

11 September 2012

Mr. Kurt Hauk, P.E.
City Engineer
Room 305 – City Hall
245 Washington St
Watertown, NY 13601

Edward G. Olley, Jr., AIA
William P. Plante, PLS
Patrick J. Scordo, PE
Thomas S.M. Compo, PE
Ryan Churchill, PE

Gregory F. Ashley, PLS
Brian J. Drake, PE, LEED AP
Stephen J. Gracey, PLS

In Consultation
Leo F. Gozalkowski, PLS
Stephen W. Yaussi, AIA

Re: Site Plan Submission
Guilfoyle Ambulance Service

File: 2011-218

Dear Mr. Hauk:

On behalf of Guilfoyle Ambulance Service we are submitting the following materials for Site Plan review at the 2 October 2012 City Planning Board meeting and the 25 September 2012 Jefferson County Planning meeting:

- 3 full size sets of Site Plans for Departmental Review, including a wet stamped original (Cover, C001, C101);
- 3 full size Survey Maps (SU 101);
- 16 - 11" x 17" Preliminary Architectural Plans (A101);
- 12 - 11"x17" sets of Site Plans;
- 16 Signed and Sealed Engineering Reports;
- City of Watertown Site Plan Application, including Short EAF, and
- \$50 Application Fee.

The project is located on tax parcel number 8-40-106.00 in the City of Watertown.

The proposed development consists of renovating an existing (± 71,800 SF) building and providing vehicular access to the west of the building. An asphalt access road will serve two overhead doors and allow for vehicles to reach the maintenance/storage area of the revamped building. Grading and landscaping are proposed for the project area.

Note that the Site Development Plan was provided to the Town of Watertown Planning Board on 4 September 2012 and the board voted in favor of not requiring Site Plan Approval in the Town. The Planning Board did request that landscaping be in accordance with Town of Watertown standards and any lighting shall be "dark sky" compliant.

The developer plans on beginning construction in November 2012.

If there are any questions or you require additional information, please feel free to contact our office.

Sincerely,
GYMO, Architecture, Engineering & Land Surveying, PC

Patrick J. Scordo, P.E.
Director of Engineering

Attachments

pc: Thomas Ross - GYMO, PC
Ed Olley, AIA – GYMO, PC
Dave Sherman – Guilfoyle



CITY OF WATERTOWN SITE PLAN APPLICATION PROCESS

The applicant is responsible for completeness of application and inclusion of all required information.

****INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED****

In order to expedite the Site Plan review process, all applicants are encouraged to have a pre-application meeting with Planning & Engineering staff. Staff can be reached at (315) 785-7740.

In the interest of expediting site plan approvals, the City of Watertown wishes to advise you of the procedures in applying for these referrals:

A. Fill out the Site Plan / Site Plan Waiver - Determination Flow Chart below:

1. Is the use a one, two, or three family dwelling?
 YES (Site Plan Review is **not** required. You may apply directly for Building Permit.)
 NO (Go to question 2)
2. Is your building or parking lot construction or expansion less than or equal to 400 sq. ft.?
 YES (Site Plan Review is not required. You may apply directly for Building Permit.)
 NO (Go to question 3)
3. Does your building or parking lot construction or expansion exceed 2500 sq. ft.?
 YES (Site Plan Review required. Submit the Site Plan Application Form.)
 NO (Go to question 4)
4. Is your proposed building the first on the lot?
 YES (Site Plan Review required. Submit the Site Plan Application Form.)
 NO (Go to question 5)
5. Does your project involve a change in the property boundaries?
 YES (Site Plan Review required. Submit the Site Plan Application Form.)
 NO (Go to question 6)
6. Does your building or parking lot construction or expansion change or impair the overall grading, circulation, drainage, utility services, and appearance and visual effect of the property?
 YES (Site Plan Review required. Submit the Site Plan Application Form.)
 NO (*Site Plan Waiver allowed. Submit the Site Plan Waiver Form.)

* The City of Watertown Planning Board reserves the right to require Site Plan Review.

- B. When Jefferson County Planning Board review is necessary, one additional set is required. **SUBMISSION MUST CONTAIN COMPLETE COLLATED SETS OF ALL DATA.**
 A complete submittal set at a minimum contains the following:

1. For Site Plan Approval *
 - 15 sets** - At least 3 full size, including one original full size.
 - Remaining sets can be 11x17 if legible.
 - Completed Site Plan Application (see attached application form).
 - * City Council Approval is required for Site Plans.

2. For Site Plan Waiver Approval **
 - 10 sets** - At least 3 full size, including one original full size.
 - Remaining sets can be 11x17 if legible
 - Completed Site Plan Waiver Application (see attached application form).
 - ** Site Plan approval of City Council would be waived by the City of Watertown Planning Board.

C. Address submittals to:
 Kurt W. Hauk, P.E.
 City Engineer
 Room 305, City Hall
 245 Washington Street
 Watertown, NY 13601

- D. A **\$50.00** application fee must accompany the submittal.
 A **\$50.00** application fee must accompany each resubmittal. You will be notified by the Engineering Department if an application requires a resubmittal.
 Make checks payable to the City of Watertown.

- E. All Site Plan submittals must be received by the City Engineer at least 14 calendar days prior to the next Planning Board Meeting; 21 calendar days if Jefferson County Planning Board action is necessary. Failure to meet the submittal deadline will result in **not** making the agenda for the upcoming Planning Board Meeting. **THERE ARE NO EXCEPTIONS.** The City Planning Board meets on the first Tuesday of each month at 1:30 P.M. in the City Council Chambers on the 3rd Floor of City Hall.

CITY OF WATERTOWN PLANNING BOARD 2010 (1 ST TUES. MONTH @ 1:30 PM)		CITY OF WATERTOWN CITY COUNCIL 2010 (1 ST & 3 RD MONDAY @ 7 PM)		JEFFERSON COUNTY PLANNING BOARD 2010 (LAST TUES. MONTH)	
MEETING DATE	DEADLINE	MEETING DATE		MEETING DATE	DEADLINE
Jan. 5	Dec. 22	Jan. 4, 19		Jan. 26	Jan. 12
Feb. 2	Jan. 19	Feb. 1, 16		Feb. 23	Feb. 9
March 2	Feb. 16	March 1, 15		March 30	March 16
April 6	March 23	Apr. 5, 19		April 27	April 13
May 4	April 20	May 3, 17		May 25	May 11
June 1	May 18	Jun. 7, 21		June 29	June 15
July 6	June 22	July 5, 19		July 27	July 13
Aug. 3	July 20	Aug. 2, 16		Aug. 24	Aug. 10
Sept. 7	Aug. 24	Sept. 7, 20		Sept. 28	Sept. 14
Oct. 5	Sept. 21	Oct. 4, 18		Oct. 26	Oct. 12
Nov. 2	Oct. 19	Nov. 1, 15		Nov. 23	Nov. 9
Dec. 7	Nov. 23	Dec. 6, 20		Dec. 28	Dec. 14



**CITY OF WATERTOWN
SITE PLAN APPLICATION
AND
SHORT ENVIRONMENTAL
ASSESSMENT FORM, PART 1**

**** Provide responses for all sections. INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED. Failure to submit required information by the submittal deadline will result in **not** making the agenda for the upcoming Planning Board meeting.**

PROPERTY LOCATION

Proposed Project Name: Guilfoyle Ambulance Access Drive

Tax Parcel Number: 8-40-106.00

Property Address: Faichney Drive

Existing Zoning Classification: Planned Development District (PDD)

OWNER OF PROPERTY

Name: Guilfoyle Ambulance Services, Inc.

Address: 438 Newell Street

Watertown, NY 13601

Telephone Number: (315) 788-4032

Fax Number: _____

APPLICANT

Name: Guilfoyle Ambulance Services, Inc.

Address: 438 Newell Street

Watertown, NY 13601

Telephone Number: (315) 788-4032

Fax Number: _____

Email Address: _____

ENGINEER/ARCHITECT/SURVEYOR

Name: GYMO, P.C.

Address: 220 Sterling Street

Watertown, NY 13601

Telephone Number: (315) 788-3900

Fax Number: (315) 788-0668

Email Address: pat@gymopc.com

PROJECT DESCRIPTION

Describe project and proposed use briefly:

Asphalt access driveway on west side of building. Project includes grading and landscaping in project area.

Is proposed Action:

New Expansion Modification/Alteration

Amount of Land Affected:

Initially: 0.34 Acres Ultimately: 0.34 Acres

Will proposed action comply with existing zoning or other existing land use restrictions?

Yes No If no, describe briefly

What is present land use in vicinity of project?

Residential Industrial Commercial Agriculture
 Park/Forest/Open Space Other

Describe: Ontario Village Apartments, small retail/commerical present.

Does project involve a permit approval, or funding, now or ultimately from any other Governmental Agency (Federal, State or Local)?

Yes No If yes, list agency(s) and permit/approval(s)

Does any aspect of the project have a currently valid permit or approval?

Yes No If yes, list agency(s) and permit/approval(s)

Building permit - (C) Watertown

As a result of proposed project, will existing permit/approval require modification?

Yes No

Proposed number of housing units (if applicable): N/A

Proposed building area: 1st Floor 71,800 Sq. Ft.

2nd Floor _____ Sq. Ft.

3rd Floor _____ Sq. Ft.

Total _____ Sq. Ft.

Area of building to be used for the boiler room, heat facilities, utility facilities
and storage: Same as Existing Sq. Ft.

Number of parking spaces proposed: None

Construction Schedule: November 2012

Hours of Operation: 24 hours/day

Volume of traffic to be generated: 0 ADT

REQUIRED DRAWINGS:

** The following drawings with the listed information **ARE REQUIRED, NOT OPTIONAL**. If the required information is not included and/or addressed, the Site Plan Application will **not** be processed.

BOUNDARY & TOPOGRAPHIC SURVEY

(Depict existing features as of the date of the Site Plan Application. This Survey and Map must be performed and created by a Professional Land Surveyor licensed and currently registered to practice in the State of New York. This Survey and Map must be stamped and signed with an original seal and signature on at least one copy, the rest may be copies thereof.

