as a permanent easement or through property acquisition, and would require cooperation from the property owners of 231 Franklin St.

Cc: Charles Donoghue, Police Chief  
Eugene Hayes, Superintendent of Public Works  
File, Traffic/2016

Ord No. 2

February 18, 2016

To: The Honorable Mayor and City Council  
From: Sharon Addison, City Manager  
Subject: Bond Ordinance – Fire Pumper Truck

On September 8, 2015, City Council accepted a bid from Colden Enterprises Fire and Rescue in the amount of \$469,529 for the Fire Department Pumper Truck, but declined to fund the purchase through a Bond Ordinance at that time.

On December 21, 2015, City Council accepted Change Order “A” from Colden Enterprises in the amount of \$2,385.98.

On February 16, 2016, City Council reconsidered the funding for this purchase. Included in the Fiscal Year 2015-16 Capital Budget was the purchase of a Fire Department Pumper Truck at an estimated cost of \$550,000.

A summary of the project’s current costs are as follows:

Colden Enterprises Fire and Rescue		
Base bid	\$ 469,529	
Change Order A	<u>2,386</u>	\$ 471,915
Estimated equipment for pumper truck		70,000
Estimated bonding fees and contingency		<u>8,085</u>
		<u>\$ 550,000</u>

Attached for Council consideration is a Bond Ordinance to fund the purchase of this Pumper Truck.

# ORDINANCE

An Ordinance Authorizing the Issuance of \$550,000 Bonds of the City of Watertown, Jefferson County, New York, to Pay the Cost of the Purchase of a Fire Pumper Truck, in and for Said City

Page 1 of 6

Council Member HORBACZ, Cody J.  
 Council Member JENNINGS, Stephen A.  
 Council Member MACALUSO, Teresa R.  
 Council Member WALCZYK, Mark. C.  
 Mayor BUTLER, Jr., Joseph M.

Total .....

YEA	NAY

### *Introduced by*

\_\_\_\_\_

At a regular meeting of the Council of the City of Watertown, Jefferson County, New York, held at the Municipal Building, in Watertown, New York, in said City, on March 7, 2016, at 7:00 o'clock P.M., Prevailing Time.

The meeting was called to order by \_\_\_\_\_, and upon roll being called, the following were

PRESENT:

ABSENT:

The following ordinance was offered by \_\_\_\_\_, who moved its adoption, seconded by \_\_\_\_\_, to wit:

### BOND ORDINANCE DATED MARCH 7, 2016.

BE IT ORDAINED, by the Council of the City of Watertown, Jefferson County, New York, as follows:

Section 1. For the specific object or purpose of paying part of the cost of the purchase of a fire pumper truck, including incidental expenses in connection therewith, all in and for the City of Watertown, Jefferson County, New York, there are hereby authorized to be issued \$550,000 bonds of said City pursuant to the provisions of the Local Finance Law.

Section 2. It is hereby determined that the estimated maximum cost of the aforesaid specific object or purpose is \$550,000 and that the plan for the financing thereof is by the issuance of the \$550,000 bonds of said City authorized to be issued pursuant to this bond ordinance.

# ORDINANCE

An Ordinance Authorizing the Issuance of \$550,000 Bonds of the City of Watertown, Jefferson County, New York, to Pay the Cost of the Purchase of a Fire Pumper Truck, in and for Said City

Page 2 of 6

Council Member HORBACZ, Cody J.  
 Council Member JENNINGS, Stephen A.  
 Council Member MACALUSO, Teresa R.  
 Council Member WALCZYK, Mark. C.  
 Mayor BUTLER, Jr., Joseph M.  
 Total .....

YEA	NAY

Section 3. It is hereby determined that the period of probable usefulness of the aforesaid specific object or purpose is twenty years, pursuant to subdivision twenty-seven of paragraph a of Section 11.00 of the Local Finance Law.

Section 4. Subject to the provisions of the Local Finance Law, the power to authorize the issuance of and to sell bond anticipation notes in anticipation of the issuance and sale of the bonds herein authorized, including renewals of such notes, is hereby delegated to the City Comptroller, the chief fiscal officer. Such notes shall be of such terms, form and contents, and shall be sold in such manner, as may be prescribed by said City Comptroller, consistent with the provisions of the Local Finance Law.

Section 5. The faith and credit of said City of Watertown, Jefferson County, New York, are hereby irrevocably pledged for the payment of the principal of and interest on such obligations as the same respectively become due and payable. An annual appropriation shall be made in each year sufficient to pay the principal of and interest on such obligations becoming due and payable in such year.

Section 6. Such bonds shall be in fully registered form and shall be signed in the name of the City of Watertown, Jefferson County, New York, by the manual or facsimile signature of the City Comptroller and a facsimile of its corporate seal shall be imprinted thereon and may be attested by the manual or facsimile signature of the City Clerk.

Section 7. The powers and duties of advertising such bonds for sale, conducting the sale and awarding the bonds, are hereby delegated to the City Comptroller, who shall advertise such bonds for sale, conduct the sale, and award the bonds in such manner as he shall deem best for the interests of the City, including, but not limited to, the power to sell said bonds to the New York State Environmental Facilities Corporation; provided, however, that in the exercise of these delegated powers, he shall comply fully with the provisions of the Local Finance Law and any order or rule of the State Comptroller applicable to the sale of municipal bonds. The receipt of the City Comptroller shall be a full acquittance to the purchaser of such bonds, who shall not be obliged to see to the application of the purchase money.

# ORDINANCE

An Ordinance Authorizing the Issuance of \$550,000 Bonds of the City of Watertown, Jefferson County, New York, to Pay the Cost of the Purchase of a Fire Pumper Truck, in and for Said City

Page 3 of 6

Council Member HORBACZ, Cody J.  
 Council Member JENNINGS, Stephen A.  
 Council Member MACALUSO, Teresa R.  
 Council Member WALCZYK, Mark. C.  
 Mayor BUTLER, Jr., Joseph M.

Total .....

YEA	NAY

Section 8. The power to issue and sell notes to the New York State Environmental Facilities Corporation pursuant to Section 169.00 of the Local Finance Law is hereby delegated to the City Comptroller. Such notes shall be of such terms, form and contents as may be prescribed by said City Comptroller consistent with the provisions of the Local Finance Law.

Section 9. The City Comptroller is hereby further authorized, at his or her sole discretion, to execute a project financing agreement, and any other agreements with the New York State Department of Environmental Conservation and/or the New York State Environmental Facilities Corporation, including amendments thereto, and including any instruments (or amendments thereto) in the effectuation thereof, in order to effect the financing or refinancing of the specific object or purpose described in Section 1 hereof, or a portion thereof, by a bond, and, or note issue of said City in the event of the sale of same to the New York State Environmental Facilities Corporation.

Section 10. The intent of this resolution is to give the City Comptroller sufficient authority to execute those applications, agreements, instruments or to do any similar acts necessary to effect the issuance of the aforesaid bonds and, or notes, without resorting to further action of the City Comptroller.

Section 11. All other matters, except as provided herein relating to such bonds, including determining whether to issue such bonds having substantially level or declining annual debt service and all matters related thereto, prescribing whether manual or facsimile signatures shall appear on said bonds, prescribing the method for the recording of ownership of said bonds, appointing the fiscal agent or agents for said bonds, providing for the printing and delivery of said bonds (and if said bonds are to be executed in the name of the City by the facsimile signature of its City Comptroller, providing for the manual countersignature of a fiscal agent or of a designated official of the City), the date, denominations, maturities and interest payment dates, place or places of payment, and also including the consolidation with other issues, shall be determined by the City Comptroller. It is hereby determined that it is to the financial advantage of the City not to impose and collect from registered owners of such bonds any charges for mailing, shipping and insuring bonds transferred or exchanged by the fiscal agent, and, accordingly, pursuant to paragraph c of Section 70.00 of the Local Finance Law, no such charges shall be so collected by the fiscal agent. Such bonds shall contain substantially the recital of validity clause provided for in Section 52.00 of the Local Finance Law and shall otherwise be in

# ORDINANCE

An Ordinance Authorizing the Issuance of \$550,000 Bonds of the City of Watertown, Jefferson County, New York, to Pay the Cost of the Purchase of a Fire Pumper Truck, in and for Said City

Page 4 of 6

Council Member HORBACZ, Cody J.  
Council Member JENNINGS, Stephen A.  
Council Member MACALUSO, Teresa R.  
Council Member WALCZYK, Mark. C.  
Mayor BUTLER, Jr., Joseph M.

Total .....

YEA	NAY

such form and contain such recitals in addition to those required by Section 52.00 of the Local Finance Law, as the City Comptroller shall determine.

Section 12. The validity of such bonds and bond anticipation notes may be contested only if:

- (1) Such obligations are authorized for an object or purpose for which said City is not authorized to expend money, or
- (2) The provisions of law which should be complied with at the date of publication of this resolution are not substantially complied with, and an action, suit or proceeding contesting such validity is commenced within twenty days after the date of such publication, or
- (3) Such obligations are authorized in violation of the provisions of the Constitution.

Section 13. This resolution shall constitute a statement of official intent for purposes of Treasury Regulations Section 1.151 2. Other than as specified in this resolution, no monies are, or are reasonably expected to be, reserved, allocated on a long term basis, or otherwise set aside with respect to the permanent funding of the object or purpose described herein.

Section 14. This ordinance, which takes effect immediately, shall be published in summary in the Watertown Daily Times, the official newspaper, together with a notice of the City Clerk in substantially the form provided in Section 81.00 of the Local Finance Law.

Unanimous consent moved by \_\_\_\_\_, seconded by \_\_\_\_\_, with all voting "AYE".

The question of the adoption of the foregoing ordinance was duly put to a vote on roll call, which resulted as follows:

\_\_\_\_\_ VOTING \_\_\_\_\_  
 \_\_\_\_\_ VOTING \_\_\_\_\_  
 \_\_\_\_\_ VOTING \_\_\_\_\_  
 \_\_\_\_\_ VOTING \_\_\_\_\_  
 \_\_\_\_\_ VOTING \_\_\_\_\_

# ORDINANCE

An Ordinance Authorizing the Issuance of \$550,000 Bonds of the City of Watertown, Jefferson County, New York, to Pay the Cost of the Purchase of a Fire Pumper Truck, in and for Said City

Page 5 of 6

Council Member HORBACZ, Cody J.  
 Council Member JENNINGS, Stephen A.  
 Council Member MACALUSO, Teresa R.  
 Council Member WALCZYK, Mark. C.  
 Mayor BUTLER, Jr., Joseph M.

Total .....

YEA	NAY

The ordinance was thereupon declared duly adopted.

\* \* \* \* \*

APPROVED BY THE MAYOR

\_\_\_\_\_, 2016.  
Mayor

STATE OF NEW YORK    )  
                                  ) ss.:  
COUNTY OF JEFFERSON )

I, the undersigned Clerk of the City of Watertown, Jefferson County, New York, DO HEREBY CERTIFY:

That I have compared the annexed extract of the minutes of the meeting of the Council of said City, including the ordinance contained therein, held on March 7, 2016, with the original thereof on file in my office, and that the same is a true and correct transcript therefrom and of the whole of said original so far as the same relates to the subject matters therein referred to.

I FURTHER CERTIFY that all members of said Council had due notice of said meeting.

I FURTHER CERTIFY that, pursuant to Section 103 of the Public Officers Law (Open Meetings Law), said meeting was open to the general public.

I FURTHER CERTIFY that, PRIOR to the time of said meeting, I duly caused a public notice of the time and place of said meeting to be given to the following newspapers and/or other news media as follows:

# ORDINANCE

An Ordinance Authorizing the Issuance of \$550,000 Bonds of the City of Watertown, Jefferson County, New York, to Pay the Cost of the Purchase of a Fire Pumper Truck, in and for Said City

Page 6 of 6

Council Member HORBACZ, Cody J.  
 Council Member JENNINGS, Stephen A.  
 Council Member MACALUSO, Teresa R.  
 Council Member WALCZYK, Mark. C.  
 Mayor BUTLER, Jr., Joseph M.

Total .....

YEA	NAY

Newspaper and/or other news media Date given

Regular meeting of the City Council held in accordance with Section 14-1 of the Municipal Code

I FURTHER CERTIFY that PRIOR to the time of said meeting, I duly caused public notice of the time and place of said meeting to be conspicuously posted in the following designated public location(s) on the following dates:

Designated Location(s) of Posted Notice      Date of Posting

Regular meeting of the City Council held in accordance with Section 14-1 of the Municipal Code

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of said City on March \_\_, 2016.

\_\_\_\_\_  
City Clerk  
(CORPORATE SEAL)

Ord No. 3

March 2, 2016

To: The Honorable Mayor and City Council

From: Michael A. Lumbis, Planner

Subject: Changing the Approved Zoning Classification of 724 and 728 Washington Street, Parcel Numbers 14-01-139.000 and 14-01-101.000 from Limited Business to Health Services, and to change the approved zoning classification of 110, 150, 154 and 158 Woodruff Street, Parcel Numbers 14-01-102.000, 14-01-112.000, 14-01-113.000 and 14-01-114.000 from Residence B to Health Services

Timothy F. Titus of Aubertine & Currier on behalf of Samaritan Medical Center has submitted the above subject zone change request.

The Planning Board reviewed the request at its March 1, 2016 meeting and unanimously adopted a motion recommending that City Council approve the request.

Attached is the report on the zone change request prepared for the Planning Board, along with an excerpt from its meeting minutes.

The attached ordinance adopts the change as requested. The Council must hold a public hearing on the ordinance before it may vote. It is recommended that a public hearing be scheduled for 7:30 pm on Monday, March 21, 2016. A SEQRA resolution will also be presented for City Council consideration at that meeting.

# ORDINANCE

Page 1 of 1

Changing the Approved Zoning Classification of 724 and 728 Washington Street, Parcel Numbers 14-01-139.000 and 14-01-101.000 from Limited Business to Health Services, and to changing the approved zoning classification of 110, 150, 154 and 158 Woodruff Street, Parcel Numbers 14-01-102.000, 14-01-112.000, 14-01-113.000 and 14-01-114.000 from Residence B to Health Services

Council Member HORBACZ, Cody J.  
 Council Member JENNINGS, Stephen A.  
 Council Member MACALUSO, Teresa R.  
 Council Member WALCZYK, Mark C.  
 Mayor BUTLER, Jr., Joseph M.  
 Total .....

