

**CITY OF WATERTOWN  
SITE PLAN WAIVER  
AND  
SHORT ENVIRONMENTAL  
ASSESSMENT FORM, PART 1**

\*\* Provide responses for all sections. INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED. Failure to submit required information by the submittal deadline will result in **not** making the agenda for the upcoming Planning Board meeting.

**PROPERTY LOCATION**

Proposed Project Name: Sunoco - Washington Street  
Tax Parcel Number: 14-13-201.000  
Property Address: 1222 Washington Street  
Existing Zoning Classification: NB & Residence A

**OWNER OF PROPERTY**

Name: Sunoco, Inc. - Tom Boje  
Address: 1840 Lyell Avenue  
Rochester, NY 14606  
Telephone Number: 585-254-8626  
Fax Number: TBoje@sunocoinc.com

**APPLICANT**

Name: Sunoco, Inc. - Tom Boje  
Address: 1840 Lyell Avenue  
Rochester, NY 14606  
Telephone Number: 585-254-8626 / 585-490.9200  
Fax Number: 1.866.457.6136  
Email Address: TBoje@sunocoinc.com

**ENGINEER / ARCHITECT / LAND SURVEYOR**

Name: Bergmann Associates - Brian Burri  
Address: 28 East Main Street - Suite 200  
Rochester, NY 14614  
Telephone Number: 585-232-5137, ext. 411  
Fax Number: \_\_\_\_\_  
Email Address: bburri@bergmannpc.com

**PROJECT DESCRIPTION**

Describe project and proposed use briefly:

The project will consist of expanding the existing  
1,568 sf convenience store building to the north and  
to the south. The expansion to the north will be 337 sf.  
The expansion to the south will be 171 sf.

Proposed building area: 1<sup>st</sup> Floor 2,076 Sq. Ft.  
2<sup>nd</sup> Floor \_\_\_\_\_ Sq. Ft.  
3<sup>rd</sup> Floor \_\_\_\_\_ Sq. Ft.  
Total \_\_\_\_\_ Sq. Ft.

Area of building to be used for the boiler room, heat facilities, utility facilities  
and storage: 220 +/- SF Sq. Ft.

Number of parking spaces proposed: 13 spaces will be striped within  
paved area.

Construction Schedule: Spring 2014

Hours of Operation: 24

Volume of traffic to be generated: There will not be an increase  
to the existing traffic volumes ADT

## REQUIRED DRAWINGS:

\*\* The following drawings with the listed information **ARE REQUIRED, NOT OPTIONAL**. If the required information is not included and/or addressed, the Site Plan Application will **not** be processed.

**ELECTRONIC COPY OF ENTIRE SUBMISSION** (PDF preferred)

**SITE PLAN SKETCH**

- Pertinent existing above ground features are shown and labeled including, but not limited to, buildings, parking spaces, driveways, sidewalks, streets etc.
- All proposed above ground features are shown and clearly labeled "proposed".
- Land use, zoning, & tax parcel number are shown.
- The Plan is adequately dimensioned including radii.
- All vehicular & pedestrian traffic circulation is shown.
- Proposed parking & loading spaces including ADA accessible spaces are shown and labeled.
- Refuse Enclosure Area (Dumpster), if applicable, is shown. Section 161-19.1 of the Zoning Ordinance states, "No refuse vehicle or refuse container shall be parked or placed within 15 feet of a party line without the written consent of the adjoining owner, if the owner occupies any part of the adjoining property".
- The north arrow & graphic scale are shown.

**GENERAL INFORMATION**

- Signage will not be approved as part of this submission. It requires a sign permit from the Codes Department. See Section 310-52.2 of the Zoning Ordinance.
- Plans have been collated and properly folded.
- Explanation for any item not checked in the Site Plan Waiver Checklist.  
(Attach separate sheet with explanation and comments)

## SIGNATURE

I certify that the information provided above is true to the best of my knowledge.