All elevations are National Geodetic Vertical Datum of 1929 (NGVD29).

1' contours are shown & labeled with appropriate spot elevations.

All existing features on and within 50 feet of the subject property are shown and labeled. Unless restricted

All existing utilities on and within 50 feet of the subject property are shown and labeled. Unless restricted

All existing easements and/or right-of-ways are shown and labeled.

Existing property lines (bearings & distances), margins, acreage, zoning, existing land use, reputed owner, adjacent reputed owners & tax parcel numbers are shown and labeled.

The north arrow & graphic scale are shown.

DEMOLITION PLAN (If Applicable)

All existing features on and within 50 feet of the subject property are shown and labeled.

All items to be removed are labeled in darker text.

SITE PLAN

All proposed above ground features are depicted and clearly labeled.

All proposed features are clearly labeled "proposed".

All proposed easements & right-of-ways are shown and labeled.

Land use, zoning, & tax parcel number are shown.

- The Plan is adequately dimensioned including radii.
- The line work & text for all proposed features is shown darker than existing features.
- All vehicular & pedestrian traffic circulation is shown including a delivery or refuse vehicle entering and exiting the property.
- Proposed parking & loading spaces including ADA accessible spaces are shown and labeled.
- Refuse Enclosure Area (Dumpster), if applicable, is shown. Section 161-19.1 of the Zoning Ordinance states, "No refuse vehicle or refuse container shall be parked or placed within 15 feet of a party line without the written consent of the adjoining owner, if the owner occupies any part of the adjoining property".
- The north arrow & graphic scale are shown.

GRADING PLAN

- All proposed below ground features including elevations & inverts are shown and labeled.
- All proposed above ground features are shown and labeled.
- The line work & text for all proposed features is shown darker than existing features.
- All proposed easements & right-of-ways are shown and labeled.
- 1' existing contours are shown dashed & labeled with appropriate spot elevations.
- 1' proposed contours are shown & labeled with appropriate spot elevations.
- All elevations are National Geodetic Vertical Datum of 1929 (NGVD29).
- Sediment & Erosion control are shown & labeled on the grading plan unless separate drawings have been provided as part of a Stormwater Pollution Prevention Plan (SWPPP).

UTILITY PLAN

- All proposed above & below ground features are shown and labeled.
- All existing above & below ground utilities including sanitary, storm water, water, electric, gas, telephone, cable, fiber optic, etc. are shown and labeled.

- All proposed easements & right-of-ways are shown and labeled.
- The Plan is adequately dimensioned including radii.
- The line work & text for all proposed features is shown darker than existing features.
- The following note has been added to the drawings stating, "All water main and service work must be coordinated with the City of Watertown Water Department. The Water Department requirements supercede all other plans and specifications provided."

LANDSCAPING PLAN

- All proposed above ground features are shown and labeled.
- All proposed trees, shrubs, and other plantings are shown and labeled.
- All proposed landscaping & text are shown darker than existing features.
- All proposed landscaping is clearly depicted, labeled and keyed to a plant schedule that includes the scientific name, common name, size, quantity, etc.
- For additional landscaping requirements where nonresidential districts and land uses abut land in any residential district, please refer to Section 310-59, Landscaping of the City's Zoning Ordinance.
- Site Plan complies with and meets acceptable guidelines set forth in Appendix A - Landscaping and Buffer Zone Guidelines (August 7, 2007).**

PHOTOMETRIC PLAN (If Applicable)

- All proposed above ground features are shown.
- Photometric spot elevations or labeled photometric contours of the property are clearly depicted. Light spillage across all property lines shall not exceed 0.5 foot-candles.

CONSTRUCTION DETAILS & NOTES

- All details and notes necessary to adequately complete the project including, but not limited to, landscaping, curbing, catch basins, manholes, water line, pavement, sidewalks, trench, lighting, trash enclosure, etc. are provided.
- Maintenance & protection and traffic plans & notes for all required work within City streets including driveways, water laterals, sanitary laterals, storm connections, etc. are provided. N/A

- The following note must be added to the drawings stating:
"All work to be performed within the City of Watertown margin will require sign-off from a Professional Engineer, licensed and currently registered to practice in the State of New York, that the work was built according to the approved site plan and applicable City of Watertown standards. Compaction testing will be required for all work to be performed within the City of Watertown margin and must be submitted to the City of Watertown Codes Department." N/A

PRELIMINARY ARCHITECTURAL PLANS (If Applicable)

- Floor plan drawings, including finished floor elevations, for all buildings to be constructed are provided.
- Exterior elevations including exterior materials and colors for all buildings to be constructed are provided.
- Roof outline depicting shape, slope and direction is provided.

ENGINEERING REPORT

**** The engineering report at a minimum includes the following:**

- Project location
- Project description
- Existing & proposed sanitary sewer flows & summary
- Water flows & pressure
- Storm Water Pre & Post Construction calculations & summary
- Traffic impacts
- Lighting summary
- Landscaping summary

GENERAL INFORMATION

- ALL ITEMS ARE STAMPED & SIGNED WITH AN ORIGINAL SIGNATURE BY A PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, OR SURVEYOR LICENSED AND CURRENTLY REGISTERED TO PRACTICE IN THE STATE OF NEW YORK.
- If required, a copy of the Stormwater Pollution Prevention Plan (SWPPP) submitted to the NYSDEC will also be sent to the City of Watertown Engineering Department. Will be sent
- If required, a copy of all submittals sent to the New York State Department of Environmental Conservation (NYSDEC) for the sanitary sewer extension permit will also be sent to the City of Watertown Engineering Department
- If required, a copy of all submittals sent to the New York State Department of Health (NYSDOH) will also be sent to the City of Watertown Engineering Department.
- Signage will not be approved as part of this submission. It requires a sign permit from the Codes Department. See Section 310-52.2 of the Zoning Ordinance.
- Plans have been collated and properly folded.
- Explanation for any item not checked in the Site Plan Checklist.
 - No SWPPP provided, Disturbance less than 1 acre
 - No Elevations/Roof Plans - No Change to these
 - No Photometrics - Only 4 Wallpacks proposed adjacent to overhead doors
 - No Demolition Proposed
 - No Waterline work is proposed
- Completed SEQR – Short Environmental Assessment Form – Part I.
*A copy of the SEQR Form can be obtained from the City of Watertown website.

SIGNATURE

I certify that the information provided above is true to the best of my knowledge.

Applicant (please print) Charmaine G Wright
Applicant Signature Charmaine G Wright Date: 9/11/12

SHORT ENVIRONMENTAL ASSESSMENT FORM

For UNLISTED ACTIONS Only

PART 1 - PROJECT INFORMATION (To be completed by Applicant or Project Sponsor)

1. APPLICANT/SPONSOR Guilfoyle Ambulance Services, Inc.	2. PROJECT NAME Guilfoyle Ambulance
3. PROJECT LOCATION: Municipality <u>City of Watertown</u> County <u>Jefferson</u>	
4. PRECISE LOCATION (Street address and road intersections, prominent landmarks, etc., or provide map) <u>Old Covidien Building on Faichney Drive.</u>	
5. IS PROPOSED ACTION: <input type="checkbox"/> New <input checked="" type="checkbox"/> Expansion <input type="checkbox"/> Modification/alteration	
6. DESCRIBE PROJECT BRIEFLY: <u>Asphalt access driveway on the south side of the building. Project includes grading and landscaping in project area.</u>	
7. AMOUNT OF LAND AFFECTED: Initially <u>0.34</u> acres Ultimately <u>0.34</u> acres	
8. WILL PROPOSED ACTION COMPLY WITH EXISTING ZONING OR OTHER EXISTING LAND USE RESTRICTIONS? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If no, describe briefly	
9. WHAT IS PRESENT LAND USE IN VICINITY OF PROJECT? <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Agriculture <input type="checkbox"/> Park/Forest/Open Space <input type="checkbox"/> Other Describe: <u>Ontario Village Apartments, small retail/commerical</u>	
10. DOES ACTION INVOLVE A PERMIT APPROVAL, OR FUNDING, NOW OR ULTIMATELY FROM ANY OTHER GOVERNMENTAL AGENCY (FEDERAL, STATE OR LOCAL)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, list agency(s) and permit/approvals	
11. DOES ANY ASPECT OF THE ACTION HAVE A CURRENTLY VALID PERMIT OR APPROVAL? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, list agency(s) and permit/approvals <p style="text-align: right;"><u>Building Permit - (C) Watertown</u></p>	
12. AS A RESULT OF PROPOSED ACTION, WILL EXISTING PERMIT/APPROVAL REQUIRE MODIFICATION? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE TO THE BEST OF MY KNOWLEDGE	
Applicant/sponsor name: _____ - <u>Guilfoyle Ambulance Services, Inc.</u>	Date: <u>9/11/12</u>
Signature: <u><i>Charmaine Wright</i></u>	

If the action is in the Coastal Area, and you are a state agency, complete the Coastal Assessment Form before proceeding with this assessment

A. DOES ACTION EXCEED ANY TYPE I THRESHOLD IN 6 NYCRR, PART 617.12? If yes, coordinate the review process and use the FULL EAF.
 Yes No

B. WILL ACTION RECEIVE COORDINATED REVIEW AS PROVIDED FOR UNLISTED ACTIONS IN 6 NYCRR, PART 617.6? If NO, a negative declaration may be superseded by another involved agency.
 Yes No

C. COULD ACTION RESULT IN ANY ADVERSE EFFECTS ASSOCIATED WITH THE FOLLOWING: (Answers may be handwritten, if legible)

C1. Existing air quality, surface or groundwater quality or quantity, noise levels, existing traffic patterns, solid waste production or disposal, potential for erosion, drainage or flooding problems? Explain briefly:

C2. Aesthetic agricultural, archaeological, historic, or other natural or cultural resources; or community or neighborhood character? Explain briefly:

C3. Vegetation or fauna, fish shellfish or wildlife species, significant habitats, or threatened or endangered species? Explain briefly:

C4. A community's existing plans or goals as officially adopted, or a change in use or intensity of use of land or other natural resources? Explain briefly:

C5. Growth, subsequent development, or related activities likely to be induced by the proposed action? Explain briefly.