YEA	NAY

### *Introduced by*

BE IT ORDAINED where Timothy F. Titus of Aubertine & Currier, on behalf of Samaritan Medical Center, has made an application by petition filed with the City Clerk, pursuant to Section 83 of the New York General City Law to change the approved zoning classification of 724 and 728 Washington Street, Parcel Numbers 14-01-139.000 and 14-01-101.000 from Limited Business to Health Services, and to change the approved zoning classification of 110, 150, 154 and 158 Woodruff Street, Parcel Numbers 14-01-102.000, 14-01-112.000, 14-01-113.000 and 14-01-114.000 from Residence B to Health Services, and

WHEREAS the Planning Board of the City of Watertown considered the request at its March 1, 2016 meeting and unanimously adopted a motion recommending that City Council approve the zone change, and

WHEREAS a public hearing was held on the proposed zone change on March 21, 2016, after due public notice, and

WHEREAS the City Council has made a declaration of Negative Findings of the impacts of the proposed zone change according to the requirements of SEQRA, and

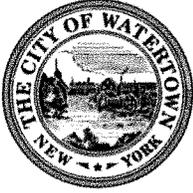
WHEREAS the City Council deems it in the best interest of the citizens of the City of Watertown to approve the requested zone change,

NOW THEREFORE BE IT ORDAINED that the approved zoning classification of 724 and 728 Washington Street, Parcel Numbers 14-01-139.000 and 14-01-101.000 shall be changed from Limited Business to Health Services, and the approved zoning classification of 110, 150, 154 and 158 Woodruff Street, Parcel Numbers 14-01-102.000, 14-01-112.000, 14-01-113.000 and 14-01-114.000 shall be changed from Residence B to Health Services, and

BE IT FURTHER ORDAINED that the Zoning Map of the City of Watertown shall be amended to reflect these changes, and

BE IT FURTHER ORDAINED this amendment to the Zoning Ordinance of the City of Watertown shall take effect as soon as it is published once in the official newspaper of the City of Watertown, or otherwise printed as the City Manager directs.

### **Seconded by**



# MEMORANDUM

CITY OF WATERTOWN, NEW YORK  
OFFICE OF PLANNING AND COMMUNITY DEVELOPMENT  
245 WASHINGTON STREET, ROOM 304, WATERTOWN, NY 13601  
PHONE: 315-785-7740 – FAX: 315-785-7829

TO: Planning Board Members

FROM: Michael A. Lumbis, Planner

SUBJECT: Zone Change – 724 Washington Street 150 Woodruff Street  
728 Washington Street 154 Woodruff Street  
110 Woodruff Street 158 Woodruff Street

DATE: February 25, 2016

---

**Request:** To change the approved zoning classification of 724 and 728 Washington Street, Parcel Numbers 14-01-139.000 and 14-01-101.000 from Limited Business to Health Services, and to change the approved zoning classification of 110, 150, 154 and 158 Woodruff Street, Parcel Numbers 14-01-102.000, 14-01-112.000, 14-01-113.000 and 14-01-114.000 from Residence B to Health Services.

**Applicant:** Timothy F. Titus of Aubertine and Currier, PLLC on behalf of Samaritan Medical Center.

**Owner:** Samaritan Medical Center

**SEQRA:** Unlisted

**County review:** Not required

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**Comments:** The applicant is requesting a zone change for the subject parcels to allow the construction of additional off street parking facilities for the Samaritan Medical Center. Additional off street parking will be required for the proposed Women's and Children's Addition and Cancer Center Addition projects. The applicant intends to apply for site plan approval at a future Planning Board meeting. The applicant's request to change the zoning of these parcels is firmly related to his request to construct a Women's and Children's Addition and Cancer Center Addition at a later time. However, this zone change request should be considered independent of any future site plan approvals.

The attached map, prepared by City Staff, identifies two groups of parcels. The Parcel Grouping 'A' is bounded on the north and west by Residence B zoning and the existing land use is single family detached housing. To the south and east, the zoning is Health Services and the land use is parking for the Samaritan Medical Center. The Parcel Grouping 'B' is bounded on the north by Limited Business zoning and Residence B to the west and the land use consists of single family detached housing. To the south and east, the zoning is Health Services. The Samaritan parking garage is located to the south of group B.

**Land Use Plan:** The Land Use Plan calls for Low and Medium Density Residential along the north side of Woodruff Street.

**SEQR:** In the applicant's response to Question 2, which asks if the proposed action requires a permit, approval or funding from any other government agency, the applicant answered "yes" but did not list the City Code Enforcement Bureau as the agency that is to issue the required building permit.

In the applicant's response to Question 17, which asks if the proposed action will create stormwater discharge, the applicant answered "yes." Although the future construction of a proposed parking lot would create additional stormwater discharge, the preliminary zone change will not. When the applicant applies for the construction of a parking lot, a new SEQR must be submitted that would recognize the creation of additional stormwater runoff.

cc: City Council Members  
Brian Drake, Civil Engineer II  
Timothy Titus, Aubertine and Currier  
Chris Bastien, Samaritan Medical Center  
Thomas Carmen, Samaritan Medical Center

**ZONE CHANGE**

**724 AND 728 WASHINGTON STREET – PARCELS 14-01-139.000 AND 14-01-101.000  
LIMITED BUSINESS TO HEALTH SERVICES**

**AND**

**110, 150, 154 and 158 WOODRUFF STREET – PARCELS 14-01-102.000, 14-01-112.000,  
14-01-113.000 AND 14-01-114.000  
RESIDENCE B TO HEALTH SERVICES**

The Planning Board then considered a request submitted by Timothy F. Titus of Aubertine and Currier, PLLC on behalf of Samaritan Medical Center to change the approved zoning classification of 724 and 728 Washington Street, Parcel Numbers 14-01-139.000 and 14-01-101.000 from Limited Business to Health Services and to change the approved zoning classification of 110, 150, 154 and 158 Woodruff Street, Parcel Numbers 14-01-102.000, 14-01-112.000, 14-01-113.000 and 14-01-114.000 from Residence B to Health Services.

Matt Morgia of Aubertine and Currier, PLLC, as well as Thomas Carman and Chris Bastien of Samaritan Medical Center were in attendance to represent the request. At this time, Mr. Coburn stated for the record that he is on the Patient Family Council for Samaritan Medical Center, but that he had no financial or personal interest in this matter.

Mr. Morgia began by saying that the request was fairly straightforward. Mr. Morgia drew the Planning Board's attention to a map of the hospital and the surrounding blocks. He identified Samaritan Medical Center on the map and then identified all six parcels for which the applicant was requesting a zone change.

He noted that some of the parcels were at the western end of Woodruff Street and some were at the eastern end of the street. He then identified a pair of parcels in the middle of Woodruff Street, where there is an existing parking lot. Mr. Morgia said that these parcels were re-zoned to Health Services in 2004 when the existing parking lot was constructed.

He added that all of the parcels in question were owned by Samaritan Medical Center and said that the intent was for them to become part of a new parking lot that would support a future construction project to be submitted within a month. He then asked if the Planning Board had any questions.

Ms. Fields asked if the house on the corner of Woodruff Street and Washington Street would be coming down. Mr. Morgia replied in the affirmative. Mr. Neddo asked if any owners of neighboring properties had expressed any concerns. Mr. Bastien replied that Samaritan Medical Center had reached out to all of the neighboring landowners and none of them had any objections to the project.

Mr. Polkowski added that letters went out to the owners of every property within 100 feet of any of the parcels proposed to be re-zoned. Mr. Lumbis added that City Council

would schedule a public hearing before acting on the request and that these property owners would be also notified of this hearing in advance.

Mr. Katzman then asked if there would be any potential negative impacts on the neighborhood. Mr. Lumbis replied that if the hospital did not expand its parking, then you could have a situation where parking is overflowing onto the streets. He said that because the hospital is planning two major expansions, that parking has to be increased.

Mr. Katzman followed up by asking if there was any specific negative impact to the neighborhood that could result from this action. Mr. Lumbis replied that there would likely be a visual impact, but that buffers and aesthetics would be considered as a part of the site plan review process.

Mr. Katzman then said that the corner of Pratt Street and Sherman Street is a pretty ugly corner. He added that Washington Street is a beautiful street and he would like to see it remain aesthetically pleasing there, or at least as pleasing as possible. Mr. Coburn commented that this was a part of the next phase of review. Mr. Lumbis echoed this comment, and reiterated that aesthetics will be a part of the site plan review once that was submitted.

Mr. Lumbis added that what the Planning Board needed to consider today was all of the uses permitted in the new zoning district, such as additional medical buildings, and whether those would be good for the neighborhood. Ms. Fields noted that all of these parcels were owned by the hospital, and there was no reason to believe that anything would occur that was out of conformance with the hospital's long-term plans.

Mr. Katzman then asked if Samaritan Medical Center would take over Woodruff Street like the hospital had taken over Pratt Street. Mr. Bastien replied in the negative, and said he did not foresee that ever happening as Woodruff Street is a secondary entrance to the emergency department.

Mr. Katzman then moved to recommend that City Council approve the zone change request submitted by Timothy F. Titus of Aubertine and Currier, PLLC on behalf of Samaritan Medical Center to change the approved zoning classification of 724 and 728 Washington Street, Parcel Numbers 14-01-139.000 and 14-01-101.000 from Limited Business to Health Services and to change the approved zoning classification of 110, 150, 154 and 158 Woodruff Street, Parcel Numbers 14-01-102.000, 14-01-112.000, 14-01-113.000 and 14-01-114.000 from Residence B to Health Services. The motion was seconded by Ms. Fields and all voted in favor.

**Legend**

-  REQUESTED ZONE CHANGE
-  RIVER DEVELOPMENT DISTRICT
-  DOWNTOWN CORE OVERLAY
-  Open Space and Recreation
-  DOWNTOWN
-  RESIDENCE A
-  RESIDENCE B
-  RESIDENCE C
-  WATERFRONT
-  LIMITED BUSINESS
-  NEIGHBORHOOD BUSINESS
-  COMMERCIAL
-  HEALTH SERVICES
-  LIGHT INDUSTRY
-  HEAVY INDUSTRY
-  PLANNED DEVELOPMENT



**CITY OF WATERTOWN, NEW YORK  
GIS DEPARTMENT**

ROOM 305B, MUNICIPAL BUILDING  
245 WASHINGTON STREET  
WATERTOWN, NEW YORK 13601  
TEL: (315) 785-7793

Drawn By: J.Carlsson

Date: 2/24/2016

Requested By: J.Polkowski

Date:

Scale: As Noted

Map Number: 16-18

Revision:	Description of Revision:	Date:	By:



Project: **ZONE CHANGE MAP**  
(Residence B & Limited Business to Health Services)

Title: **Woodruff Street**  
(14-01-101.000, 14-01-102.000, 14-01-112.000, 14-01-113.000, 14-01-114.000 & 14-01-139.000)

**Legend**

-  REQUESTED ZONE CHANGE
-  Annexed
-  City Center
-  Commercial
-  Drainage
-  Health Services
-  High Density Residential
-  Industry
-  Limited Office
-  Low Density Residential
-  Medium Density Residential
-  Neighborhood Business
-  Office/Business
-  Public and Institutional Services
-  Riverfront Development



CITY OF WATERTOWN, NEW YORK  
GIS DEPARTMENT

 ROOM 305B, MUNICIPAL BUILDING  
245 WASHINGTON STREET  
WATERTOWN, NEW YORK 13601  
TEL: (315) 785-7793

Drawn By: J. Carlsson

Date: 2/24/2016

Requested By: J. Polkowski

Date:

Scale: As Noted

Map Number: 16-19

Revision:	Description of Revision:	Date:	By:



Project: LAND USE MAP

Title: Woodruff Street  
(14-01-101,000, 14-01-102,000, 14-01-112,000,  
14-01-113,000, 14-01-114,000 & 14-01-139,000)

February 16, 2016

City of Watertown  
Justin Wood, P.E., City Engineer  
Room 305, City Hall  
245 Washington Street  
Watertown, NY 13601

Re: **Zone Change Request  
Samaritan Medical Center  
Woodruff Street Parking Project (A&C Project #2015-174)  
830 Washington Street, Watertown, NY**

Dear Mr. Wood:

Aubertine and Currier Architects, Engineers & Land Surveyors, PLLC on behalf of Samaritan Medical Center is requesting to be included on the agenda for the March City of Watertown Planning Board meeting for a Zone Change Request to Health Services for six parcels owned by Samaritan Medical Center. The Samaritan Medical Center parcels include Tax Parcel No. 14-01-102, 14-01-112, 14-01-113 and 14-01-114, which are currently zoned Residence B and Tax Map Parcel No. 14-01-101 and 14-01-139, which are currently zoned Limited Business. The proposed zone change would be required for these parcels to be used for additional "off-street" parking facilities as an accessory use to the principal parcel of the Samaritan Medical Center. Additional parking spaces will be required for the proposed Women's and Children's Addition and Cancer Center Addition projects. The Health Services Zoning would be consistent with the adjacent parcels owned by Samaritan Medical Center.

Included with this submission are fifteen (15) copies of this cover letter, Short SEQR Environmental Assessment Form, 11"x17" copy of the Site Plan, the property deeds, GIS Zoning map and a Tax Map with the parcel highlighted. A check for \$100.00 is included for the review fee.

Additional information on these building additions and parking lot expansions will follow in March. If there are any questions, please feel free to contact our office at your earliest convenience.