Applicant (please print) Thomas C. Boje

Applicant Signature Thomas C. Boje Date: 9/3/13

# PROPOSED BUILDING ADDITION SUNOCO/A-PLUS



**Store #0364-0117**

1222 Washington Street  
City of Watertown, NY  
Jefferson County

## INDEX OF DRAWINGS

DRAWING NO.	TITLE
C-1	COVER SHEET
SV-1	EXISTING CONDITIONS
D-1	DEVELOPMENT PLAN - PROPOSED CONDITIONS
G-1	GRADING/EROSION CONTROL PLAN
DE-1	MISCELLANEOUS DETAILS
DE-2	MISCELLANEOUS DETAILS



LOCATION MAP 

## PREPARED FOR

SUNOCO, INC.  
1840 LYELL AVENUE  
ROCHESTER, NY 14606



## PREPARED BY

 **Bergmann**  
associates  
architects // engineers // planners

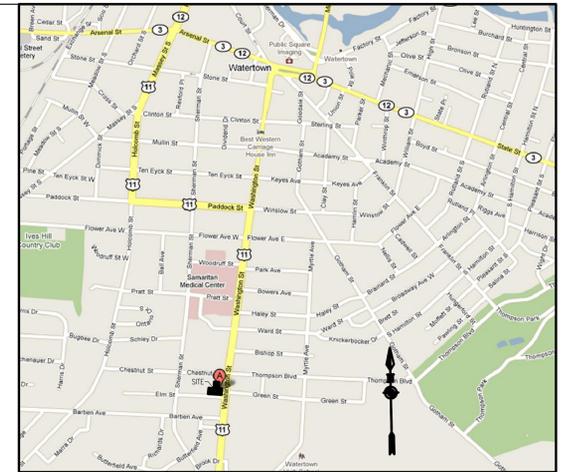
28 East Main Street  
200 First Federal Plaza  
Rochester, New York 14614-1909

office: 585.232.5135  
fax: 585.232.4652

www.bergmannpc.com

September 16, 2013

**C-1**



SITE LOCATION MAP  
NOT TO SCALE

REFERENCES:

- EXISTING CONDITIONS AND DEMOLITION PLAN, (PROJ. #55023), DRAWING NO. DM-1, DATED 2-10-95.
- TITLE INSURANCE POLICY PREPARED BY COMMONWEALTH LAND TITLE COMPANY (POLICY NO. G-712116, DATED 10/11/85).

NOTES:

- THE UTILITIES SHOWN HEREON ARE BASED ON AN INSTRUMENT LOCATION OF THE ABOVE GROUND FEATURES (MANHOLES, VALVES, HYDRANTS, ETC.). THE UNDERGROUND UTILITIES (WATER LINES, GAS LINES, ETC.) ARE BASED ON THE ABOVE GROUND FEATURES AND RECORD MAPPING. UNDERGROUND UTILITIES ARE NOT CERTIFIED TO THEIR LOCATION OR COMPLETENESS.

LEGEND

- BOLLARD/POST
- CABLE JUNCTION BOX
- ☼ CONIFEROUS BUSH
- CONIFEROUS TREE
- DECIDUOUS BUSH
- DECIDUOUS TREE
- ⊕ DRILL HOLE
- ⊞ ELECTRICAL PULL BOX
- ⊞ ELECTRICAL METER
- ⊞ GAS METER
- ⊞ LIGHTPOLE (ONE HEAD)
- ⊞ MONITORING WELL
- ⊞ ONE POST SIGN
- ⊞ REBAR (FOUND)
- ⊞ PIPE (FOUND)
- ⊞ TWO POST SIGN
- ⊞ UTILITY POLE
- ⊞ CATCH BASIN
- ⊞ DRAINAGE MANHOLE
- ⊞ ELECTRIC MANHOLE
- ⊞ GUY WIRE
- ⊞ HYDRANT
- ⊞ SANITARY MANHOLE
- ⊞ VENT PIPE
- ⊞ WATER VALVE
- OVERHEAD ELECTRIC
- UNDERGROUND ELECTRIC
- CHAINLINK FENCE
- GUIDERAIL
- UNDERGROUND GAS LINE
- PARCEL BOUNDARY
- ADJOINING PARCEL BOUNDARY
- SANITARY SEWER LINE
- STORM/DRAINAGE LINE
- UNDERGROUND TELEPHONE
- MAJOR CONTOUR (5' INTERVAL)
- MINOR CONTOUR (1' INTERVAL)
- UNDERGROUND WATER LINE



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Engineers / Architects / Planners / Surveyors