C6. Long term, short term, cumulative, or other effects not identified in C1-C5? Explain briefly.

C7. Other impacts (including changes in use of either quantity or type of energy)? Explain briefly.

D. WILL THE PROJECT HAVE AN IMPACT ON THE ENVIRONMENTAL CHARACTERISTICS THAT CAUSED THE ESTABLISHMENT OF A CEA?
 Yes No

E. IS THERE, OR IS THERE LIKELY TO BE, CONTROVERSY RELATED TO POTENTIAL ADVERSE ENVIRONMENTAL IMPACTS?
 Yes No If yes, explain briefly

PART III – DETERMINATION OF SIGNIFICANCE (To be completed by Agency)

INSTRUCTIONS: For each adverse effect identified above, determine whether it is substantial, large, important or otherwise significant. Each effect should be assessed in connection with its (a) setting (i.e. urban or rural); (b) probability of occurring; (c) duration; (d) irreversibility; (e) geographic scope; and (f) magnitude. If necessary, add attachments or reference supporting materials. Ensure that explanations contain sufficient detail to show that all relevant adverse impacts have been identified and adequately addressed.

Check this box if you have identified one or more potentially large or significant adverse impacts which **MAY** occur. Then proceed directly to the FULL EAF and/or prepare a positive declaration.

Check this box if you have determined, based on the information and analysis above and any supporting documentation, that the proposed action **WILL NOT** result in any significant adverse environmental impacts AND provide on attachments as necessary, the reasons supporting this determination:

Name of Lead Agency

Print or Type Name of Responsible Officer in Lead Agency

Title of Responsible Officer

Signature of Responsible Officer in Lead Agency

Signature of Preparer (If different from responsible officer)

Date

2011-218E

ENGINEERING REPORT

**GUILFOYLE AMBULANCE ACCESS DRIVE
BY GUILFOYLE AMBULANCE SERVICES, INC.**

**CITY AND TOWN OF WATERTOWN
JEFFERSON COUNTY, NEW YORK**



GYMO_{PC}

ARCHITECTURE, ENGINEERING & LAND SURVEYING
220 Sterling Street, Watertown, New York 13601
tel.315.788.3900 fax.315.788.0668 e-mail. gymopc@gymopc.com

ENGINEERING REPORT

GUILFOYLE AMBULANCE ACCESS DRIVE
FAICHNEY DRIVE
CITY AND TOWN OF WATERTOWN
JEFFERSON COUNTY
STATE OF NEW YORK

GUILFOYLE AMBULANCE SERVICES, INC.
438 NEWELL STREET
WATERTOWN, NY 13601
CONTACT PERSON: MR. DAVE SHERMAN (315) 788-4032
PROJECT # 2011-218
11 SEPTEMBER 2011



PATRICK J. SCORDO, P.E.
DIRECTOR OF ENGINEERING

The above Engineer states that to the best of his knowledge, information and belief, the plans and specifications are in accordance with the applicable requirements of New York State. It is a violation of New York State Law for any person, unless acting under the direction of a licensed professional engineer to alter this document in any way. If altered, such licensee shall affix his or her seal and the notation "altered by" followed by his or her signature, date, and a specific description of alteration.

**GYMO ARCHITECTURE, ENGINEERING
& LAND SURVEYING, P.C.**
220 STERLING STREET-WATERTOWN, NY-TELE: (315)788-3900 FAX: (315)788-0668

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1.0 SITE AND PROJECT DESCRIPTIONS

1.1 Location

The project site is located at 1291 Faichney Drive on tax parcel 8-40-106.00 in the City of Watertown and tax parcel number 82.08-1-10 in the Town of Watertown. The majority of the site to be developed is in the City of Watertown. The municipal boundary can be viewed on the attached Site Development Plan (C101) in Appendix A.

1.2 Project Description

This project entails the construction of an asphalt drive to provide access to the south of the building. Grading, landscaping, and slope protection are proposed in the project scope.

1.3 Zoning/Parking/Employees

Zoning of the project area is currently Planned Development District (PDD) in the City of Watertown and Neighborhood Commercial in the Town of Watertown. The proposed use is in conformance with the existing zoning. The majority of the parking for the facility exists in a large parking lot in the Town of Watertown. A small lot exists on the City of Watertown parcel. No additional parking is proposed.

2.0 WATER FACILITIES

2.1 Existing Water Facilities

The building is currently served with municipal water (City of Watertown). A 12" Cast Iron-Cement Lined water main exists to the west of the building.

2.2 Proposed Water Facilities

Existing water facilities are to serve the building. No water facilities are proposed.

3.0 SANITARY SEWER FACILITIES

3.1 Existing Sanitary Sewer Facilities

A gravity sanitary sewer line exits the northeast corner of the building and connects to a sanitary sewer manhole on Faichney Drive.

3.2 Proposed Sanitary Sewer Facilities

The existing sanitary lateral will be utilized for the building. Two trench drains will be located adjacent to the proposed overhead doors (inside the building) to collect water used for washing vehicles prior to maintenance. These will lead to an interior oil-water separator before connecting to the existing sanitary system inside the building.

4.0 HYDROLOGIC AND HYDRAULIC ANALYSES

4.1 Existing Drainage

The project area currently sheet flows from north to south to a wooded swale area.

4.2 Proposed Drainage

Proposed grading for the access drive will continue to have most of the project area sheet flow from north to south to the wooded swale. A small portion (adjacent to the southwest corner of the building) will sheet flow to the existing storm system in the parking lot.

5.0 TRAFFIC ANALYSIS

5.1 Estimated Additional Daily Traffic

The traffic generated from the new use of the building is anticipated to be negligible.

6.0 LIGHTING

6.1 Site Lighting

There is no proposed pole-mounted site lighting. However, the building will have small fixtures mounted near the proposed overhead doors. The fixtures will be 70-watt high pressure sodium fixtures, mounted at 10' above finished grade. The lights will be dark sky compliant.

7.0 LANDSCAPING

7.1 Proposed Landscaping

Landscaping will be provided to comply with City and Town of Watertown requirements. Landscaping will be chosen that is native to the area, grows well in the soil conditions of the project and fits in with the overall theme of the area. Refer to proposed landscaping shown on C101.

8.0 SUMMARY

GYMO, P.C. is confident that the proposed Guilfoyle Ambulance Access Drive project will fill a need for the Guilfoyle Ambulance Services, Inc. and have no adverse impact on the surrounding community. The existing utility infrastructure will be sufficient with the adapted use of the building.