Sincerely,  
Aubertine and Currier Architects, Engineers & Land Surveyors, PLLC



Timothy F. Titus  
Civil Designer

Attachments

Cc: Mr. Chris Bastien, Samaritan Medical Center



NYS WBE/DBE Certified  
SBA Woman Owned  
Small Business (WOSB)

[aubertinecurrier.com](http://aubertinecurrier.com)

522 Bradley Street  
Watertown, New York 13601

Phone: 315.782.2005

Fax: 315.782.1472

**Managing Partner**

Annette M. Mason, P.E.  
Structural Engineer

**Partners**

Michael L. Aubertine, R.A.  
Architect

Patrick J. Currier, R.A.  
Architect

Brian A. Jones, AIA.,  
LEED AP BD+C  
Architect

Matthew R. Morgia, P.E.  
Civil Engineer

Jayson J. Jones, P.L.S.  
Land Surveyor

# *Short Environmental Assessment Form*

## *Part 1 - Project Information*

### Instructions for Completing

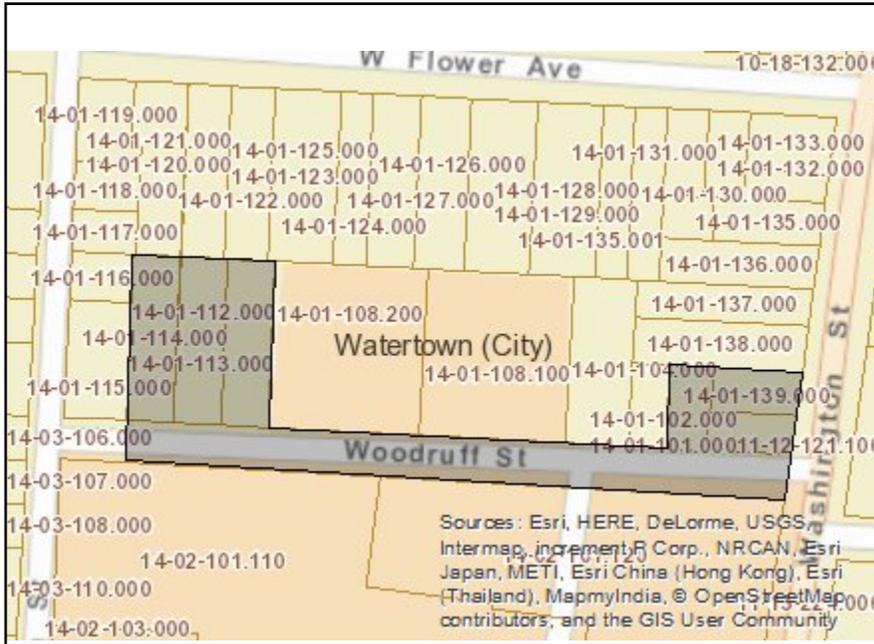
**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>			
Name of Action or Project:			
Project Location (describe, and attach a location map):			
Brief Description of Proposed Action:			
Name of Applicant or Sponsor:		Telephone:	
		E-Mail:	
Address:			
City/PO:		State:	Zip Code:
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<b>NO</b>
			<b>YES</b>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			<b>NO</b>
			<b>YES</b>
3.a. Total acreage of the site of the proposed action? _____ acres			
b. Total acreage to be physically disturbed? _____ acres			
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			







**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National Register of Historic Places]	No
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 16 [100 Year Flood Plain]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
Part 1 / Question 20 [Remediation Site]	Yes

## **SHORT EAF SUMMARY REPORT:**

The Short EAF was completed utilizing the online NYSDEC EAF Mapper. The Mapper will provide yes or no answers to certain parts of the Short EAF. If the mapper answered yes to any of the questions, supplemental information was provided below.

Narrative Description for Part 1; Questions 15.

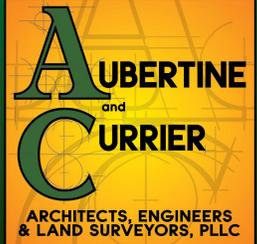
If the question was answered “yes” the proposed action or lands may contain a species of animal, or associated habitats, listed by the State or Federal government and threatened or endangered.

Reviewing several online resources including NYSDEC, NY Natural Heritage and US Fish and Wildlife Services, the project site may be in a general location that may contain threatened and endangered species. However this does not mean that they are located on the specific project site. Local municipality may have further information if the project site contains any threatened or endangered species.

Narrative Description for Part 1; Questions 20.

If the question was answered “yes” the proposed action or lands may be within a 2,000 foot buffer of a (ongoing or completed) remediation project of hazard waste.

Reviewing the online NYSDEC Environmental Navigator, it appears that there was a Voluntary Cleanup Program Site located near the intersection of Washington Street and Chestnut Street. This site is located approximately 1,700 feet away from the proposed action.



**NYS WBE/DBE Certified**  
**SBA Woman Owned**  
**Small Business (WOSB)**

[aubertinecurrier.com](http://aubertinecurrier.com)

522 Bradley Street  
Watertown, New York 13601

**Phone:** 315.782.2005

**Fax:** 315.782.1472

**Managing Partner**  
Annette M. Mason, P.E.  
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Architect

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Brian A. Jones, AIA.,  
LEED AP BD+C  
Architect

Matthew R. Morgia, P.E.  
Civil Engineer

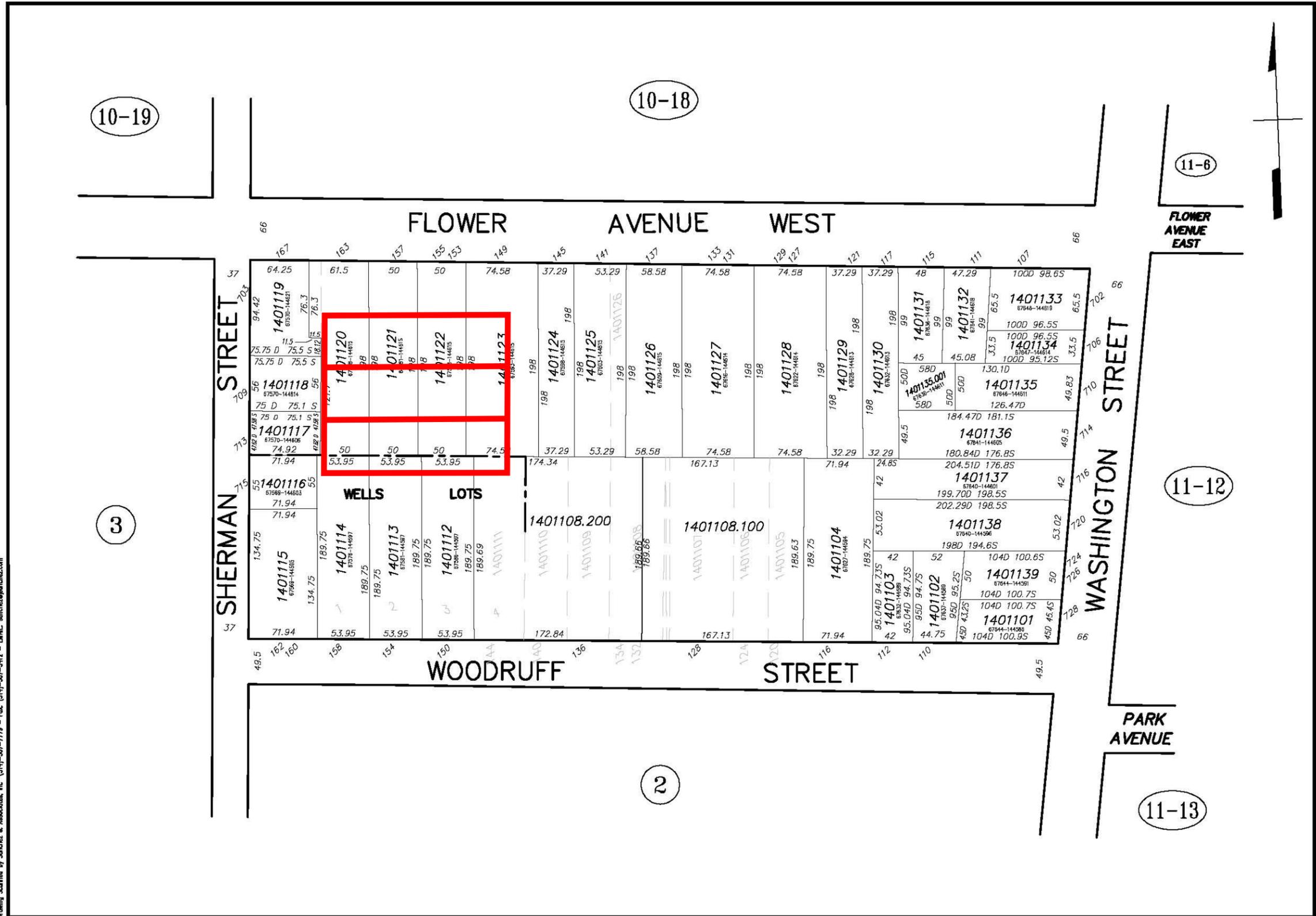
Jayson J. Jones, P.L.S.  
Land Surveyor



January 28, 2016

**Disclaimer:** This map was prepared by the City of Watertown Internet Mapping Application. The information was compiled using the most current data available. It is deemed accurate, but is not guaranteed.





Drawing Scanned by Sanchez & Associates, Inc. (514)-587-7779 - Fax (514)-587-3412 - EMAIL: [sanchez@sanchez.com](mailto:sanchez@sanchez.com)

SCALE: 1 INCH = 50 FEET  
**FOR TAX PURPOSES ONLY**  
**NOT TO BE USED FOR CONVEYANCE**

REVISÉ 3/23/2010  
**DISTRICT 14 MAP 1**



522 Bradley Street  
Watertown, New York 13601

[aubert@ecurrier.com](mailto:aubert@ecurrier.com)

Phone: (315)782-2005  
Fax: (315)782-1472

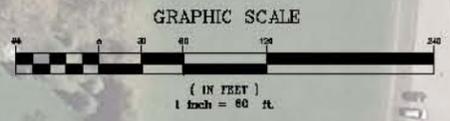
The drawings, articles, designs or land surveyor submitted in the name of the or the land surveyor are in accordance with the laws and regulations of the State of New York, and the land surveyor is not responsible for any errors or omissions in the drawings, articles, designs or land surveyor submitted in the name of the or the land surveyor. The land surveyor is not responsible for any errors or omissions in the drawings, articles, designs or land surveyor submitted in the name of the or the land surveyor. The land surveyor is not responsible for any errors or omissions in the drawings, articles, designs or land surveyor submitted in the name of the or the land surveyor.

**SAMARITAN MEDICAL CENTER**  
830 WASHINGTON STREET  
CITY OF WATERTOWN  
JEFFERSON COUNTY, STATE OF NEW YORK

PROJECT NO.	09-419
SCALE	AS NOTED
DATE	07/11
DESIGNED BY	RFM
DRAWN BY	RFM

PROPOSED  
OVERALL CAMPUS  
PARKING PLAN

**CP1**



Jefferson County - New York  
Jo Ann M. Wilder

RECORDING CERTIFICATE

13116

Transaction Number: 021113356530

Type of Instrument: DEED RECORD

Received From: CONBOY LAW FIRM  
& RETURN TO WATERTOWN OFFICE

Recording Charge: 69.00 Recording Pages: 3

\*\* EXAMINED AND CHARGED AS FOLLOWS : \*\*

\*\* TRANSFER TAX \*\*

\*\* MTG/DEED AMOUNT \*\*

402.00

100,500.00

RS#: 1646

Mortgage#:

Received Tax on Above Mortgage

Basic: .00

Special Adtl: .00

Town: Additional: .00

Mortgage Tax Total: .00

Total Recording Fees: 471.00

\*\* THIS PAGE IS PART OF THE INSTRUMENT \*\*

I HEREBY CERTIFY THAT THE WITHIN AND FOREGOING WAS RECORDED IN THE  
CLERK'S OFFICE FOR Jefferson County - New York

LIBER 1894 PAGE 175

IN (Book/Page):

ON (Recorded Date): 11/13/02

AT (Time): 02:51 Terminal ID: 113



*John M. Wilder*

Deed - Warranty with Lien Covenant

**LIBER 1894 PAGE 176**

*X*  
C. JOY, MARY SACHMAN & KENDALL LLP (c/e)  
437 Sherman Street  
Watertown, New York 13601-3899

**THIS INDENTURE**

JEFFERSON COUNTY CLERK  
RECORDED/FILED/  
STATE OF NEW YORK

Made the 11<sup>th</sup> day of November, Two Thousand Two (2002).

2002 NOV 13 PH 2: 51

**BETWEEN**

*John M. Widen*  
CLERK

**GERALD S. WEINSTEIN and MADELINE C. WEINSTEIN**  
c/o 228 Sherman Street  
Watertown, NY 13601,

grantor(s).

-and-

**SAMARITAN MEDICAL CENTER**, a New York not-for-profit corporation  
830 Washington Street  
Watertown, NY 13601,

grantee(s).

**WITNESSETH** that the grantor(s) in consideration of One (\$1.00) Dollar, lawful money of the United States, and other good and valuable consideration, paid by the grantee(s), hereby grant(s) and release(s) unto the grantee(s), its successors and/or assigns forever,

**ALL THAT TRACT OR PARCEL OF LAND** situate in the City of Watertown, County of Jefferson and State of New York, as described in the attached Schedule "A" which is hereby incorporated herein by reference (referred to as the "Premises"), together with interest, if any, of the Grantor(s) in and to any streets and roads abutting the Premises to the centerlines thereof.

**TOGETHER** with the appurtenances and all the estate and rights of the grantor(s) in and to said premises.

**TO HAVE AND TO HOLD** the premises herein granted unto the grantee(s), its successors and/or assigns forever.

And the grantor(s) covenant(s) as follows:

**FIRST.** That the grantee(s) shall quietly enjoy the said premises:

**SECOND.** That the grantor(s) will forever **WARRANT** the title to said premises.

This deed is subject to the trust provisions of Section 13 of the Lien Law. The words "grantor(s)" and "grantee(s)" shall be construed to read in the plural whenever the sense of this deed so requires.

**IN WITNESS WHEREOF**, the grantor(s) has/have executed this deed the day and year first above written. In presence of:

*Gerald S. Weinstein* L.S.  
Gerald S. Weinstein  
*Madelin C. Weinstein* L.S.  
Madelin C. Weinstein

STATE OF NEW YORK )  
COUNTY OF JEFFERSON ) s.s.:

On the 11<sup>th</sup> day of November in the year 2002, before me, the undersigned, a Notary Public in and for said state, personally appeared **GERALD S. WEINSTEIN AND MADELINE C. WEINSTEIN**, personally known to me or proved to me on the basis of satisfactory evidence to be the individuals whose names are subscribed to the within instrument and acknowledged to me that they executed the same in their capacities, and that by their signatures on the instrument, the individual(s) or the person upon behalf of which the individual(s) acted, executed the instrument.