KEVIN M. SULLIVAN  
L.S. No. 49963

DATE

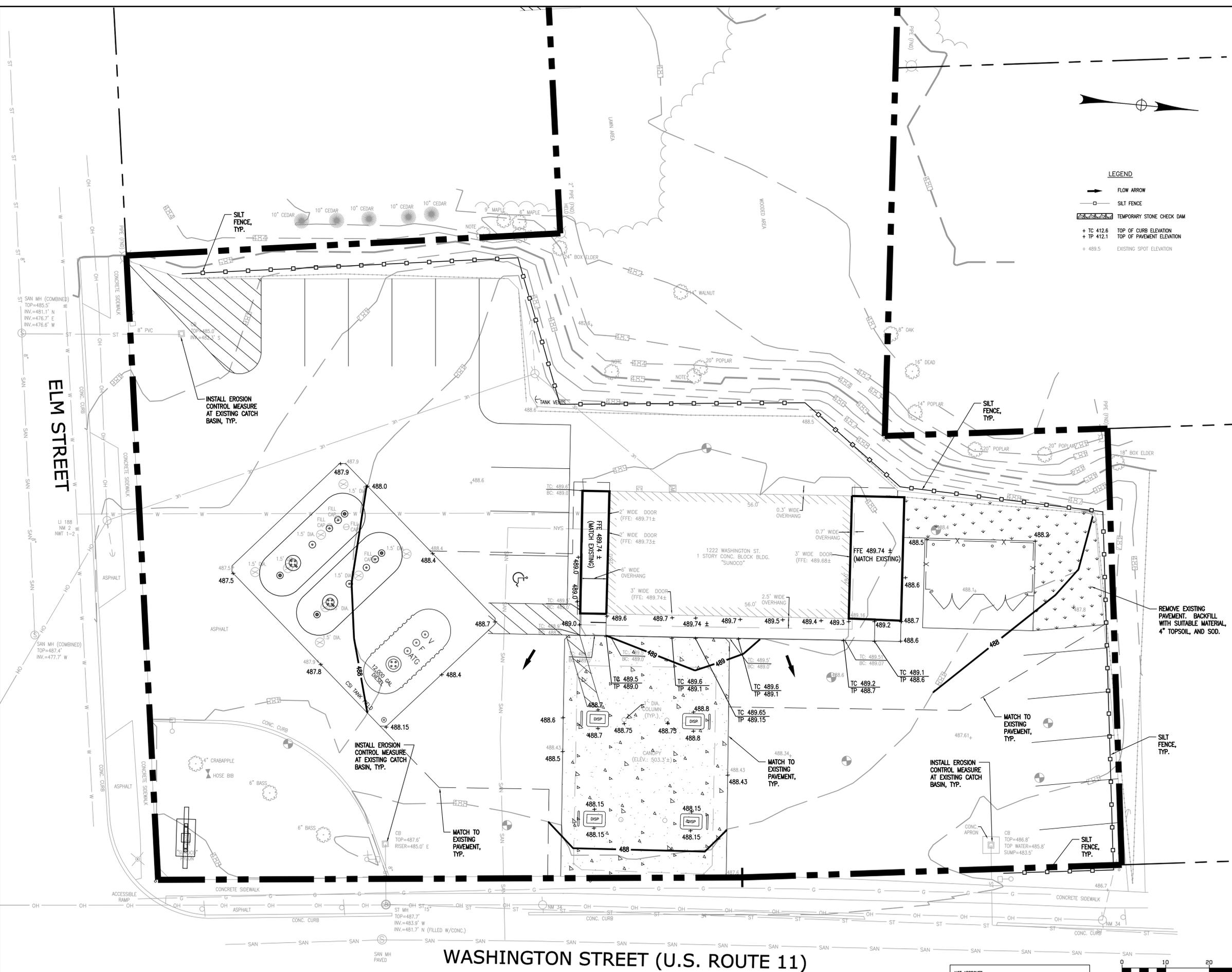


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REV. NO.	DATE	REVISIONS	DRAWN BY	CHK'D BY	APP'VD.
<b>SUNOCO, INC.</b> <b>Retail Engineering</b> <b>Lester, PA</b>					
LOCATION: 1222 Washington Street Watertown, NY Jefferson County			PROJECT NO.		
EXISTING CONDITIONS					
APPROVED	FACILITY NO.	DRAWING NO.	SCALE 1" = 20'-0"		
CHECKED K. Sullivan	0364-0117	SV-1			
DRAWN T. Bot					
DATE 9/22/10					