Patrick J. Scordo, P.E.
Director of Engineering



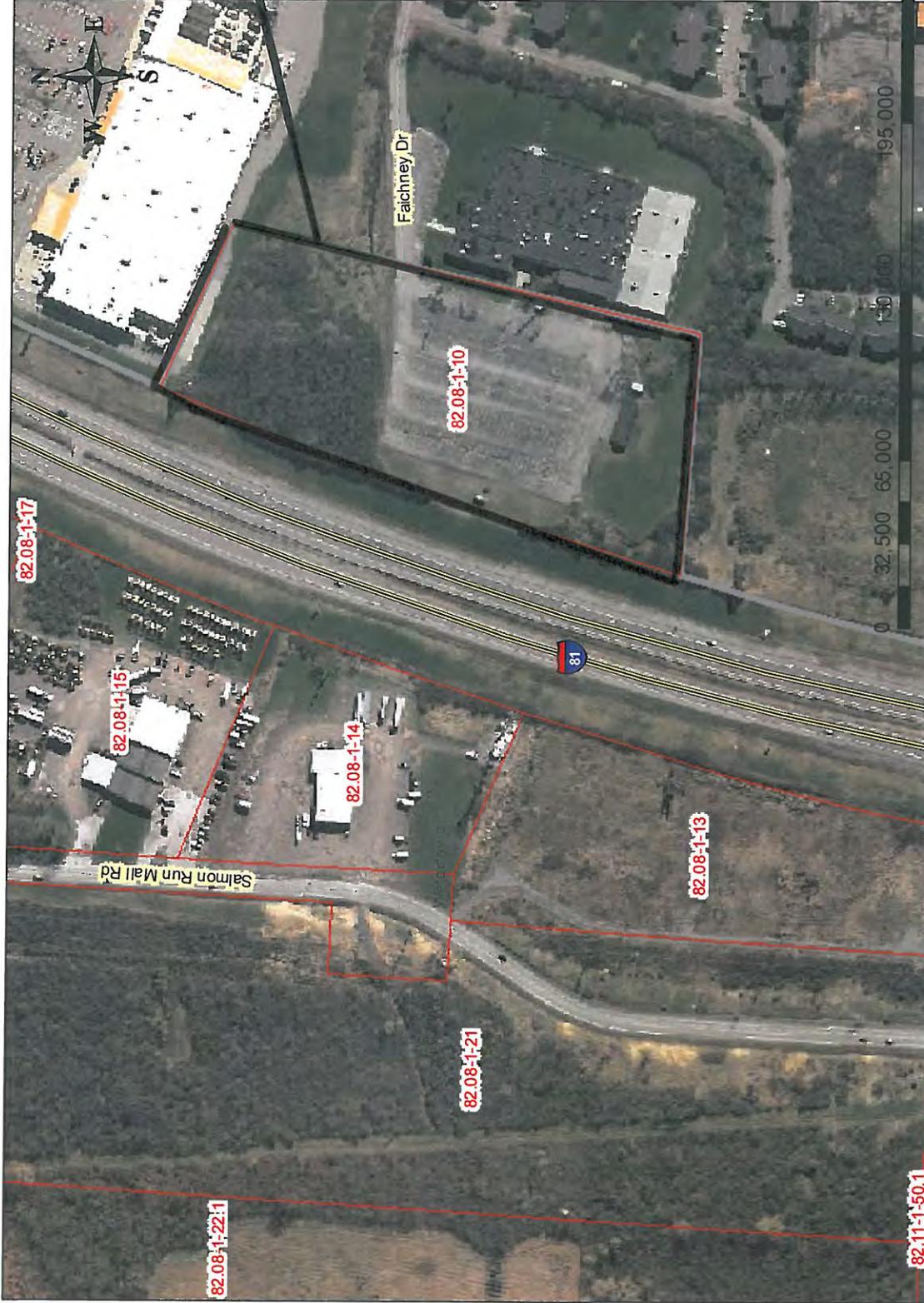
Thomas H. Ross
Design Engineer



**PROJECT
SITE**



Town of Watertown Tax Map



**PROJECT
SITE
(T/WATN)**

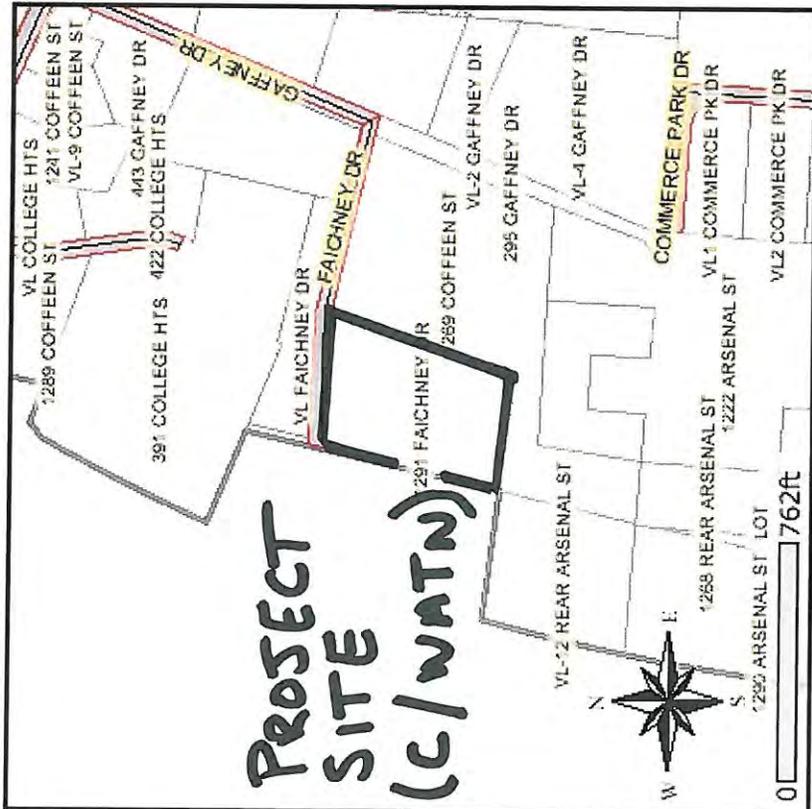
Leg end

- Hamlets
- Interstate
- Federal
- State
- County
- Local
- Fort Drum
- County Boundaries
- Parcels 2012
- Municipalities

260,000 Feet

This map was created using the Jefferson County Map Viewer application. It should be used for reference purposes only. Reasonable efforts have been made to ensure the accuracy of this map and the quality of the GIS data. Jefferson County disclaims any responsibilities or liabilities from the use of this map for any other purpose other than its intended use.

City of Watertown Tax Map



Legend

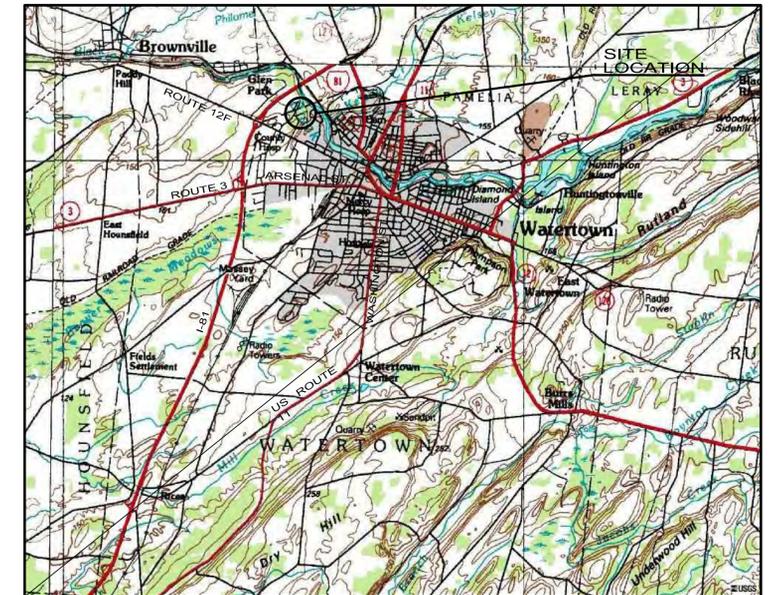
- Roads
- Right of Ways
- Tax Parcels
- City Boundary

September 12, 2012

Disclaimer: This map was prepared by the City of Watertown Internet Mapping Application. The information was compiled using the most current data available. It is deemed accurate, but is not guaranteed.



AERIAL LOCATION MAP
APPROXIMATE SCALE: 1" = 300'



LOCATION MAP
APPROXIMATE SCALE 1" = 2,000'



GUILFOYLE AMBULANCE

FAICHNEY DRIVE
CITY AND TOWN OF WATERTOWN
JEFFERSON COUNTY, NEW YORK

SITE DEVELOPMENT PLANS

11 SEPTEMBER 2012

INDEX OF DRAWINGS:

- C001 - GENERAL INFORMATION AND SITE DETAILS
- C101 - SITE DEVELOPMENT PLAN

PREPARED FOR:

GUILFOYLE AMBULANCE SERVICES, INC.
438 NEWELL STREET
WATERTOWN NY, 13601
CONTACT PERSON - MR. DAVE SHERMAN
(315) 788-4032

FOR APPROVALS ONLY
NOT FOR CONSTRUCTION

PATRICK J. SCORDO, P.E.
New York State Reg. No. 68965



ARCHITECTURE,
ENGINEERING &
LAND SURVEYING
P.C.

220 STERLING STREET
WATERTOWN, NEW YORK, 13601

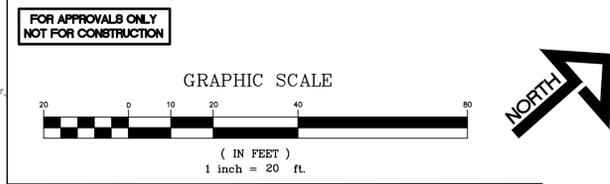
TEL (315) 788-3900
FAX (315) 788-0668
www.gymopc.com

PLANNING DATA

CURRENT ZONING CLASSIFICATION - PLANNED DEVELOPMENT DISTRICT (PDD)		
PROPOSED ZONING - PLANNED DEVELOPMENT DISTRICT (PDD)		
TAX PARCEL NUMBERS - 8-40-106.00 (CITY OF WATERTOWN) 82.08-1-10 (TOWN OF WATERTOWN)		
AREA AND BULK CALCULATIONS		
ITEM	REQUIRED/ALLOWED	PROPOSED
DISTRICT AREA MINIMUM	40,000 SF	> 40,000 SF
FRONT YARD SETBACK	N/A	N/A
SIDE YARD SETBACK	N/A	N/A
REAR YARD SETBACK	N/A	N/A
MAXIMUM LOT COVERAGE	80%	<< 80%

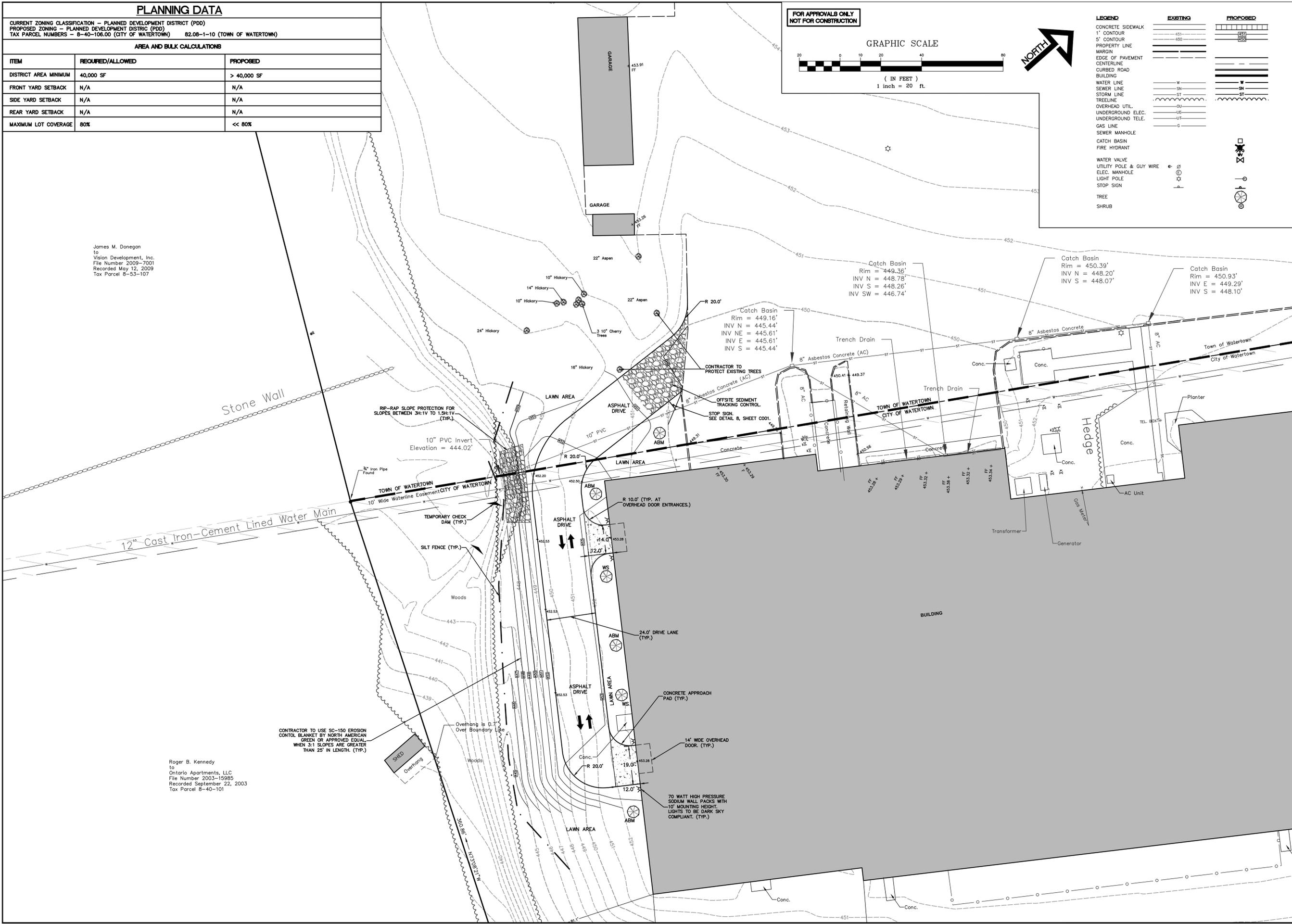
James M. Donegan
to
Vision Development, Inc.
File Number 2009-7001
Recorded May 12, 2009
Tax Parcel 8-53-107