*Shelley J. Clancy*  
Notary Public in and for the State of New York  
SHELLEY J. CLANCY  
NOTARY PUBLIC, State of New York  
Qualified in St. Lawrence Co. No. 497567D  
Commission Expires December 17, 2007

SCHEDULE A

ALL THAT TRACT OR PARCEL OF LAND situate in the City of Watertown, County of Jefferson and State of New York and further described as follows:

BEGINNING at the intersection of the northerly street margin of Woodruff Street and the westerly street margin of Washington Street;

THENCE N. 82°-50' W. along the northerly street margin of Woodruff Street a distance of 100.90 feet to a drill hole set;

THENCE N. 11°-34' E. a distance of 45.17 feet to an iron pipe set;

THENCE S. 82°-57' E. a distance of 101.10 feet to an iron pipe set in the westerly street margin of Washington Street;

THENCE S. 11°-47' W. along the westerly street margin of Washington Street a distance of 45.40 feet to the point of beginning

CONTAINING 0.105 acres of land more or less.

EXCEPTING AND RESERVING from the above described 0.105 acre parcel a right-of-way 10 feet in width across the most westerly portion of said 0.105 acre parcel.

ALSO subject to any rights or restrictions that may exist in regard to repairing the sewer from the adjoining premises to the Woodruff Street sewer.

BEING AND INTENDING to describe the same premises conveyed to Gerald S. Weinstein and Madeline C. Weinstein by Warranty Deed from William W. Hall dated April 25, 1986 and recorded in the Jefferson County Clerk's Office on April 28, 1986 in Liber 1019 of Deeds at page 130.

LIBER 1894 PAGE 177

14-01-102

Jefferson County - New York  
Jo Ann M. Wilder

RECORDING CERTIFICATE

9713 Transaction Number: 951102099612

Type of Instrument: DEED RECORD

Received From: RE: SAMARITAN MEDICAL CENTER  
RETURN: SCHWERZMANN & WISE  
215 WASHINGTON STREET  
WATERTOWN NY 13601-

Recording Charge: 55.50 Recording Pages: 4

\*\* EXAMINED AND CHARGED AS FOLLOWS : \*\*

\*\* TRANSFER TAX \*\*

\*\* MTG/DEED AMOUNT \*\*

160.00  
1197

40,000.00

RS#:

Mortgage#:

Received Tax on Above Mortgage

Basic: .00

Special Addl: .00

Town:

Additional: .00

Mortgage Tax Total: .00

Total Recording Fees: 215.50

\*\* THIS PAGE IS PART OF THE INSTRUMENT \*\*

I HEREBY CERTIFY THAT THE WITHIN AND FOREGOING WAS RECORDED IN THE  
CLERK'S OFFICE FOR Jefferson County - New York

IN (Book/Page) 1482 PAGE 169

ON (Recorded Date): 11/02/95

AT (Time): 03:30 Terminal ID: 113



*John M. Wilder*

Deed - Trustee's Deed

RECORD & RETURN TO:  
Schwarzmann & Wise, P.C.  
PO Box 706  
Watertown, NY 13601  
ATTN: S. Clancy

**THIS INDENTURE**

LIBER 1482 PAGE 170

Made the 2nd day of November, Nineteen Hundred and Ninety-Five (1995).

**BETWEEN**

**GAY V. PROCTOR**, Individually and as Trustee of The George Hosner and Lillian G. Hosner Trust Agreement dated November 25, 1985, residing at 633 Mundy Street, Watertown, NY, **GARY R. HOSNER**, Individually and as Trustee of The George Hosner and Lillian G. Hosner Trust Agreement dated November 25, 1985, residing at 5957 Farrington Road, Clay, NY and **GEORGE HOSNER**, residing at 133 Pratt Street, Watertown, NY, referred to herein as Grantors, and

**SAMARITAN MEDICAL CENTER**, a New York State Not For Profit Corporation with an office and place of business located at 830 Washington Street, Watertown, NY, referred to herein as Grantee

**WITNESSETH** that the Grantors individually and by virtue of the power and authority given by said Trust, and in consideration of One (\$1.00) Dollar, lawful money of the United States, and other good and valuable consideration, paid by the Grantee, hereby grant and release unto the Grantee, its successors or assigns forever,

**ALL THAT TRACT OR PARCEL OF LAND** situate in the City of Watertown, County of Jefferson and State of New York, as shown on Schedule "A" attached hereto and made a part hereof.

**TOGETHER** with the appurtenances in said premises and also the estate therein, which Grantors had and have power to convey or dispose of, whether individually, or by virtue of said Trust or otherwise.

**TO HAVE AND TO HOLD** the premises herein granted unto the Grantee, its successors and assigns forever.

And the Grantors covenant that they have not done or suffered anything whereby the premises have been encumbered in any way whatever.

And the Grantors further covenant as follows:

**FIRST.** That the Grantee shall quietly enjoy the said premises.

**SECOND.** That the Grantors will forever **WARRANT** the title to said premises.

**THIRD.** That in compliance with Sec. 13 of the Lien Law, the Grantors will receive consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose.

**IN WITNESS WHEREOF**, the Grantors have executed this deed the day and year first above written. In presence of:

Gay V. Proctor L.S.  
Gay V. Proctor, Individually

Gary R. Hosner L.S.  
Gary R. Hosner, Individually

Gay V. Proctor L.S.  
Gay V. Proctor, as Trustee of  
The George and Lillian G.  
Hosner Trust Agreement dated  
November 25, 1985

JEFFERSON COUNTY CLERK  
RECEIVED

1995 NOV - 2 01 3:30  
S. Clancy  
CLERK

Mary R. Hosner L.S.  
Gary R. Hosner, as Trustee of  
The George and Lillian G.  
Hosner Trust Agreement dated  
November 25, 1985

George Hosner L.S.  
George Hosner

STATE OF NEW YORK )  
 ) SS:  
COUNTY OF JEFFERSON )

On this 2nd day of November, Nineteen Hundred and Ninety-Five, before me, the subscriber, personally appeared GAY V. PROCTOR to me personally known and known to me to be the same person described in and who executed the within Instrument and she duly acknowledged to me that she executed the same.

[Signature]  
Notary Public

STATE OF NEW YORK )  
 ) SS:  
COUNTY OF JEFFERSON )

DAVID EARL TINKER  
Notary Public in the State of New York  
Qualified in Jefferson County No. 4829705  
My Commission Expires December 31, 1995

On this 2nd day of November, Nineteen Hundred and Ninety-Five, before me, the subscriber, personally appeared GARY R. HOSNER to me personally known and known to me to be the same person described in and who executed the within Instrument and he duly acknowledged to me that he executed the same.

[Signature]  
Notary Public

STATE OF NEW YORK )  
 ) SS:  
COUNTY OF JEFFERSON )

DAVID EARL TINKER  
Notary Public in the State of New York  
Qualified in Jefferson County No. 4829705  
My Commission Expires December 31, 1995

On this 2nd day of November, Nineteen Hundred and Ninety-Five, before me, the subscriber, personally appeared GEORGE HOSNER to me personally known and known to me to be the same person described in and who executed the within Instrument and he duly acknowledged to me that he executed the same.

[Signature]  
Notary Public

STATE OF NEW YORK )  
 ) SS:  
COUNTY OF JEFFERSON )

DAVID EARL TINKER  
Notary Public in the State of New York  
Qualified in Jefferson County No. 4829705  
My Commission Expires December 31, 1995

On this 2nd day of November, Nineteen Hundred and Ninety-Five, before me personally came GAY V. PROCTOR known and known to me to be a Trustee of THE GEORGE HOSNER AND LILLIAN G. HOSNER TRUST AGREEMENT dated November 25, 1985, the individual who executed the foregoing instrument and she acknowledged to me that she executed the same in her capacity as a Trustee.

[Signature]  
Notary Public

STATE OF NEW YORK )  
 ) SS:  
COUNTY OF JEFFERSON )

DAVID EARL TINKER  
Notary Public in the State of New York  
Qualified in Jefferson County No. 4829705  
My Commission Expires December 31, 1995

On this 2nd day of November, Nineteen Hundred and Ninety-Five, before me personally came GARY R. HOSNER known and known to me to be a Trustee of THE GEORGE HOSNER AND LILLIAN G. HOSNER TRUST AGREEMENT dated November 25, 1985, the individual who executed the foregoing instrument and he acknowledged to me that he executed the same in his capacity as a Trustee.

[Signature]  
Notary Public

DAVID EARL TINKER  
Notary Public in the State of New York  
Qualified in Jefferson County No. 4829705  
My Commission Expires December 31, 1995

LIBER 1482 PAGE 171

## SCHEDULE A

LIBER 1482 PAGE 172

ALL THAT TRACT OR PARCEL OF LAND, situate in the City of Watertown, County of Jefferson and State of New York, beginning at a point in the Nly. margin of Woodruff Street 104 feet from the intersection of the Nly. margin of Woodruff Street with the Wly. margin of Washington Street; running thence Nly. along the Wly. line of premises conveyed from Thomas Motherzell to J. Duane Paris, by deed recorded in Jefferson County Clerk's Office in Liber 279 of Deeds, at Page 308, a distance of 95 feet to a point, the N.Wly. corner of J. Duane Paris said premises 104 feet distant from the Wly. margin of Washington Street; thence Wly. about 52 feet to the N.Ely. corner of premises conveyed from Mary Motherzell to Ella E. Becker by Deed recorded in Jefferson County Clerk's Office in Liber 250 of Deeds, at Page 52; thence Ely. along the Ely. margin of said Becker's lot 95 feet to a point in the Nly. margin of Woodruff Street, being the S.Ely. corner of said Becker lot; thence Ely. along the Nly. margin of Woodruff Street about 44 feet 9 inches to the place of beginning, be the same more or less.

THE ABOVE PREMISES IS MORE RECENTLY DESCRIBED AS FOLLOWS:

ALL THAT TRACT OR PARCEL OF LAND known as 110 Woodruff Street and situate on the northerly side thereof in the City of Watertown, County of Jefferson, State of New York being designated as Parcel No. 1401102 on the City of Watertown Assessment Maps and being further described as follows:

BEGINNING at a drill hole with plug found in the northerly street margin of Woodruff Street at the intersection of the southeasterly corner of the parcel of land herein described and the southwesterly corner of a 0.105 acre parcel of land that was conveyed to Gerald S. and Madeline C. Weinstein by deed dated April 25, 1986 (Liber 1019, Page 130); said drill hole further being situate along the northerly street margin of Woodruff Street North 70 degrees 00 minutes West a distance of 100.90 feet from the intersection of said margin and the westerly street margin of Washington Street;

THENCE from said point of beginning North 70 degrees 00 minutes West along the northerly street margin of Woodruff Street a distance of 44.75 feet to a point at the southeasterly corner of a parcel of land that was conveyed to Wendy P. Gardner by deed dated June 30, 1995 (Liber 1461, Page 344);

THENCE along the easterly line of Gardner North 20 degrees 01 minutes 45 seconds East a total distance of 94.73 feet to a  $\frac{1}{4}$  inch iron pipe set at the northeasterly corner of Gardner and in the southerly line of a 0.25 acre parcel of land owned by Helen D. Sturtz (Liber 997, Page 99) and passing on line at 0.8 feet a  $\frac{1}{4}$  inch iron pipe found;

THENCE South 70 degrees 08 minutes 11 seconds East along the southerly line of Sturtz a distance of 52.00 feet to a  $\frac{1}{4}$  inch iron pipe found at the intersection of the northeasterly corner of the parcel of land herein described and the northwesterly corner of another parcel of land owned by Helen D. Sturtz (Liber 1046, Page 162);

THENCE South 24 degrees 24 minutes West along the westerly line of Sturtz (Liber 1046, Page 162) and also along the westerly line of the above referenced Weinstein parcel of land a total distance of 95.13 feet to the point of beginning and passing on line at 49.99 feet a  $\frac{1}{4}$  inch iron pipe found at the northwesterly corner of Weinstein.

CONTAINING 0.105 acres of land more or less.

BEING AND INTENDING TO DESCRIBE the premises conveyed to Gay V. Proctor and Gary R. Hosner as Trustees pursuant to a Trust Agreement dated November 25, 1985 by Warranty Deed from George Hosner and Lillian G. Hosner dated November 25, 1985 and recorded in the Jefferson County Clerk's Office on November 27, 1985 in Liber 1605 of Deeds beginning at page 149.

14-01-112



JEFFERSON COUNTY - STATE OF NEW YORK  
GIZELLE J. MEEKS, JEFFERSON COUNTY CLERK  
175 ARSENAL STREET  
WATERTOWN, NEW YORK 13601

COUNTY CLERK'S RECORDING PAGE

\*\*\*THIS PAGE IS PART OF THE DOCUMENT - DO NOT DETACH\*\*\*



INSTRUMENT #: 2016-00001664  
Receipt#: 2016002440  
Clerk: LV  
Rec Date: 02/08/2016 11:17:44 AM  
Doc Grp: DEE  
Descrip: DEED  
Num Pgs: 4  
Rec'd Frm: BLACK RIVER ABSTRACT

Party1: MARTIN ARLENE J  
Party2: SAMARITAN MEDICAL CENTER  
Town: WATERTOWN-CITY OF

Recording:	
Cover Page	5.00
Recording Fee	35.00
Cultural Ed	14.25
Records Management - Coun	1.00
Records Management - Stat	4.75
TP584	5.00
RP5217 Residential/Agricu	116.00
RP5217 - County	9.00
Sub Total:	<u>190.00</u>
Transfer Tax	
Transfer Tax - State	600.00
Sub Total:	<u>600.00</u>

Total: 790.00  
\*\*\*\* NOTICE: THIS IS NOT A BILL \*\*\*\*

\*\*\*\*\* Transfer Tax \*\*\*\*\*  
Transfer Tax #: 1899  
Transfer Tax  
Consideration: 150000.00

Transfer Tax - State	600.00
Total:	<u>600.00</u>

Record and Return To:

CONBOY LAW FIRM  
407 SHERMAN ST  
WATERTOWN NY 13601  
OFFICE MAILBOX

Gizelle J. Meeks  
Jefferson County Clerk

# Warranty Deed with Lien Covenant

*K*  
**This Indenture**, Made this 4<sup>th</sup> day of February Two Thousand Sixteen (2016)

BETWEEN

ARLENE J. MARTIN and THOMAS E. MARTIN residing at 329 County Route 75, Sackets Harbor, NY, 13685,

*parties of the first part,*

-and-

SAMARITAN MEDICAL CENTER, New York State Not-for-Profit Corp., with offices at 830 Washington Street, Watertown, NY 13601

*party of the second part,*

**WITNESSETH** that the party of the first part, in consideration of One and 00/100 Dollar (\$1.00) lawful money of the United States, and other good and valuable consideration paid by the parties of the second part, do hereby grant and release unto the parties of the second part, their heirs, successors, distributees and assigns forever;

**ALL THAT TRACT OR PARCEL OF LAND**, situate in the City of Watertown, County of Jefferson and State of New York, being known 150 Woodruff Street, Watertown, NY 13601, as more particularly described on attached:

## SCHEDULE "A":

**BEING THE PREMISES** conveyed by Arlene J. Martin, as Administratrix, to Arlene J. Martin and Thomas E. Martin as tenants by the entirety by Executor's Deed dated April 29, 1996 and recorded in the Jefferson County Clerk's Office on May 13, 1996, in Liber 1508 of deeds at page 240.

**TOGETHER** with the appurtenances and all the estate and rights of the party of the first part in and to said premises,

**TO HAVE AND TO HOLD** the premises herein granted unto the parties of the second part, their heirs, successors, distributees and assigns forever.

**AND** said party of the first part covenant as follows:

**FIRST**, That the party of the second part shall quietly enjoy the said premises;

**SECOND**, That said party of the first part will forever Warrant the title to said premises.

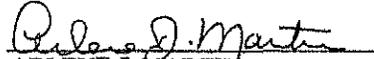
**THIRD**, That, in Compliance with Sec. 13 of the Lien Law, the grantor will receive the consideration for this conveyance and will hold the right to receive such consideration as

*Return: CMBK(PLW)*

*a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose.*

**IN WITNESS WHEREOF**, *the parties of the first part have hereunto set their hands and seals the day and year first above written.*

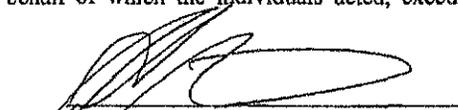
**In Presence of**

  
ARLENE J. MARTIN

  
THOMAS E. MARTIN

STATE OF NEW YORK )SS.:  
COUNTY OF JEFFERSON )

On the 7<sup>th</sup> day of February, 2016, before me, the undersigned, a Notary Public in and for said state, personally appeared, **ARLENE J. MARTIN** and **THOMAS E. MARTIN** personally known to me or proved to me on the basis of satisfactory evidence to be the individuals whose names are subscribed to the within instrument and acknowledged to me that they executed the same in their capacity and that by their signatures on the instrument, the individuals, or the persons upon behalf of which the individuals acted, executed the instrument.

  
Notary Public  
STEVEN G. MUNSON  
Attorney & Counselor at Law  
State of New York No. 4734432  
Qualified in Jefferson County  
Commission Expires June 30, 2018

SCHEDULE "A"

ALL THAT TRACT AND PARCEL OF LAND, situate in the City of Watertown, County of Jefferson, and State of New York. Know as 150 Woodruff Street in said City and more particularly bounded and described as follows:

BEING Lot No. 3 on the North side of Woodruff Street in said City of Watertown as appears by a map on file in Jefferson County Clerk's Office filed therein June 30, 1894 in Book 1 of Maps at page 111, being the same premises conveyed to Elizabeth C. Smith by Lorra C. Greenleaf by warranty deed dated August 15, 1903 and recorded in the Jefferson County Clerk's Office September 11, 1903, in Liber 308 of Deeds at Page 44.

BEING the same premises which were conveyed by Edward Cole to Himself and Jane M. Cole, his wife, by Warranty Deed dated August 27, 1951, in Liber 557 of Deeds at page 24, in Jefferson County Clerk's Office.

BEING the same premises which were conveyed by Edward Cole and Jane M. Cole, his wife to Robert W. Brenon and Audrey C. Brenon, his wife, by warranty deed dated March 15, 1961, and recorded in the Jefferson County Clerk's Office on the 15th day of March, 1961, in Book 705 of Deeds at Page 106.

ALSO BEING the same premises described in a quit claim deed dated April 6, 1966, from Robert W. Brenon to Audrey C. Brenon (now known as Audrey C. Taylor) and recorded in the Jefferson County Clerk's Office on November 30, 1966, in Liber 792 of Deeds at page 596.

TAX MAP PARCEL NO. 14-01-112.000



JEFFERSON COUNTY - STATE OF NEW YORK  
GIZELLE J. MEEKS, JEFFERSON COUNTY CLERK  
175 ARSENAL STREET  
WATERTOWN, NEW YORK 13601

COUNTY CLERK'S RECORDING PAGE

\*\*\*THIS PAGE IS PART OF THE DOCUMENT - DO NOT DETACH\*\*\*



INSTRUMENT #: 2016-00000177  
Receipt#: 2016000175  
Clerk: ML  
Rec Date: 01/06/2016 04:07:27 PM  
Doc Grp: DEE  
Descrip: DEED  
Num Pgs: 4  
Rec'd Frm: SAMARITAN

Party1: MARTIN ARLENE J  
Party2: SAMARITAN MEDICAL CENTER  
Town: WATERTOWN-CITY OF

Recording:

Cover Page 5.00  
Recording Fee 35.00  
Cultural Ed 14.25  
Records Management - Coun 1.00  
Records Management - Stat 4.75  
TP584 5.00  
RP5217 Residential/Agricu 116.00  
RP5217 - County 9.00

Sub Total: 190.00

Transfer Tax  
Transfer Tax - State 600.00

Sub Total: 600.00

Total: 790.00

\*\*\*\* NOTICE: THIS IS NOT A BILL \*\*\*\*

\*\*\*\*\* Transfer Tax \*\*\*\*\*

Transfer Tax #: 1624  
Transfer Tax  
Consideration: 150000.00

Transfer Tax - State 600.00

Total: 600.00

Record and Return To:

CONBOY LAW FIRM  
407 SHERMAN ST  
WATERTOWN NY 13601  
OFFICE MAILBOX

Gizelle J. Meeks  
Jefferson County Clerk

tc

### Warranty Deed with Lien Covenant

**This Indenture**, Made this 24<sup>th</sup> day of December Two Thousand Fifteen (2015)

BETWEEN

ARLENE J. MARTIN and THOMAS E. MARTIN residing at 329 County Route 75, Sackets Harbor, NY, 13685,

*parties of the first part,*

-and-

SAMARITAN MEDICAL CENTER, New York State Not-for-Profit Corp., with offices at 830 Washington Street, Watertown, NY 13601

*party of the second part,*

**WITNESSETH** that the party of the first part, in consideration of One and 00/100 Dollar (\$1.00) lawful money of the United States, and other good and valuable consideration paid by the parties of the second part, do hereby grant and release unto the parties of the second part, their heirs, successors, distributees and assigns forever;

**ALL THAT TRACT OR PARCEL OF LAND**, situate in the City of Watertown, County of Jefferson and State of New York, being known 154 Woodruff Street, Watertown, NY 13601, as more particularly described on attached:

**SCHEDULE "A":**

**BEING THE PREMISES** conveyed by Arlene J. Martin, as Administratrix, to Arlene J. Martin and Thomas E. Martin as tenants by the entirety by Executor's Deed dated April 29, 1996 and recorded in the Jefferson County Clerk's Office on May 13, 1996, in Liber 1508 of deeds at page 249.

**TOGETHER** with the appurtenances and all the estate and rights of the party of the first part in and to said premises,

**TO HAVE AND TO HOLD** the premises herein granted unto the parties of the second part, their heirs, successors, distributees and assigns forever.

**AND** said party of the first part covenant as follows:

**FIRST**, That the party of the second part shall quietly enjoy the said premises;

**SECOND**, That said party of the first part will forever Warrant the title to said premises.

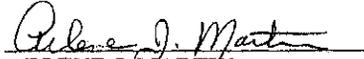
**THIRD**, That, in Compliance with Sec. 13 of the Lien Law, the grantor will receive the consideration for this conveyance and will hold the right to receive such consideration as

Return: CMBK (PLW)

*a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose.*

IN WITNESS WHEREOF, the parties of the first part have hereunto set their hands and seals the day and year first above written.

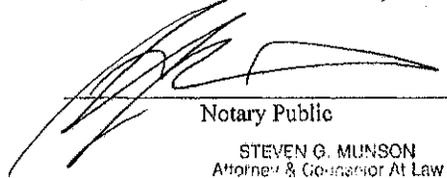
**In Presence of**

  
ARLENE J. MARTIN

  
THOMAS E. MARTIN

STATE OF NEW YORK )SS.:  
COUNTY OF JEFFERSON )

On the 24 day of December, 2015, before me, the undersigned, a Notary Public in and for said state, personally appeared, **ARLENE J. MARTIN** and **THOMAS E. MARTIN** personally known to me or proved to me on the basis of satisfactory evidence to be the individuals whose names are subscribed to the within instrument and acknowledged to me that they executed the same in their capacity and that by their signatures on the instrument, the individuals, or the persons upon behalf of which the individuals acted, executed the instrument.

  
Notary Public  
STEVEN G. MUNSON  
Attorney & Counselor At Law  
State of New York No. 4724432  
Qualified in Jefferson County  
Commission Expires June 30, 20 18

SCHEDULE "A"

ALL THAT TRACT, PIECE OR PARCEL OF LAND, situate in the City of Watertown, County of Jefferson, and State of New York, Bounded and described as follows:

BEGINNING at a point in the Northerly margin of Woodruff Street in said City 125.99 feet Easterly from the Northeasterly corner of Sherman and Woodruff Street; thence Easterly along said margin of Woodruff Street 53.95 feet; thence at right angles to said Street 189.75 feet; thence Westerly at right angles to said last mentioned line 53.95 feet; thence in a direct line 189.75 feet to the place of beginning, it being the intention to hereby convey lot #2 on said north side of Woodruff Street as appears by a map filed in Jefferson County Clerk's Office June 30th, 1894, in Book #1 of maps at Page 111.

BEING the same premises conveyed by Charles M. Davies to Charles M. Davies and Hattie M. Davies, husband and wife, by deed dated November 1st, 1954, recorded in Jefferson County Clerk's office November 10th, 1954, Liber 608 of Deeds at Page 301.

BEING the same premises conveyed by Charles M. Davies and Hattie M. Davies, his wife, to Robert W. Brenon and Audrey C. Brenon, his wife, by warranty deed dated November 3, 1964, and recorded in the Jefferson County Clerk's Office on the 4th day of November, 1964, in Book 760 of Deeds at Page 61.

ALSO BEING the same premises described in a quit claim deed, dated April 6, 1966, from Robert W. Brenon to Audrey C. Brenon (now known as Audrey C. Taylor) and recorded in the Jefferson County Clerk's Office on November 30, 1966, in Liber 792 of Deeds at page 592.

TAX MAP PARCEL NO. 14-01-113.000

14-01-114

Jefferson County - New York  
Jo Ann M. Wilder

9502

RECORDING CERTIFICATE

Transaction Number: 951027099027

Type of Instrument: DEED RECORD

Received From: CHECK --> SAMARITAN MED CENTER  
MAIL TO: ENTITLE AGENCY INC  
120 WASHINGTON STREET/STE #500  
WATERTOWN NY 13601-

Recording Charge: 54.00 Recording Pages: 4

\*\* EXAMINED AND CHARGED AS FOLLOWS : \*\*

\*\* TRANSFER TAX \*\*

\*\* MTG/DEED AMOUNT \*\*

236.00

59,000.00

RS#: 1105

Mortgage#:

Received Tax on Above Mortgage

Basic: .00

Special Addl: .00

Town: Additional: .00

Mortgage Tax Total: .00

Total Recording Fees: 290.00

\*\* THIS PAGE IS PART OF THE INSTRUMENT \*\*

I HEREBY CERTIFY THAT THE WITHIN AND FOREGOING WAS RECORDED IN THE  
CLERK'S OFFICE FOR Jefferson County - New York

IN (Book/Page) LIBER 1481 PAGE 113

ON (Recorded Date): 10/27/95

AT (Time): 04:01 Terminal ID: 113



*John M. Wilder*

WARRANTY DEED WITH LIEN COVENANT

THIS INDENTURE, Made the 23<sup>rd</sup> day of October, Nineteen Hundred and Ninety-Five (1995).

BETWEEN GLADYS R. BALDWIN, residing at 12846 Inshore Drive, Palm Beach Garden, FL 33410,

party of the first part,

AND THE HOUSE OF THE GOOD SAMARITAN d/b/a SAMARITAN MEDICAL CENTER, 830 Washington Street, Watertown, NY 13601

party of the second part,

WITNESSETH that the party of the first part, in consideration of One Dollar (\$1.00) lawful money of the United States and other good and valuable consideration, paid by the party of the second part, does hereby grant and release unto the party of the second part, its successors and assigns forever,

ALL THAT TRACT OR PARCEL OF LAND situate in the City of Watertown, County of Jefferson and State of New York more fully described in SCHEDULE A attached hereto and made a part hereof.

TOGETHER with the appurtenances and all the estate and rights of the party of the first part in and to said premises,

TO HAVE AND TO HOLD the premises herein granted unto the party of the second part, its successors and assigns forever.

And said party of the first part covenants as follows:

First, that the party of the second part shall quietly enjoy said premises;

Second, that said party of the first part will forever Warrant the title to said premises.

Third, that, in Compliance with Sec. 13 of the Lien Law, the grantor will receive consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose.

ENTITLE AGENCY, INC.  
120 Washington St., Suite 600  
Watertown, NY 13601

IN WITNESS WHEREOF, the party of the first part has hereunto set her hand the day and year first above written.

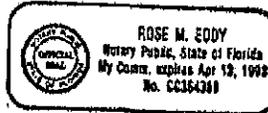
IN PRESENCE OF

Gladys R. Baldwin L.S.  
GLADYS R. BALDWIN

STATE OF FLORIDA )  
                          ) SS:  
COUNTY OF        )

On this 23<sup>rd</sup> day of October, 1995, before me personally came GLADYS R. BALDWIN to me personally known and known to me to be the same individual described in and who executed the foregoing instrument and she acknowledged to me that she executed the same.