Roger B. Kennedy
to
Ontario Apartments, LLC
File Number 2003-15985
Recorded September 22, 2003
Tax Parcel 8-40-101



LEGEND

	EXISTING	PROPOSED
CONCRETE SIDEWALK	---	---
1" CONTOUR	---	---
5" CONTOUR	---	---
PROPERTY LINE	---	---
MARGIN	---	---
EDGE OF PAVEMENT	---	---
CENTERLINE	---	---
CURBED ROAD	---	---
BUILDING	---	---
WATER LINE	W	W
SEWER LINE	SN	SN
STORM LINE	ST	ST
TREELINE	---	---
OVERHEAD UTIL.	OU	OU
UNDERGROUND ELEC.	UE	UE
UNDERGROUND TELE.	UT	UT
GAS LINE	G	G
SEWER MANHOLE	⊗	⊗
CATCH BASIN	⊗	⊗
FIRE HYDRANT	⊗	⊗
WATER VALVE	⊗	⊗
UTILITY POLE & GUY WIRE	⊗	⊗
ELEC. MANHOLE	⊗	⊗
LIGHT POLE	⊗	⊗
STOP SIGN	⊗	⊗
TREE	⊗	⊗
SHRUB	⊗	⊗



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GYMO

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IT IS A VIOLATION OF SECTION 2209, SUBSECTION 2, OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR TO ALTER THIS DOCUMENT IN ANY WAY. IF ALTERED, SUCH LICENSEE SHALL AFFIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE, DATE AND A SPECIFIC DESCRIPTION OF ALTERATION.

SITE DEVELOPMENT PLAN
GUILFOYLE AMBULANCE
FAICHNEY DRIVE
CITY AND TOWN OF WATERTOWN, NY

Project No: 2011-218E
Scale: As Noted
Date: 8/22/2012
Drawn By: RGC/THR
Designed By: RGC/THR
Checked By:
Date Issued: 9/11/2012
Drwg. No.

C101

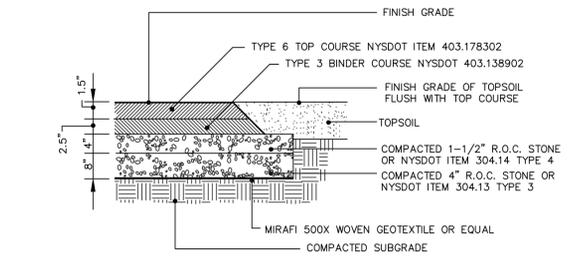
GENERAL NOTES

- UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN. PRIOR TO CONSTRUCTION CONTACT UNDERGROUND UTILITIES CALL CENTER OF NEW YORK FOR EXACT LOCATION OF ALL UNDERGROUND UTILITIES, (1-800-962-7962). CONTRACTOR IS RESPONSIBLE FOR LOCATING AND WORKING WITH THE APPROPRIATE UTILITY COMPANIES PRIOR TO CONSTRUCTION.
- THE BOUNDARY AND TOPOGRAPHIC SURVEY WAS PERFORMED BY GYMO, PC DURING JANUARY AND FEBRUARY 2012.
- ALL OUT-OF-SCOPE AREAS DISTURBED BY THE CONTRACTOR'S OPERATIONS WILL BE RESTORED TO CONDITIONS EQUAL TO OR BETTER THAN THAT PRIOR TO CONSTRUCTION. OUTSIDE OF PROPERTY BOUNDARIES AND EASEMENT AREAS THE CONTRACTOR IS REMINDED TO OBTAIN WRITTEN AUTHORIZATION TO USE PRIVATE PROPERTY AND ASSUMES ALL LIABILITY WHEN ACCESSING THOSE PROPERTIES.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE CHARACTERISTICS AND EXTENT OF SUBSURFACE SOILS, ROCK, WATER TABLE LEVELS, ETC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, BONDS, FEES, AND PAYMENTS TO OBTAIN SAID PERMITS WHERE APPLICABLE.
- WHEN THE PERFORMANCE OF THE CONTRACTOR'S WORK REQUIRES THE INTERRUPTION OF UTILITY SERVICES, HE/SHE SHALL ISSUE A 48 HOUR PRIOR NOTICE TO THE GOVERNING MUNICIPALITY.
- SITE CONTRACTOR TO PROVIDE EROSION AND SEDIMENT CONTROL AND DUST CONTROL.
- A LICENSED LAND SURVEYOR SHALL BE RETAINED FOR ALL UTILITY AND FIELD STAKEOUT AND AS-BUILTS AT THE CONTRACTORS EXPENSE.
- CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION UNTIL ESTABLISHMENT OF VEGETATIVE COVER. RUN-OFF CONTAINING SEDIMENTS FROM DISTURBED AREAS OF THE SITE SHALL NOT BE ALLOWED DIRECTLY OFF SITE OR INTO NATURAL STREAM CHANNELS.
- ALL EXISTING TREES TO REMAIN SHALL BE PROTECTED BY THE CONTRACTOR. CONSTRUCTION ACTIVITIES ADJACENT TO TREES SHALL BE CONDUCTED TO REDUCE THE IMPACT TO TREES TO THE MAXIMUM EXTENT PRACTICAL. ANY DAMAGE TO EXISTING TREES SHALL BE REPAIRED OR THE TREE REPLACED, AS DIRECTED BY THE OWNER AT THE CONTRACTORS EXPENSE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARING, GRUBBING, CUTTING AND DISPOSING OF VEGETATION, TREES AND DEBRIS IN A NYSDEC ACCEPTABLE LOCATION.
- CONTRACTOR SHALL PERFORM ALL NECESSARY EARTHWORK, INCLUDING THE STRIPPING, STOCKPILING AND REPLACING OF TOPSOIL IN ACCORDANCE WITH THE PLANS. EXCESS MATERIAL SHALL BE REMOVED FROM THE SITE.
- EXCAVATIONS SHALL BE TO DEPTHS SHOWN ON DRAWINGS. ALL UNSTABLE OR UNSUITABLE MATERIAL SHALL BE EXCAVATED AND REMOVED TO SUCH DEPTH AS REQUIRED TO PROVIDE SUFFICIENT BEARING CAPACITY. OVER-EXCAVATED AREAS SHALL BE BACKFILLED WITH SUITABLE MATERIAL.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES OF DIMENSIONS, ELEVATIONS AND LOCATIONS DURING PRECONSTRUCTION FIELD VERIFICATION, SUCH INFORMATION SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR VERIFICATION OR MODIFICATION OF THE PLANS.
- UPON COMPLETION OF SITE GRADING AND PAVING AND ESTABLISHMENT OF VEGETATION, THE NEW AND EXISTING STORM SYSTEMS RECEIVING RUNOFF FROM THIS SITE SHALL BE CLEANED OF DEBRIS. ONLY AT THIS TIME SHALL THE EROSION AND SEDIMENTATION CONTROL MEASURES BE REMOVED.
- CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN ACCORDANCE WITH PREPARED NYSDEC ACCEPTABLE PRACTICES AND CONTRACTOR SHALL PROVIDE APPROPRIATE TRAFFIC CONTROL MEASURES (FLAGGERS, SIGNS, ETC.) PER CITY OF WATERTOWN REQUIREMENTS.
- EXCAVATIONS AND TRENCHING SHALL BE PERFORMED IN ACCORDANCE WITH STATE OF NEW YORK INDUSTRIAL CODE, RULE 23, O.S.H.A. TITLE 29, PART 1926, NEW YORK STATE DEPARTMENT OF LABOR, TITLE 12, PART 23, AND ALL OTHER APPLICABLE SAFETY STANDARDS AND CODES.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE AWARE OF AND TO CONFORM WITH ALL RULES AND RESPONSIBILITIES ASSOCIATED WITH PROVIDING A SAFE WORK PLACE. THE CONTRACTOR MUST COMPLY WITH OSHA 29 CFR PART 1926, SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION.
- SITE DISTURBANCE IS NOT TO EXCEED 1 ACRE.
- ALL WORK TO BE PERFORMED WITHIN CITY OF WATERTOWN MARGIN WILL REQUIRE SIGNOFF FROM A PROFESSIONAL ENGINEER, LICENSED IN THE STATE OF NEW YORK, THAT THE WORK WAS BUILT ACCORDING TO THE APPROVED SITE PLAN AND APPLICABLE CITY OF WATERTOWN STANDARDS. COMPACTION TESTING WILL BE REQUIRED FOR ALL WORK TO BE PERFORMED IN THE CITY OF WATERTOWN MARGIN AND MUST BE SUBMITTED TO THE CITY OF WATERTOWN CODES DEPARTMENT.