Rose M. Eddy  
Notary Public



SCHEDULE "A"

LIBER 1481 PAGE 116

ALL THAT TRACT or parcel of land situate in the City of Watertown, County of Jefferson, and State of New York and further described as follows:

BEGINNING at an iron pipe found in the northerly street margin of Woodruff Street, said iron pipe is situate S 70 degrees 00' 00" E along the northerly street margin of Woodruff Street a distance of 71.94 feet from the intersection of the northerly street margin of Woodruff Street and the easterly street margin of Sherman Street.

THENCE N 19 degrees 36' 46" E a distance of 189.71 feet to a point, said point is situate S 19 degrees 36' 46" W a distance of 0.17 feet from an iron pipe found;

THENCE S 70 degrees 00' 10" E a distance of 53.95 feet to a capped pin set;

THENCE S 19 degrees 34' 46" W a distance of 189.72 feet to a capped pin set in the northerly street margin of Woodruff Street;

THENCE N 70 degrees 00' 00" W along the northerly street margin of Woodruff Street a distance of 54.06 feet to the point of beginning.

CONTAINING 0.235 acres of land more or less.

BEING the same premises conveyed by George T. Baldwin to George T. Baldwin and Gladys R. Baldwin, his wife, by deed dated August 16, 1951 and recorded in the Jefferson County Clerk's Office on August 17, 1951 in Liber 556 of Deeds, at page 289, said parcel is known as 158 Woodruff Street, Watertown, New York.

Said George T. Baldwin died December 17, 1977.

Subject to easements, rights and restrictions of record.

*George T. Baldwin*  
CLERK

1995 OCT 27 PM 4:01

RECEIVED

JEFFERSON COUNTY CLERK



JoAnn M. Wilder, Clerk  
175 Arsenal Street  
Watertown, NY 13601  
(315) 785-3081

### Jefferson County Clerk Recording Coversheet

**Received From :**  
CONBOY LAW FIRM (WATERTOWN)  
OFFICE MAILBOX  
407 SHERMAN ST  
WATERTOWN, NY 13601

**Return To :**  
CONBOY LAW FIRM (WATERTOWN)  
OFFICE MAILBOX  
407 SHERMAN ST  
WATERTOWN, NY 13601

**First GRANTOR**

ROBERTS, FLOYD W III

**First GRANTEE**

SAMARITAN MEDICAL CENTER

**Index Type :** LAND RECORDS

**Type of Instrument :** Deed

**File Number :** 2003-00013145

**Recording Fee :** \$97.00

**Recording Pages :** 3

The Property affected by this instrument is situated in Watertown, City Of, in the County of Jefferson, New York

Real Estate Transfer Tax

**RETT # :** 223

**Deed Amount :** \$56,000.00

**RETT Amount :** \$220.00

**Total Fees :** \$317.00

State of New York

County of Jefferson

I hereby certify that the within and foregoing was recorded in the Clerk's office for Jefferson County, New York

On (Recorded Date) : 08/18/2003

At (Recorded Time) : 9:03:46 AM



Doc ID - 000213720003

*JoAnn M. Wilder*  
JoAnn M. Wilder, Clerk



Warranty Deed with Lien Covenant

**This Indenture,**

Made the 15<sup>th</sup> day of August, 2003

**Between,** FLOYD W. ROBERTS, III, residing at 16712 Star School Road,  
Limerick, Jefferson County, New York,

party of the first part, and

SAMARITAN MEDICAL CENTER, having a principal place of  
business at 830 Washington Street, Watertown, Jefferson County,  
New York,

party of the second part,

**Witnesseth,** that the party of the first part, in consideration of

-----ONE----- Dollar (\$1.00)  
lawful money of the United States, and other good and valuable consideration paid by the party of the second part, does hereby grant and release unto the party of the second part, its successors and/or assigns forever, all that tract or parcel of land, situate in the City of Watertown, County of Jefferson and State of New York, bounded and described as follows, viz: Beginning at a point 45 feet from the intersection of the Northerly margin of Woodruff Street with the westerly margin of Washington Street, thence 50 feet Northerly along the westerly margin of Washington Street to the Southerly margin of land formerly owned by Cady Combs, running thence in a Westerly direction along the southerly margin of said Combs land 104 feet to the easterly line of land now (1902) owned by John D. Wheeler, thence southerly along said Wheelers easterly line 50 feet to the corner of a lot owned by Wayne H. Hadcock, thence easterly along the northerly line of said W. H. Hadcocks land 104 feet to the place of beginning. With the right of way 10 feet wide across the westerly end of lot deeded by Oscar L. Hadcock and wife to Wayne H. Hadcock February 10, 1902.

BEING the same premises conveyed from First Bank of Bever ly Hills, FSB, and Wilshire Credit Corporation to Floyd W. Roberts, III, by Deed dated September 20, 2000, and recorded in the Jefferson County Clerk's Office on October 13, 2000, in Liber 1759 of Deeds, at Page 109.

**Together** with the appurtenances and all the estate and rights of the party of the first part in and to said premises,

**To have and to hold**, the premises herein granted unto the party of the second part, his heirs and assigns forever.

**And** said party of the first part

covenants as follows:

**First**, That the party of the second part shall quietly enjoy the said premises;

**Second**, That said party of the first part

will forever **Warrant** the title to said premises.

**Third**, That, in Compliance with Sec. 13 of the Lien Law, the grantor will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose.

**In Witness Whereof**, the party of the first part has hereunto set his hand and seal the day and year first above written.

**In Presence of**

Floyd W. Roberts, III L.S.  
FLOYD W. ROBERTS, III

State of New York )  
                          ) ss:  
County of Jefferson )

On this 15<sup>th</sup> day of August, 2003, before me, the undersigned, a notary public in and for said state, personally appeared FLOYD W. ROBERTS, III, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individual or the person upon behalf of which the individual acted, executed the instrument.

Kim L. Casero  
Notary Public

~~Weldon & Trimmer Law Firm~~  
119-125 Sherman Street  
Watertown, New York 13601  
(315) 788-2010

KIM L. CASERO  
Notary Public - Jefferson County, NY  
Registration No. 01CA6072739  
My Commission Expires: 04/15/20 Db

R+K

CONBOY, McRAY, BACHMAN & KENDALL  
407 SHERMAN STREET  
WATERTOWN, N.Y. 13601  
Real Estate Dept

Public Hearing – 7:30 p.m.

March 2, 2016

To: The Honorable Mayor and City Council

From: Michael A. Lumbis, Planner

Subject: Community Development Block Grant (CDBG) 2016-2020 Consolidated Plan and 2016 Annual Action Plan Public Hearing

A Public Hearing has been scheduled for 7:30 p.m. on March 7, 2016, as part of the effort to gather public input for the preparation of the City's CDBG 2016-2020 Consolidated Plan and 2016 Annual Action Plan. Public participation is a key component in the development of these plans. In addition to the public hearing, staff has conducted two public meetings, sent email correspondence and met with many of the partner agencies identified in our CDBG Citizen Participation Plan to discuss priorities and project ideas.

Last year, the City of Watertown was allocated \$784,662 by the U.S. Department of Housing and Urban Development (HUD) for the 2015-2016 Program Year. The city has not yet been notified of this year's funding amount but we expect that it will be approximately \$780,000.

At the February 10, 2016 City Council work session, Staff provided an overview of the CDBG program, discussed draft goals for the Consolidated Plan and discussed potential projects for inclusion on the 2016-2017 Annual Action Plan.

The draft goals for the 2016-2020 Consolidated Plan that were presented at the work session include the following:

1. Affordable Housing Rehabilitation
2. Home Ownership
3. Neighborhood Stabilization and Revitalization
4. Homeless Assistance
5. Fair Housing Education
6. Economic Development
7. Planning and Administration

The draft projects for the 2016-2017 Annual Action Plan that were presented at the meeting include the following:

1. Owner Occupied Housing Rehabilitation Program
2. Black River Apartments Project
3. Homebuyer Program
4. Huntington Street Sidewalk Project
5. ADA Accessible Sidewalk Ramp Project
6. Bus Shelter Project
7. Homeless Assistance
8. Fair Housing Education
9. Program Administration

Since the City Council work session, Staff has received a lot of community input regarding the CDBG program. This has included several funding requests and ideas for a variety of projects. Staff is currently reviewing each of these requests to determine whether or not they would be eligible for CDBG funding and how the projects might fit into the 2016-2017 Program Year budget.

Additional information regarding these requests, and any others that are received at the public hearing, will be provided to the Council at the March 21, 2016 meeting.

Public Hearing – 7:30 p.m.

March 2, 2016

To: The Honorable Mayor and City Council

From: Kenneth A. Mix, Planning & Community Development Coordinator

Subject: Adopting New Zoning Map and Amending Chapter 310 of the Code of the City of Watertown

The City Council scheduled a public hearing on the attached ordinance for 7:30 p.m. on Monday, March 7, 2016. The ordinance adopts a new zoning map. The new map is derived from the City's computer Geographic Information System. Most of the current zoning will stay in place, but the new map will eliminate the majority of the situations where parcels are split by more than one zoning district and it gives zoning classifications to parcels that lack them.

The Planning Board reviewed the proposed new map at its February 2, 2016 meeting and voted to recommend that City Council adopt the map. Attached are the report prepared for the Planning Board and its minutes.

The County Planning Board adopted a motion on February 23, 2016 that the proposed map does not have any significant county-wide or inter-municipal issues and is of local concern only.

The City Council may vote on the ordinance after holding the public hearing and approving the related SEQRA resolution.

# ORDINANCE

Page 1 of 1

Adopting New Zoning Map and Amending Chapter 310 of the Code of the City of Watertown

Council Member HORBACZ, Cody J.  
 Council Member JENNINGS, Stephen A.  
 Council Member MACALUSO, Teresa R.  
 Council Member WALCZYK, Mark C.  
 Mayor BUTLER, Jr., Joseph M.  
 Total .....

YEA	NAY

*Introduced by*

Council Member Teresa R. Macaluso

BE IT ORDAINED where the City Council of the City of Watertown, NY, deems it necessary to update the City’s Zoning Map, and

WHEREAS the Planning Board of the City of Watertown reviewed the proposed new zoning map at its February 2, 2016 meeting and recommended that City Council adopt the new map, and

WHEREAS the County Planning Board reviewed the proposed zoning map pursuant to General Municipal Law Section 239-m, and

WHEREAS a public hearing was held on the proposed zone change on March 7, 2016, after due public notice, and

WHEREAS the City Council has made a declaration of Negative Findings of the impacts of the proposed zoning map according to the requirements of SEQRA, and

NOW THEREFORE BE IT ORDAINED that the City Council hereby adopts the map entitled “Zoning Map of the City of Watertown, New York” and dated February 16, 2016 as the official zoning map of the City of Watertown, and

BE IT FURTHER ORDAINED that paragraph 310-2. B. of the Code of the City of Watertown is hereby amended to read in its entirety as follows: “Said districts are shown, defined and bounded on the map accompanying this chapter, entitled ‘Zoning Map of the City of Watertown, New York’ and dated February 16, 2016, as amended. Said map and all explanatory matter thereon is hereby made part of this chapter.”, and

BE IT FURTHER ORDAINED this amendment to the Zoning Ordinance of the City of Watertown shall take effect as soon as it is published once in the official newspaper of the City of Watertown, or otherwise printed as the City Manager directs.

**Seconded by** Council Member Stephen A. Jennings



# MEMORANDUM

CITY OF WATERTOWN, NEW YORK  
OFFICE OF PLANNING AND COMMUNITY DEVELOPMENT  
245 WASHINGTON STREET, ROOM 304, WATERTOWN, NY 13601  
PHONE: 315-785-7740 – FAX: 315-785-7829

TO: Planning Board Members

FROM: Kenneth A. Mix, Planning and Community Development Coordinator

SUBJECT: Adopting a New Zoning Map

DATE: January 28, 2016

---

The City's official zoning map is a mylar map that is several decades old. This map was kept up to date until the late 1990's by hand using drafting equipment. After computer mapping with the City's Geographic Information System (GIS) became available, the mylar map was not kept up to date. Zoning information has been kept electronically in recent years in GIS with the mylar map being used as a reference. The electronic mapping has given us the ability to produce color paper maps at any scale and to provide the information on the City's website.

As discussed with the Planning Board last year, the City's GIS Division updated the City's official tax maps so that they are based in GIS software and no longer based in AutoCAD software. This change has produced more accurate tax maps, but our existing GIS zoning layer does not overlay on the new tax maps very accurately. The entire zoning layer had to be updated to reflect the changes in the new base layer.

Staff proposed to the Planning Board and City Council last year that while adjusting the zoning districts to fit the new tax parcel maps, we also make other small changes to the map to address areas having split zoning designations to make the zoning districts match the parcel boundaries. On January 6, 2015, the Planning Board recommended that the City Council proceed with changing split parcels. The City Council agreed on January 12<sup>th</sup> that staff should proceed.

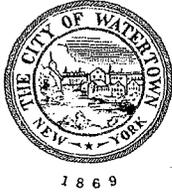
We looked at every split parcel. There are 431 of them. 369 of them are proposed to be changed. None of the proposed changes should have a negative impact on the property owner. In most cases, the more liberal district is the one being expanded. We avoided making large adjustments, especially where the changes would have allowed a less restrictive zoning district (i.e. commercial) to encroach too far into a more restrictive district (i.e. residential). We also did not change parcels that have been the subject of public controversy in the past.

You may also note that the Black River has been filled in with the Waterfront District. The tax maps in the past were drawn so that parcels stopped at the river's edge, regardless of what the deeds said. That policy has changed and parcel boundaries are now drawn

into the riverbed if stated in the deeds when that information becomes available to us. All of the parcels in the river have not been adjusted yet, but since the zoning map is being redone it is a good time to zone the entire river.

There are two maps with this memo. One of them shows the current zoning and the other shows the proposed changes and identifies the split parcels that are not changed. Staff is requesting that the Planning Board, if satisfied with it, recommend to the City Council that it adopt the "Proposed Zoning Map" as the official "Zoning Map of the City of Watertown, New York". Once the Planning Board makes a recommendation, it will be presented to the City Council for adoption.

cc: City Council Members  
Robert J. Slye, City Attorney  
Matthew Owen, GIS Coordinator  
Brian Drake, Civil Engineer II



## CITY OF WATERTOWN, NEW YORK

CITY PLANNING BOARD  
ROOM 304, WATERTOWN CITY HALL  
245 WASHINGTON STREET  
WATERTOWN, NEW YORK 13601-3380  
(315) 785-7740

MEETING: February 2, 2016

PRESENT:

Larry Coburn, Chairperson  
Michelle Capone  
Linda Fields  
Neil Katzman  
Anthony Neddo  
Steve Rowell

ALSO:

Kenneth A. Mix, Planning and Community  
Development Coordinator  
Michael A. Lumbis, Planner  
Jeffrey Polkowski, Planner  
Geoffrey Urda, Planner  
Matthew Owen, GIS Coordinator

ABSENT:

None

The February 2, 2016 Planning Board Meeting was called to order at 3:00 PM by Planning Board Chair Larry Coburn. Mr. Coburn called for a reading of the Minutes from the January 5, 2016 Planning Board Meeting. Ms. Fields made a motion to accept the minutes as written. The motion was seconded by Mr. Neddo and all voted in favor.

### **ZONING MAP ADOPTION – ADOPTION OF A NEW OFFICIAL “ZONING MAP OF THE CITY OF WATERTOWN, NEW YORK”**

The Planning Board then considered the adoption of a new official “Zoning Map of the City of Watertown, New York,” that reflects changes to various zoning districts made to accommodate a new GIS-based parcel map and changes made to address various split-zone parcels throughout the City.

Mr. Mix began by saying that the goal of this was to bring the zoning map into the 21<sup>st</sup> Century. He noted that the current official zoning map is Mylar, which is a plastic sheet with rub-on symbols. Mr. Mix then said that, practically speaking, the City has been using GIS for some time now as an unofficial zoning map. He added that the City’s GIS Department had imported the Tax Assessment Maps from AutoCAD into GIS, which shifted many of the lines, and required several subsequent adjustments to make the different layers fit together.

Mr. Mix then noted that there was split zoning on many parcels within the City, resulting in parcels that were in two zoning districts. Mr. Mix said that a year earlier, Staff had suggested to the Planning Board and to City Council that the City make some adjustments. He said that City Council agreed with the suggestion, with the caveat that the Council did not want any controversy over proposed changes.

Mr. Mix said that Staff was primarily treating this proposed change as housekeeping. He said that Staff had examined all of the parcels in the City that had split zoning and made a decision for each. He then said that there were 431 parcels that were split, and after examining each one, Staff was proposing changing 369 of them.

He then drew the Planning Board's attention to two large maps and indicated that the first was the existing zoning map, and the second was proposed. Mr. Mix said that parcels highlighted with green and yellow diagonal hatching were the ones with split zoning. He said the green hatching identified parcels where Staff proposed eliminating split zoning and yellow hatching identified where split zoning would remain.

Mr. Mix then drew the Planning Board's attention to the areas on the map surrounding the Black River. He said that along the river, the Waterfront Zoning District has gaps, and that as Staff was obtaining information from property deeds, those gaps were being filled in. Mr. Mix then said that Staff proposed zoning the entire area surrounding the Black River as Waterfront.

Mr. Mix then drew the Planning Board's attention to a small number of areas at the edge of the City that had been annexed, but never zoned. He then said that Staff recommended taking this opportunity to fill those in.

Mr. Mix then addressed the parcels that Staff recommended leaving as split zoned. He said that generally speaking, the ones that would be left alone fell into one of two categories; that either they were large intrusions into another zoning district or they were areas that had been controversial in the past and Staff recommended leaving them alone because of that.

Mr. Mix said that he could take questions on any specific parcels that the Planning Board wished to discuss. He then said that if the Planning Board was satisfied, that Staff asked the Planning Board to recommend to City Council that the Council adopt the proposed new map as the Official Zoning Map of the City of Watertown.

Mr. Katzman asked if this new map will be on the City's online public GIS map once approved. Mr. Mix replied that he would let Matthew Owen, the City's GIS Coordinator, answer that question. Mr. Owen said that the zoning map that is publically available at this time is severely outdated. He added that Staff is trying to get it updated, but that the computing platform that it is based on does not even exist anymore.

Mr. Neddo then asked if any of the proposed zone changes would cause changes in assessed property values for parcel owners. Mr. Mix replied in the negative, and said that most of these parcels are already zoned in the majority for the proposed district anyway, and that this action would simply consist of completing the parcel.

Mr. Katzman then asked if Staff had spoken with any affected landowners for their opinions. Mr. Mix replied in the negative, and said that such an outreach would be a monumental undertaking. He said that it would involve thousands of letters. He added that in

the cases of zone changes, those letters were just a courtesy, and that they were not required by law. Mr. Mix then said that City Council agreed that in this instance, the City would not be doing that. He added that there would be a public hearing notice published, so it is not like this action is being kept secret.

Mr. Katzman then asked Mr. Mix if there was anyone he thought would get upset by any of the changes that Staff was recommending. Mr. Mix answered in the negative, and noted that Staff knew where the potential controversies were. Mr. Mix then said that one example was a parcel on Washington Street where a McDonald's restaurant had been proposed a few years prior and caused neighborhood pushback. Mr. Mix reiterated that these were the types of situations where Staff recommended leaving everything alone.

Ms. Capone then said that she found it surprising that Thompson Park was in a Residence A Zoning District. Mr. Mix replied that it was essentially irrelevant since that land was never going to be anything other than a park. He added that parks and golf courses are both allowed uses in a Residence A District. Mr. Mix then said that Thompson Park could always be rezoned to an Open Space and Recreation District, but that was a discussion for another day.

Mr. Katzman then moved to recommend that the City Council adopt the proposed new official "Zoning Map of the City of Watertown, New York," that reflects changes to various zoning districts made to accommodate a new GIS-based parcel map and changes made to address various split-zone parcels throughout the City.

The motion was seconded by Ms. Fields and all voted in favor.

Mr. Neddo then moved to adjourn the meeting. The motion was seconded by Ms. Fields and all voted in favor. The meeting was adjourned at 3:18 PM.



Department of Planning  
175 Arsenal Street  
Watertown, NY 13601

(315) 785-3144

(315) 785-5092 (Fax)

February 24, 2016

City of Watertown Planning Board  
Attn: Geoffrey Urda  
245 Washington St., Room 304  
WatertownNY13601

Re: City of Watertown Zoning Amendment, Digital Zoning Map, Zoning Amendment, JC DP  
File # C 4 - 16

Dear Geoff,

On February 23, 2016, the Jefferson County Planning Board reviewed the above referenced project, referred pursuant to General Municipal Law, Section 239m.

The Board adopted a motion that the project does not have any significant County-wide or inter-municipal issues and is of local concern only.

During the review, the County Planning Board commented that the City is making a positive change by adopting a digital version of their zoning map, along with eliminating many of the instances where parcels are split by zoning districts.

Before adopting the map, the local board should ensure that this amendment is consistent with current plans and the vision for the City.

Please note that the advisory comments are not a condition of the County Planning Board's action. They are listed to assist the local board in its review of the project. The local board is free to make its final decision.

General Municipal Law, Section 239m requires the local board to notify the County of its action on this matter within thirty (30) days after taking a final action.

Thank you.

Sincerely,

Jennifer L. Voss  
Community Development Coordinator

Tabled

February 18, 2016

To: The Honorable Mayor and City Council  
From: Sharon Addison, City Manager  
Subject: Authorizing Intermunicipal Cooperation Agreement

On February 16, 2016, City Council reviewed the Intermunicipal Cooperation Agreement. It has been revised to indicate the effective date of the Agreement to be July 1, 2016 to June 30, 2017, completing all the previous blanks.

City Purchasing Manager Amy M. Pastuf has been working to consolidate and coordinate with other entities when possible to save money in our purchasing power. As detailed in her attached report, Ms. Pastuf has worked with the St. Lawrence-Lewis BOCES on a cost savings for office paper.

Attached for City Council consideration is a Resolution authorizing the City to enter into the Intermunicipal Cooperation Agreement with St. Lawrence-Lewis BOCES.

# RESOLUTION

Page 1 of 1

Authorizing Intermunicipal Cooperation Agreement  
With St. Lawrence-Lewis BOCES

Council Member HORBACZ, Cody J.  
 Council Member JENNINGS, Stephen A.  
 Council Member MACALUSO, Teresa R.  
 Council Member WALCZYK, Mark C.  
 Mayor BUTLER, Jr., Joseph M.  
 Total .....

YEA	NAY

*Introduced by*

Council Member Teresa R. Macaluso

WHEREAS the City of Watertown wishes to aggregate our buying power in order to realize cost savings where possible, and

WHEREAS the City of Watertown desires to enter into an Agreement to share with the St. Lawrence-Lewis BOCES on office paper,

NOW THEREFORE BE IT RESOLVED that the City Council of the City of Watertown authorizes the Intermunicipal Cooperation Agreement between the St. Lawrence-Lewis BOCES and the City of Watertown, a copy of which is attached and made part of this Resolution, and

BE IT FURTHER RESOLVED that the City Manager Sharon Addison is hereby authorized and directed to sign the Agreement on behalf of the City of Watertown.

**Seconded by** Council Member Cody J. Horbacz

# INTERMUNICIPAL COOPERATION AGREEMENT

## FOR THE ESTABLISHMENT OF COOPERATIVE PURCHASING

The parties to this AGREEMENT are the St. Lawrence-Lewis Board of Cooperative Educational Services ("BOCES"), with its principal business address at 40 W. Main Street, P.O. Box 231, Canton, New York, 13617, and the City of Watertown, with its principal business address at 245 Washington St., (collectively, the "PARTIES").  
Watertown, NY 13601

### RECITALS

WHEREAS, the BOCES, as a duly constituted Board of Cooperative Educational Services, is established and defined as a municipal corporation under Education Law §1950 and by and of the State of New York;

WHEREAS, the City of Watertown is established and defined as a municipal corporation under the Education Law § 6300, *et seq.*, by and of the State of New York;

WHEREAS, New York State General Municipal Law, Article 5-G authorizes BOCES and the the City of Watertown each to enter into an intermunicipal cooperation agreement ("AGREEMENT") to carry out any function or responsibility each has authority to undertake alone; and

WHEREAS, BOCES and the City of Watertown have undertaken a reasonable review of the cost of engaging in a cooperative purchasing arrangement and agree that such an arrangement under Article 5-G of the General Municipal Law will realize a cost savings for both entities regarding the acquisition of certain goods, fuels, and products.

### COVENANTS

NOW, THEREFORE, in consideration of the mutual promises contained in this AGREEMENT, and other good and valuable consideration, receipt of which is acknowledged by both PARTIES, it is agreed as follows:

1. TERM:

The term of this AGREEMENT shall begin on July 1, 2016, and shall extend for one year through and including June 30, 2017. Any extension of this AGREEMENT shall be in writing, duly executed between the PARTIES, in the same manner as this AGREEMENT.

2. COOPERATIVE BIDDING:

- a. At all times, both the BOCES and the City of Watertown will comply with the competitive bidding requirements of General Municipal Law when purchasing products and supplies. To the extent that either BOCES or the City of Watertown may have additional requirements pursuant to other provisions of state or local law which are separately applicable, and/or their own purchasing or procurement policies, each entity shall be separately responsible, at its own cost and expense,

to ensure full and complete compliance with any additional requirement applicable only to BOCES or the City of Waterford.

- b. Notwithstanding the above, the respective PARTIES' Purchasing Departments hereto have agreed to seek joint bids on any new contracts for supplies or goods to the greatest extent possible for the duration of this AGREEMENT.
- c. When seeking bids hereunder, the party advertising the bid shall specify that the other party shall, separately, have the right to purchase thereunder. Each party shall separately be responsible for executing a contract with the successful vendor and for paying the vendor directly including any additional shipping or delivery costs to other locations not specified in the bid. The advertising party shall bear the full costs of the publication and circulation of each joint bid at its own costs and expense, unless by prior agreement the PARTIES have agreed to share such costs and expenses. To the greatest extent practicable, the PARTIES will strive to equalize the advertising costs of bids among the PARTIES by alternating advertising for joint bids where there is no other agreement to share such costs.
- d. To the extent practicable, the entities hereto shall confer to ascertain the minimum quantities needed of an item or product which shall be specified in lots in the bid specifications, however, no party shall be obligated to purchase any items or products under any bid let or awarded by the other party.
- e. In the event a bid or bidder is disqualified by one party for any reason (including, *inter alia*, debarment, prohibited/statutory conflict of interest, prevailing wage violations), it is agreed that neither party shall purchase from the disqualified bidder or vendor for the purposes of that bid only. Further, each party disqualifying the bid/bidder or vendor shall defend any such determination disqualifying a bid/bidder or vendor at its own cost and expense, including any court proceedings brought regarding the same.
- f. The advertising party, or either party to a joint advertisement, reserves the right to reject any or all bids. In the event a bid or bids are rejected, the other party shall not purchase thereunder.
- g. Both the City of Waterford and BOCES are tax exempt under both state and federal law and, as such, taxes shall not be included in any contract or bid price. Tax exempt certificates shall be provided promptly upon a successful bidder's request.

### **3. COOPERATIVE PURCHASING:**

- a. The intent of this AGREEMENT is to provide for cost savings and efficiencies in the acquisition of certain goods, fuels, and supplies. It is realized that items or supplies sought by one entity may not be useful or needed by the other or that more recent bids may still be in force, and as such, there is no requirement hereunder that every bid sought by one party or the other be jointly let.
- b. Notwithstanding the previous paragraph, it is the PARTIES intent by and through their ratification of this AGREEMENT to coordinate purchasing, to the greatest

extent practicable, and to spread economies of scale attendant to larger quantity, recurring purchases between the PARTIES.

- c. To the extent practicable, and should current or future vendors agree thereto, each party shall consent to allow the other party to directly purchase off of competitively let, current bid awards now in force, or from separately let and awarded bids in the future, upon identical terms as may apply to the party awarding the bid (any additional transportation and delivery costs are to be borne by the purchasing party). In this event, each party shall contract directly with the other party's vendor.

4. **\*FEES:** (optional)

When the PARTIES enter into a joint bid under this agreement, or a bid is let by BOCES which the City of Waterford is permitted to join, the costs to the City of Waterford shall be in an amount of X payable to the BOCES within thirty (30) days of the awarding of the bid.