PLANTING SCHEDULE				
COMMON NAME	ABBREV.	BOTANICAL NAME	SIZE	QTY.
TREES				
AUTUMN BLAZE MAPLE	ABM	ACER X FREEMANII 'AUTUMN BLAZE MAPLE'	2" CAL.	4
WHITE SPRUCE	WS	PICEA GLAUCA	5-6" B.B.	2

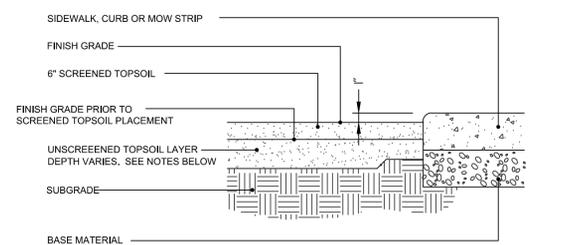
LANDSCAPING NOTES

- PLANT SPECIES WERE SELECTED TO GROW IN EXISTING SOIL CONDITIONS AND HARDINESS ZONES. PLANT SPECIES WERE ALSO CHOSEN ACCORDING TO GROWTH HABIT, SHAPE, SIZE, COLOR, FLOWER AND FALL COLOR. ANY SUBSTITUTIONS MUST BE REVIEWED BY THE LANDSCAPE ARCHITECT OR ARCHITECT.
- ALL PLANT MATERIAL SHALL BE THOROUGHLY WATERED BY THE CONTRACTOR AT THE TIME OF PLANTING.
- CONTRACTOR SHALL INSTALL WEED BARRIER FABRIC IN ALL LANDSCAPE BEDS.
- CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UNDERGROUND UTILITIES SHOWN ARE BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, FIELD MEASUREMENTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT UNDERGROUND UTILITIES CALL CENTER OF NEW YORK (1-800-962-7962) TO OBTAIN EXACT FIELD LOCATIONS OF ALL SUCH UTILITIES PRIOR TO START OF CONSTRUCTION.



RUN OF CRUSHER STONE - SHALL BE ANGULAR CRUSHED UNSORTED LIMESTONE, WELL GRADED WITH SUFFICIENT FINES TO FILL ALL VOIDS WHEN COMPACTED. GRADATION SHALL BE AS CALLED OUT IN SPECIFICATIONS.

1	TYPICAL PAVEMENT DETAIL	D153-01
C001	NOT TO SCALE	



NOTES:
 GRASSED AREAS - UNSCREENED TOPSOIL SHALL BE 8" IN DEPTH
 PLANTINGBED AREAS - UNSCREENED TOPSOIL SHALL BE 14" IN DEPTH
 TREE PLANTING AREAS - UNSCREENED TOPSOIL SHALL BE 20" IN DEPTH & 10" IN DIAMETER.

2	SOIL PROFILE - VARIOUS AREAS	D120-02
C001	NOT TO SCALE	

ABBREVIATIONS

- AC - ACRES
 BLDG - BUILDING
 BOT - BOTTOM
 BW - BOTTOM OF WALL
 C - CURVE
 CB - CATCH BASIN
 CF - CUBIC FEET
 CI - CAST IRON
 CL - CENTERLINE
 CO - CLEAN OUT
 CONC - CONCRETE
 CMP - CORRUGATED METAL PIPE
 CPP - CORRUGATED PLASTIC PIPE
 DA - DELTA ANGLE
 DA# - DRAINAGE AREA #
 DEMOD - ITEM REMOVED OR DEMOLISHED
 DI - DUCTILE IRON
 DIA - DIAMETER
 DWG - DRAWING
 E - EAST
 EG - EXISTING GRADE
 EL - ELEVATION
 ESC - EROSION & SEDIMENT CONTROL
 FF - FINISHED FLOOR
 FG - FINISH GRADE
 GV - GATE VALVE
 HDPE - HIGH DENSITY POLYETHYLENE PIPE
 HYD - HYDRANT
 IPF - IRON PIPE FOUND
 IPS - IRON PIPE SET
 INT - INTERSECTION
 INV - INVERT
 L - LENGTH
 LF - LINEAR FEET
 L - LINEAR FEET
 MAX - MAXIMUM
 MIN - MINIMUM
 N - NORTH
 NO./# - NUMBER
 NTS - NOT TO SCALE
 NYSDEC - NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION
 NYSDOT - NEW YORK STATE DEPARTMENT OF TRANSPORTATION
 NYSDOH - NEW YORK STATE DEPARTMENT OF HEALTH
 O.C. - ON CENTER
 OHW - OVERHEAD WIRE
 PC - POINT OF CURVATURE
 PCC - POINT OF COMPOUND CURVE
 PT - POINT OF TANGENCY
 PVC - POLYVINYL CHLORIDE PIPE
 R - RADIUS
 RCP - REINFORCED CONCRETE PIPE
 ROC - RUN OF CRUSHER
 ROW - RIGHT-OF-WAY
 S - SOUTH
 SAN - SANITARY
 SDR - STANDARD DIMENSION RATIO
 SNMH - SANITARY MANHOLE
 STMH - STORM MANHOLE
 SWPPP - STORM WATER POLLUTION PREVENTION PLAN
 TC - TIME OF CONCENTRATION
 TL - TANGENT LENGTH
 TYP - TYPICAL
 TW - TOP OF WALL
 TS & V - TAPPING SLEEVE & VALVE
 UNO - UNLESS NOTED OTHERWISE
 W - WEST

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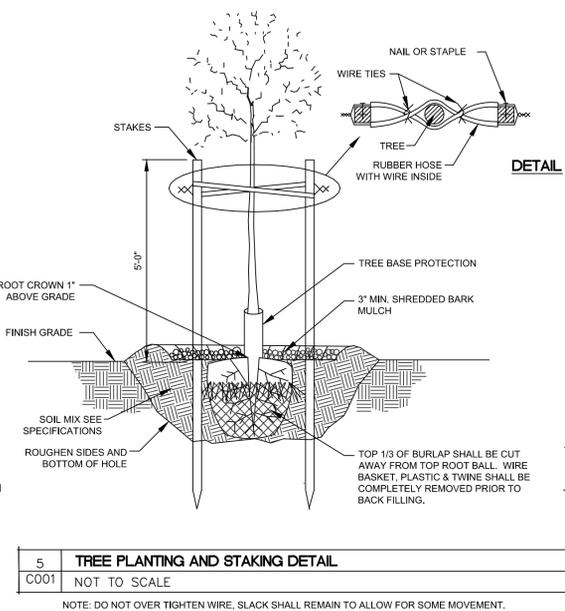
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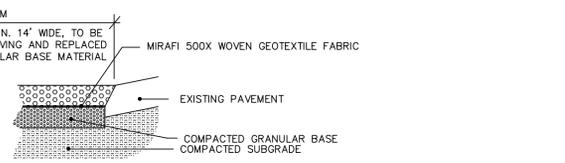


5 TREE PLANTING AND STAKING DETAIL
 C001 NOT TO SCALE

NOTE: DO NOT OVER TIGHTEN WIRE. SLACK SHALL REMAIN TO ALLOW FOR SOME MOVEMENT.

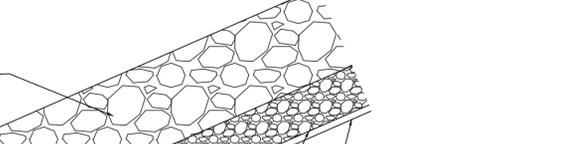
LANDSCAPING NOTES

- PLANT SPECIES WERE SELECTED TO GROW IN EXISTING SOIL CONDITIONS AND HARDINESS ZONES. PLANT SPECIES WERE ALSO CHOSEN ACCORDING TO GROWTH HABIT, SHAPE, SIZE, COLOR, FLOWER AND FALL COLOR. ANY SUBSTITUTIONS MUST BE REVIEWED BY THE ARCHITECT OR ENGINEER.
- ALL TREES SHALL ARRIVE ON SITE BEARING THE ORIGINAL IDENTIFICATION TAGS SHOWING THE BOTANICAL NAME, COMMON NAME AND SIZE.
- ALL TREES SHALL HAVE A MIN. 4" DIA. SHREDDED HARDWOOD MULCH RING AROUND THE BASE OF THE TREE.
- ALL LANDSCAPE BEDS SHALL HAVE WEED BARRIER FABRIC AND 3" MIN. DEEP SHREDDED HARDWOOD MULCH.
- ALL PLANT MATERIAL SHALL BE THOROUGHLY WATERED BY THE CONTRACTOR AT THE TIME OF PLANTING.
- CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UNDERGROUND UTILITIES SHOWN ARE BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, FIELD MEASUREMENTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT UNDERGROUND UTILITIES CALL CENTER OF NEW YORK (1-800-962-7962) TO OBTAIN EXACT FIELD LOCATIONS OF ALL SUCH UTILITIES PRIOR TO START OF CONSTRUCTION.



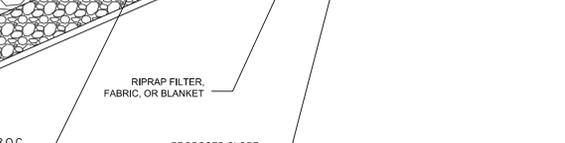
6 TYPICAL OFFSITE SEDIMENT TRACKING CONTROL (CONST. ENTRANCE)
 C001 NOT TO SCALE

D163-01



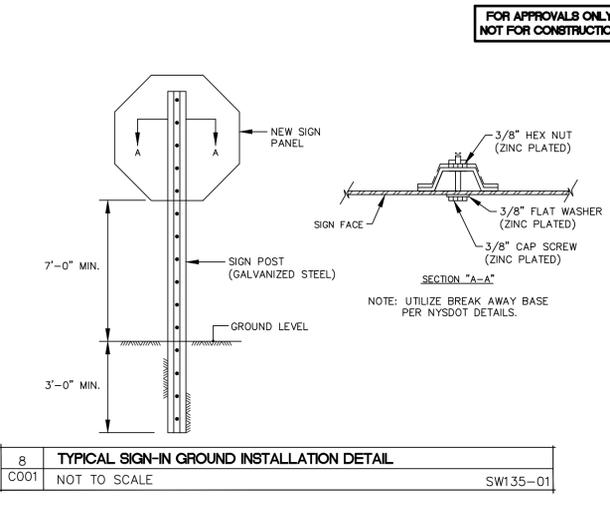
7 RIPRAP SLOPE DETAIL
 C001 NOT TO SCALE

PROPOSED SLOPE STEEPER THAN 3:1



10 CONCRETE APPROACH PAD DETAIL
 C001 NOT TO SCALE

D173-01



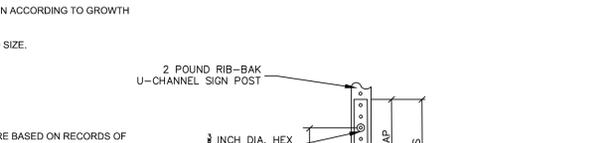
8 TYPICAL SIGN-IN GROUND INSTALLATION DETAIL
 C001 NOT TO SCALE

SW135-01

NOTE: UTILIZE BREAK AWAY BASE PER NYSDOT DETAILS.