*\*Applicable fees, if any will be waived. Any future fees may be offset through reciprocal agreements whereby the COW provides the BOCES access to mutually beneficial bids. No fees will be imposed without prior agreement.*

5. **HOLD HARMLESS:**

Each party hereunder shall hold the other harmless regarding the preparation of bid specifications, advertisement and awarding bids hereunder. Each party further releases the other party from liability for any damages sustained by any other person claiming by or through the City of Waterford or BOCES due to the City of Waterford's or BOCES' performance under this AGREEMENT.

6. **RATIFICATION:**

Both PARTIES acknowledge this AGREEMENT is subject to approval and ratification by the City of Waterford Council and the BOCES Board of Education on behalf of the City of Waterford and BOCES, respectively, and, further, the PARTIES will put this AGREEMENT before each of their respective bodies for ratification at the next meeting following the signing of this agreement.

7. **NON-ASSIGNMENT:**

This AGREEMENT may not be assigned by either PARTY, or its right, title or interest therein assigned, transferred, conveyed or otherwise disposed of without the previous consent, in writing, of the other PARTY and any attempts to assign the contract without such written consent will be null and void.

8. **DISPUTE RESOLUTION:**

In the event either PARTY has a dispute relating to this AGREEMENT, including but not limited to the applicability of professional standards for work undertaken by the joint employee, it shall provide written notice to the other PARTY of such dispute and include

a detailed description of the nature of the dispute and proposed method of resolution. Within seven (7) calendar days of receiving such notice, the receiving PARTY shall contact the disputing party and a mutually acceptable time shall be set for the PARTIES to meet and discuss the resolution. Both PARTIES shall provide documentation or other information useful for resolution of such dispute. Both PARTIES shall make a good faith effort to resolve such dispute in a mutually acceptable and timely manner. In the event the PARTIES cannot agree to resolve such dispute, either PARTY may exercise its right to terminate pursuant to paragraph nine (9) of this AGREEMENT.

**9. TERMINATIONS:**

Both PARTIES reserve the right to terminate this AGREEMENT upon providing sixty (60) days written notice to the other PARTY provided, however, that prior to providing such notice the PARTY seeking termination shall participate in dispute resolution as described in paragraph eight (8) of this AGREEMENT.

**10. NOTICES:**

Any notices or other communications that must be given in connection with this AGREEMENT shall be in writing and shall be deemed to have been validly made or given when delivered personally or when received if properly deposited with the United States Postal Service, postage prepaid certified or registered mail return receipt requested or with a nationally recognized overnight courier service to the address set forth below:

(a) To: Sharon Addison, City Manager  
City of Watertown  
215 Washington Street  
Watertown, NY 13601

(b) To BOCES:  
Attn: District Superintendent  
40 W. Main Street  
P.O. Box 231  
Canton, New York 13617.

**11. GOVERNING LAW:**

This AGREEMENT shall be governed by the laws of the State of New York. Each party shall perform, at all times, under this AGREEMENT in accordance with all applicable provisions of all federal, state and local laws, rules and regulations applicable hereto.

**12. HEADINGS:**

Headings of titles of sections are for convenience of reference only and do not constitute a part of this AGREEMENT.

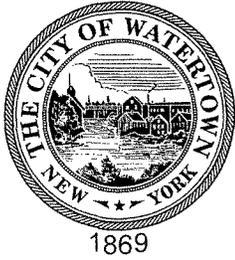
**13. FULL AGREEMENT:**

St. Lawrence-Lewis BOCES/City of Waterford Coop Purchasing Agreement

Date: \_\_\_\_\_

Page 5 of 5 \_\_\_\_\_

This AGREEMENT constitutes the full agreement between the PARTIES and, therefore, the PARTIES agree that this AGREEMENT supersedes any other understanding, writing, or agreement between or among the PARTIES. This Agreement may not be amended or modified by either party except by a written agreement signed by both PARTIES and ratified by their respective governing bodies in the same manner as this AGREEMENT.



# CITY OF WATERTOWN, NEW YORK

ROOM 205, CITY HALL  
245 WASHINGTON STREET  
WATERTOWN, NEW YORK 13601-3380  
E-MAIL APastuf@watertown-ny.gov  
☎(315) 785-7749 📠(315) 785-7752

Amy M. Pastuf  
Purchasing Manager

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## MEMORANDUM

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**TO:** Sharon Addison, City Manager  
**FROM:** Amy M. Pastuf, Purchasing Manager  
**SUBJECT:** Intermunicipal Cooperation Agreement - REVISED  
**DATE:** 2/17/2016

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Over the last few years, Purchasing Officials from the Jefferson County area have been meeting on a regular basis to discuss matters of interest. One of the ideas that we seized upon was the ability to aggregate our buying power in order to realize additional costs savings. The first commodity that we are seeking to work together on bidding is office paper.

In order to participate in this initiative, the City of Watertown needs to execute an Intermunicipal Cooperation Agreement with the St. Lawrence-Lewis BOCES. St. Lawrence-Lewis BOCES will be acting as the "lead agent" on the bid for office paper. I have attached a copy of the proposed Agreement. This agreement will commence on July 1, 2016 and run through June 30, 2017.

Mr. Slye has reviewed the agreement and his questions have been resolved.

If you have any questions, please let me know.

March 1, 2016

To: The Honorable Mayor and City Council  
From: Sharon Addison, City Manager  
Subject: Request for Reduced Fee for Sunrise Service

The attached letter from Asbury United Methodist Church requests that the City Council consider a reduced fee for the use of Pinnacle in Thompson Park for their annual Easter Sunrise Service. Parks and Recreation Superintendent Erin Gardner and I concur that the fee should not be reduced.



UNITED  
METHODIST  
CHURCH

FEB 29 2016

OFFICE OF CITY MANAGER  
WATERTOWN, NEW YORK

# ASBURY UNITED METHODIST CHURCH

327 FRANKLIN STREET  
WATERTOWN, NEW YORK 13601

315-782-3240

Email: Asbury@gisco.net

Rev. Leon I. VanWie, Pastor

Website: www.AsburyUMC.net

24 February, 2016

Dear City Council members,

Upon calling the Parks & Recreation Office to reserve the Pinnacle in Thompson Park for the annual Easter sunrise service, it was a surprise to hear that the fee had been increased from \$5<sup>00</sup> to \$50<sup>00</sup>.

The past five years, Asbury United Methodist Church has paid the \$5<sup>00</sup> fee. Easter sunrise service has been held for decades at the Pinnacle. The area is used from approximately 5:30 am - 7:00 am with attendees standing for the service. Some people may bring folding chairs.

The fee schedule the Council put into effect is reasonable for all-day usage; however our request is for about 1 1/2 hours. My request of the City Council is to consider a fee of \$5<sup>00</sup> - \$10<sup>00</sup> for the short time of the service's duration at the Pinnacle. Thank you for considering this request.

Sincerely,  
Lynn Morgan

493-2637

February 23, 2016

To: Ms. Sharon Addison, City Manager  
From: Erin E. Gardner, Superintendent of Parks and Recreation  
Subject: New Program Fees

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The Superintendent of Parks and Recreation is requesting to add new fees to the fee schedule for new programs. Below is a description of the programs with the proposed fees.

**Craft and Vendor Fair:** The Parks and Recreation Department would like to plan craft and vendor fairs in the recently renovated Arena to offer new activities for the community. If approved, the first craft and vendor fair will be held on Saturday, June 4, 2016 in the Arena. City residents will be charged \$40.00 per day for a regular craft booth and \$50.00 per day for a craft booth with electricity. Non-City Residents will be charged \$50.00 per day for a regular craft booth and \$63.00 per day for a craft booth with electricity. Admission into the craft and vendor fair will be \$3.00 per person per day. Children 12 years of age and younger will not be charged.

**Admission for special events:** The Parks and Recreation Department would like to add new events in the Arena. Some of these events include laser tag, Touch a Truck event, food fair, and kids, adult and senior dances. The cost for these types of events will be \$5 per person per day.

A representative from the Parks and Recreation will be in attendance at the Council Meeting to answer any questions.

March 1, 2016

To: The Honorable Mayor and City Council  
From: Sharon Addison, City Manager  
Subject: Board and Commission Appointments

Below is a listing of upcoming vacancies on City Boards and Commissions for City Council review.

With Council approval, Staff will contact the members for reappointment. Staff would also be happy to reach out to any new individual recommended by City Council.

<b>Board or Commission</b>	<b>Appointed By</b>	<b>Term</b>	<b>Name of Member</b>	<b>Date of Appt.</b>	<b>Term Expires</b>
Flower Memorial Library	Mayor w/Council	11 Years	Katherine Freund	3/17/14	Resigned- 12/31/18
Transportation Commission	Council	3 Years	Susan Beaman	1/20/15	4/1/16
Transportation Commission	Council	3 Years	Suzanne Morrow	4/15/13	4/1/16
Transportation Commission	Council	3 Years	Mary Newman	4/15/13	4/1/16
Transportation Commission	Council	3 Years	Betsy Penrose	3/18/13	4/1/16
Empire Zone Admin. Board	Council	3 Years	Joanne St. Croix	10/21/13	5/31/16
Empire Zone Admin. Board	Council	3 Years	Mark Lavarney	10/21/13	5/31/16
Empire Zone Admin. Board	Council	3 Years	William F. Welbourn	10/21/13	5/31/16
Development Authority of the North Country	Council	4 Years	Thomas H. Hefferon	9/17/12	9/17/16
Board of Assessment Review	Council	5 Years	Lisa L'Huillier	1/5/15	9/30/16

February 17, 2016

To: The Honorable Mayor and City Council  
From: James E. Mills, City Comptroller  
Subject: Sales Tax Revenue – January 2016

The City has received the monthly sales tax revenue amount from Jefferson County. In comparison to January 2015, the January 2016 sales tax revenue on an actual to actual basis is up \$71,051 or 5.63%. This comparison is concerning as it represents the first distribution under the new County sales tax rate of 4.00% which was a 6.67% over the previous 3.75%. In comparison to the original budget projection for the month of January, sales tax is up \$38,263 or 2.96%.

The year-to-date actual receipts are down \$386,778 or 3.69% while the year-to-date receipts on a budget basis are down \$659,057 or 6.13%. Year-to-date sales tax revenue is at \$10,086,797.

The attached spreadsheet shows the detail collections for this year and last year along with the budgeted amounts. Collections for the Fiscal Years' 2011-12, 2012-13, 2013-14 and 2014-15 have been included for historical perspective.

	<u>Actual 2011-12</u>	<u>Actual 2012-13</u>	<u>Actual 2013-14</u>	<u>Actual 2014-15</u>	<u>Actual 2015-16</u>	<u>Variance</u>	<u>% Inc/(Dec)to Prior Year</u>	<u>Quarterly Variance</u>	<u>% Inc/(Dec) to Prior Quarter</u>
July	\$ 1,359,433	\$ 1,361,364	\$ 1,492,579	\$ 1,412,829	\$ 1,509,325	\$ 96,496	6.83%		
August	\$ 1,319,714	\$ 1,357,130	\$ 1,463,877	\$ 1,247,954	\$ 1,494,788	\$ 246,834	19.78%		
September	\$ 1,886,899	\$ 2,071,785	\$ 1,760,254	\$ 2,206,655	\$ 1,683,486	\$ (523,169)	-23.71%	(179,839)	-3.69%
October	\$ 1,215,879	\$ 1,301,624	\$ 1,584,174	\$ 1,405,774	\$ 1,339,731	\$ (66,043)	-4.70%		
November	\$ 1,207,881	\$ 1,274,589	\$ 1,116,784	\$ 1,398,402	\$ 1,375,619	\$ (22,783)	-1.63%		
December	\$ 1,897,409	\$ 1,714,672	\$ 1,543,425	\$ 1,540,727	\$ 1,351,562	\$ (189,164)	-12.28%	(277,990)	-6.40%
January	\$ 1,195,675	\$ 1,276,483	\$ 1,238,468	\$ 1,261,235	\$ 1,332,286	\$ 71,051	5.63%		
February	\$ 1,036,230	\$ 1,160,663	\$ 1,076,005	\$ 1,059,321	\$ -				
March	\$ 1,624,451	\$ 1,453,454	\$ 1,471,964	\$ 1,295,074	\$ -			71,051	1.97%
April	\$ 1,217,913	\$ 1,293,493	\$ 1,271,765	\$ 1,286,204	\$ -				
May	\$ 1,224,057	\$ 1,373,513	\$ 1,298,653	\$ 1,288,547	\$ -				
June	\$ 2,029,525	\$ 1,609,032	\$ 1,699,052	\$ 1,726,963	\$ -			-	0.00%
YTD	<u>\$ 17,215,066</u>	<u>\$ 17,247,801</u>	<u>\$ 17,017,001</u>	<u>\$ 17,129,685</u>	<u>\$ 10,086,797</u>	<u>\$ (386,778)</u>	<u>-3.69%</u>		

	<u>Original Budget</u>		<u>Actual 2015-16</u>	<u>Variance</u>	<u>%</u>		
	<u>2015-16</u>						
July	\$ 1,449,558	\$ 1,509,325	\$ 59,767	4.12%			
August	\$ 1,280,396	\$ 1,494,788	\$ 214,392	16.74%			
September	\$ 2,264,021	\$ 1,683,486	\$ (580,535)	-25.64%	(306,376)	-6.13%	
October	\$ 1,442,320	\$ 1,339,731	\$ (102,589)	-7.11%			
November	\$ 1,434,756	\$ 1,375,619	\$ (59,137)	-4.12%			
December	\$ 1,580,780	\$ 1,351,562	\$ (229,218)	-14.50%	(390,944)	-8.77%	
January	\$ 1,294,023	\$ 1,332,286	\$ 38,263	2.96%			
February	\$ 1,086,860	\$ -					
March	\$ 1,328,741	\$ -			38,263	1.03%	
April	\$ 1,319,641	\$ -					
May	\$ 1,322,045	\$ -					
June	\$ 1,771,860	\$ -			-	0.00%	
YTD	<u>\$ 17,575,000</u>	<u>\$ 10,086,797</u>	<u>\$ (659,057)</u>	<u>-6.13%</u>			