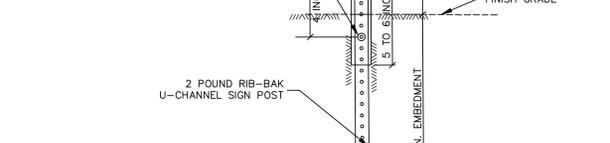
FOR APPROVALS ONLY NOT FOR CONSTRUCTION

BREAK-AWAY SIGN POST DETAIL



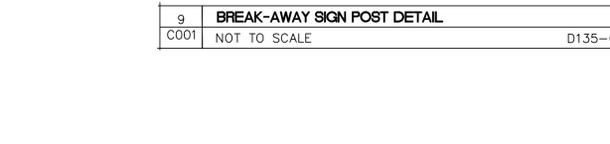
9 BREAK-AWAY SIGN POST DETAIL
 C001 NOT TO SCALE

D135-01



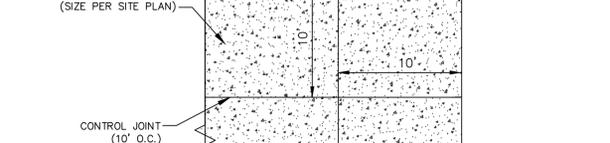
3 TYPICAL CHECK DAM DETAIL
 C001 NOT TO SCALE

D117-01



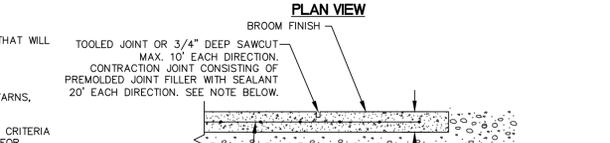
4 TYPICAL SILTATION FENCE DETAIL
 C001 NOT TO SCALE

D120-01



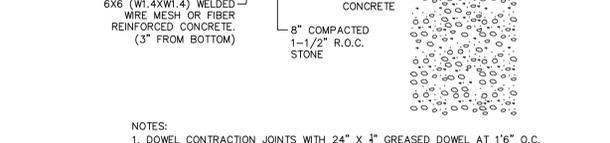
2 SOIL PROFILE - VARIOUS AREAS
 C001 NOT TO SCALE

D120-02



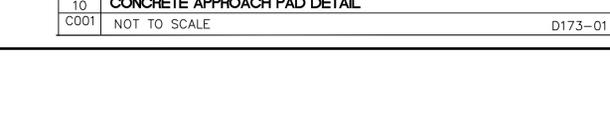
6 TYPICAL OFFSITE SEDIMENT TRACKING CONTROL (CONST. ENTRANCE)
 C001 NOT TO SCALE

D163-01



7 RIPRAP SLOPE DETAIL
 C001 NOT TO SCALE

PROPOSED SLOPE STEEPER THAN 3:1



10 CONCRETE APPROACH PAD DETAIL
 C001 NOT TO SCALE

D173-01

NOTE: 1. DOWEL CONTRACTION JOINTS WITH 24\"/>

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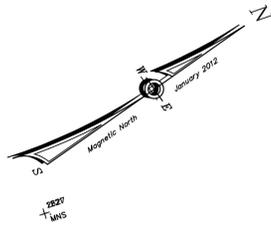


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GENERAL INFORMATION AND SITE DETAILS
 GUILFOYLE AMBULANCE
 FAICHNEY DRIVE
 CITY AND TOWN OF WATERTOWN, NY

Project No: 2011-218E
 Scale: As Noted
 Date: 8/22/2012
 Drawn By: THR
 Designed By: RGC/THR
 Checked By:
 Date Issued: 9/11/2012
 Drwg. No.

C001



DEED REFERENCE:
 (Quit Claim Deed)
 Sherwood Medical Company
 to
 Tyco Healthcare Group LP
 Liber 1706, Page 333
 Recorded November 30, 1999
 Area = 12.786 acres±

ABSTRACT REFERENCE:
 Jefferson Abstract Corporation
 Abstract of Title No. 17861
 Last Dated November 07, 2011

MAP REFERENCES:
 1. "Map of Land Surveyed for Fern Farquhar, Town of Watertown, Jefferson County, New York", dated May 15, 1997, prepared by LaFave, White & McGivern, L.S., P.C.

2. "Subdivision Final Plat, Toped Development, LLC, City of Watertown, Jefferson County, New York", dated December 02, 1996 and last revised November 14, 2003, prepared by LaFave, White & McGivern, L.S., P.C.

3. "ALTA/ACSM Land Title Survey, Map of Lands Surveyed for Home Depot U.S.A., Inc., Store No. 6174, City of Watertown, Jefferson County, New York", dated February 12, 2003 and last revised June 16, 2003, prepared by LaFave, White & McGivern, L.S., P.C.

4. "Map of a Portion of the Land Leased to Louis E. Wolfe & Roger B. Kennedy, Faichney Drive & Gaffney Drive, City of Watertown, County of Jefferson, State of New York", dated October 14, 1988, prepared by Peck & Gozalkowski.

NOTES:
 1. All adjoining are from the City of Watertown Assessment Office and the Jefferson County Real Property Assessment Office.

2. Subject parcel is City of Watertown Assessment Parcel No. 8-40-106 and Jefferson County Real Property Assessment Parcel No. 82.08-1-10.

3. There are no above ground obvious encroachments except as shown on this survey.

4. Faichney Drive is a 50 foot wide public street.

5. This survey was performed in January 2012 with substantial snow cover and is subject to any facts that would be disclosed by an unobstructed survey.

6. Underground facilities, structures and utilities have been plotted from available surveys and records, and therefore their locations must be considered approximate only. There may be other underground facilities, structures and utilities, the existence of which is presently not known and therefore not shown on this map. This map was in no way created for or is to be used for construction purposes.

7. Elevations shown are referenced to City of Watertown Datum based on a Benchmark found with an elevation of 447.12 feet as stated on map reference 3.

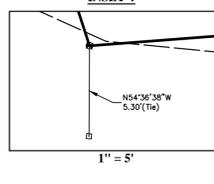
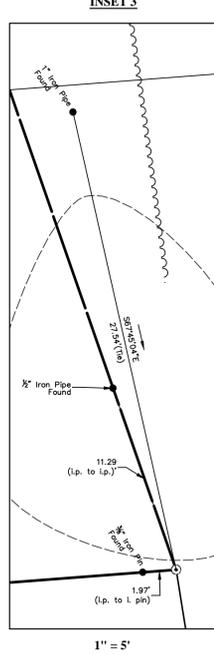
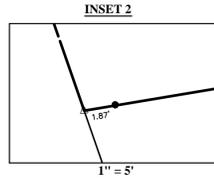
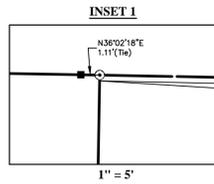
8. GYMO, P.C. has only performed topographic mapping of a portion of the subject premises.

CERTIFICATION:
 To: Community Bank, NA;
 Jefferson Abstract Corporation;
 Watertown Local Development Corporation;
 Wright Brothers, LLC;
 Old Republic National Title Insurance Company;
 James Heary, Attorney at Law, P.C.;
 Menter, Rudin & Trivelpiece, P.C.-

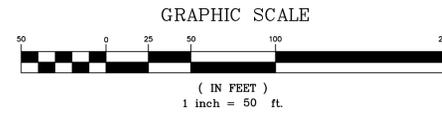
I hereby certify that to the best of my information, knowledge and belief this is a true and accurate map made from a true and accurate survey under my supervision.

Gregory F. Ashley, L.S. #50257, 2/10/2012

POINT OF BEGINNING



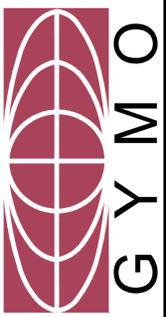
- LEGEND:**
- - 1/2" IRON PIPE WITH CAP SET
 - - IRON PIPE FOUND (As Noted)
 - ▲ - NAIL FOUND
 - - CONCRETE MONUMENT FOUND
 - - RAIL ROAD SPIKE FOUND
 - ⊕ - RAIL ROAD SPIKE SET
 - ⊙ - LIGHT POLE
 - ⊗ - GUY ANCHOR
 - ⊕ - GAS MARKER
 - ⊕ - FIRE HYDRANT
 - ⊕ - WATER VALVE
 - ⊕ - SANITARY SEWER MANHOLE
 - ⊕ - UTILITY POLE
 - W — UNDERGROUND WATER LINE
 - U — OVERHEAD UTILITY LINES
 - ST — STORM DRAIN LINE
 - CH — CHAIN LINK FENCE
 - C — CONCRETE CURB
 - E — EDGE OF PAVEMENT
 - I — INDEX CONTOUR
 - C — CONTOUR
 - X — WIRE FENCE LINE



REVISIONS:

NO.	DATE	DESCRIPTION	BY
03	June 14, 2012	Additional Certifications	S.J.G.
02	February 21, 2012	Additional Topographic Data Added	S.J.G.
01	February 10, 2012	Certification Added	S.J.G.

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 TEL: (518) 788-0600
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 & LAND SURVEYING, P.C.

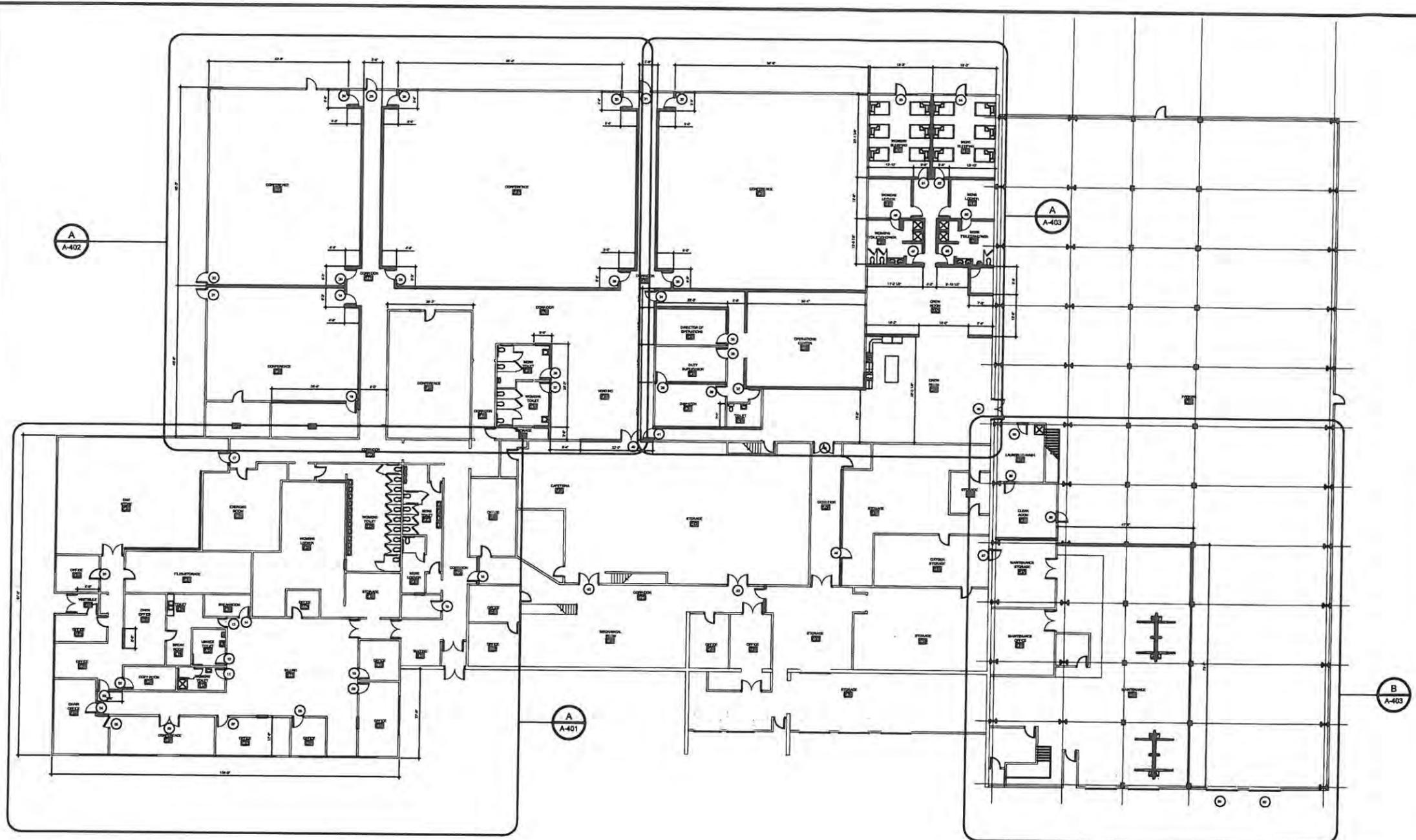
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ONLY BOUNDARY SURVEY MAPS WITH THE SURVEYOR'S SEAL AND ORIGINAL SIGNATURE ARE BEING FILED AND CORRECT COPIES OF THE SURVEYOR'S ORIGINAL WORK AND OPINION.

SURVEY MAP OF the LAND of
 TYCO HEALTHCARE GROUP LP
 FAICHNEY DRIVE
 TOWN of WATERTOWN
 COUNTY of JEFFERSON
 STATE of NEW YORK

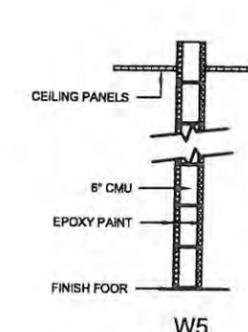
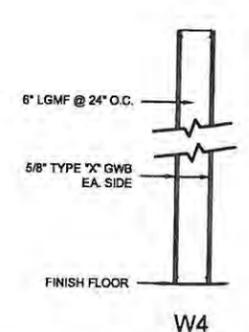
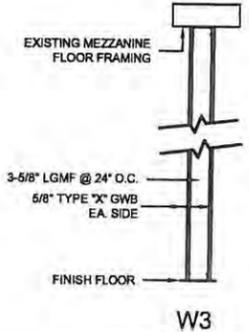
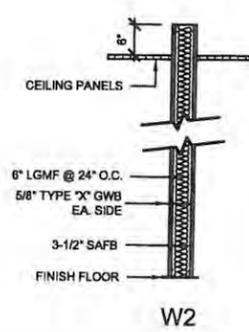
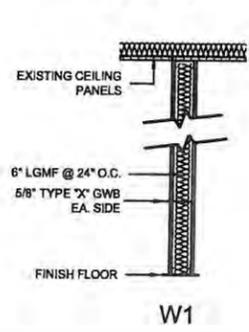
File No.: 2011-2185
 Scale: 1" = 50'
 Date: January 30, 2012
 Survey Date: 1/24-25/2012
 Drawn By: S.J.G.
 Checked By:
 Drwg. No.

SU101

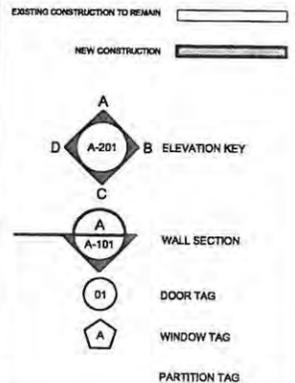


FLOOR PLAN
SCALE: 1/16"=1'-0"

WALL TYPES



- NOTES**
1. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL NEW AND EXISTING CONDITIONS AND DIMENSIONS AT THE JOB SITE FOR COMPARISON WITH THE DRAWINGS AND SPECIFICATIONS PRIOR TO BIDDING AND START OF AND DURING CONSTRUCTION. IF ANY DISCREPANCIES OR INCONSISTENCIES ARE FOUND, THE ARCHITECT SHALL BE NOTIFIED, IN WRITING FOR CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK.
 2. DO NOT SCALE DRAWINGS. THE CONTRACTOR SHALL RELY ON WRITTEN DIMENSIONS AS GIVEN. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATIONS.
 3. ABBREVIATIONS THROUGHOUT THE PLANS ARE THOSE IN COMMON USE. NOTIFY THE ARCHITECT OF ANY ABBREVIATIONS IN QUESTION.
 4. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE VARIOUS TRADE ITEMS WITHIN THE SPACE ABOVE ALL CEILINGS (INCLUDING, BUT NOT LIMITED TO: STRUCTURAL MEMBERS, MECHANICAL DUCTS AND INSULATION, CONDUITS, RACEWAYS, SPRINKLER SYSTEM, LIGHT FIXTURES, CEILING SYSTEMS, AND ANY SPECIAL STRUCTURAL SUPPORTS REQUIRED) AND SHALL BE RESPONSIBLE FOR MAINTAINING THE FINISH CEILING HEIGHT ABOVE THE FINISH FLOOR INDICATED IN THE DRAWINGS AND THE FINISH SCHEDULE. (CEILING HEIGHT DIMENSIONS ARE TO THE FINISH SURFACE OF CEILING).
 5. THE ARCHITECT SHALL BE NOTIFIED PRIOR TO CUTTING INTO AN EXISTING STRUCTURAL PORTION OF ANY BUILDING WHEN IT IS EITHER EXPEDIENT OR NECESSARY. PRIOR TO PROCEEDING WITH WORK, REINFORCEMENT AND/OR SUPPORT SATISFACTORY TO ARCHITECT AND STRUCTURAL ENGINEER SHALL BE PROVIDED BY CONTRACTOR PRIOR TO CUTTING INTO STRUCTURAL PORTIONS OF ANY BUILDING.
 6. ANY WORK INSTALLED IN CONFLICT WITH THE CONTRACT DOCUMENTS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS EXPENSE AND AT NO ADDITIONAL EXPENSE TO THE OWNER, ARCHITECT, OR THE CONSULTANTS.
 7. THE CONTRACTOR SHALL PROTECT ALL FINISH WORK AND SURFACES FROM DAMAGE DURING THE COURSE OF CONSTRUCTION AND SHALL REPLACE AND/OR REPAIR ALL DAMAGED SURFACES CAUSED BY THE CONTRACTOR OR SUBCONTRACTOR PERSONNEL TO THE SATISFACTORY OF THE OWNER AND ARCHITECT.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS.
 9. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACING, BACK-UP PLATES AND SUPPORTING BRACKETS REQUIRED FOR THE INSTALLATION OF ALL CASEWORK, TOILET ACCESSORIES AND OF ALL FLOOR-MOUNTED OR SUSPENDED MECHANICAL AND ELECTRICAL EQUIPMENT.
 10. DRAWINGS OF EXISTING CONDITIONS HAVE BEEN COMPILED FROM EXISTING DATA SUPPLIED BY THE OWNER TO THE ARCHITECT. THE ARCHITECT MAKES NO WARRANTY EITHER EXPRESSED OR IMPLIED, FOR THE ACCURACY OR COMPLETENESS OF THE EXISTING INFORMATION RECORDED.
 11. ALL EXISTING AND NEW WALLS SHALL RECEIVE A PAINT FINISH, ALL ROOMS SHALL RECEIVE FLOOR FINISHES AS NOTED.



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OVERALL FLOOR PLAN
BUILDING RENOVATIONS
986 FAICHNEY DR.
WATERTOWN, NEW YORK 13601

Project No: 2011-218
Scale: AS NOTED
Date: FEBRUARY 16, 2012
Drawn By: JBS
Checked By: CHECKED
Approved By:
Dwg. No: **A-101**