Sunoco\6400 Watertown\3-D Draft\3.2 Survey\100\100\0117\0117\_0117\0117.dwg





- GRADING NOTES:**
1. REMOVE AND STOCKPILE TOPSOIL AS DIRECTED BY THE CONSTRUCTION MANAGER. REPLACE TOPSOIL TO A MINIMUM 6" DEPTH. ALL DISTURBED AREAS TO BE HYDROSEED AS DIRECTED BY THE CONSTRUCTION MANAGER.
  2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REMOVAL OF TEMPORARY SEDIMENTATION CONTROLS, CHECK DAMS, FILTER BAGS AND SILT FENCE. EROSION CONTROL MEASURES SHALL NOT BE REMOVED BEFORE VEGETATION HAS OCCURRED COMPLETELY.
  3. ALL SILT FENCE TO BE REPLACED WHENEVER THEY BECOME CLOGGED OR INOPERABLE AND SHALL BE REPLACED AT A MINIMUM OF EVERY 3 MONTHS.
  4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORATION OF TOPSOIL TO ALL DISTURBED AREAS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN EROSION CONTROL MEASURES AT ALL TIMES.
  5. EROSION CONTROL MEASURES WILL BE IMPLEMENTED IN ACCORDANCE WITH THE NEW YORK STATE GUIDELINES FOR URBAN EROSION SEDIMENT CONTROL MANUAL, HEALTH DEPARTMENT, AND THE CITY OF WATERTOWN REQUIREMENTS.
  6. ALL INLETS TO THE STORM SEWER SHALL HAVE STONE DROP INLET PROTECTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE BEST MANAGEMENT PRACTICES(BMP'S) UNTIL GROUND COVER IS ESTABLISHED.
  7. SILT FENCE, JUTE MESH, AND/OR EROSION CONTROL BLANKETS WILL BE USED ON STEEP SLOPES AND WHEREVER NECESSARY TO CONTROL EROSION AND SILTATION OF EXISTING DRAINAGE SYSTEMS AS ORDERED BY THE ENGINEER OR SPECIFIED ON PLANS.
  8. THE CONTRACTOR SHALL DESIGNATE A MEMBER OF HIS/HER FIRM TO BE RESPONSIBLE TO MONITOR EROSION CONTROL, EROSION CONTROL STRUCTURES, TREE PROTECTION AND PRESERVATION THROUGHOUT CONSTRUCTION.
  9. ALL DISTURBED AREAS SHALL BE PROTECTED FROM EROSION EITHER BY MULCH OR TEMPORARY SEEDING WITHIN 2 WEEKS OF DISTURBANCE.

- LEGEND**
- FLOW ARROW
  - SILT FENCE
  - ▬ TEMPORARY STONE CHECK DAM
  - + TC 412.6 TOP OF CURB ELEVATION
  - + TP 412.1 TOP OF PAVEMENT ELEVATION
  - + 489.5 EXISTING SPOT ELEVATION

- EROSION CONTROL NOTES:**
1. ALL SITE WORK SHALL CONFORM TO THE CLEARING, STRIPPING AND EROSION CONTROL REQUIREMENTS OF THE NYSDEC AND THE CITY OF WATERTOWN.
  2. CONTRACTOR TO PROVIDE, INSTALL AND MAINTAIN ALL REQUIRED EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION. EROSION CONTROL DEVICES TO BE ESTABLISHED PRIOR TO COMMENCING EARTHWORK.
  3. DISTURBED AREAS SHALL BE AS SMALL AS PRACTICAL, AND SHALL BE RESTORED, IMPROVED OR TEMPORARILY STABILIZED AS SOON AS POSSIBLE.
  4. CONTRACTOR SHALL TAKE THE NECESSARY MEASURES, INCLUDING WATER SPRINKLING, TO PROVIDE DUST CONTROL DURING CONSTRUCTION.
  5. CONTRACTOR SHALL PREVENT SEDIMENTS FROM ENTERING UTILITIES. ALL MANHOLES, CURB INLETS, FIELD INLETS, END SECTIONS OR OTHER SIMILAR DRAINAGE INLET STRUCTURES SHALL BE PROTECTED FROM SILTATION BY INSTALLING FILTER FABRIC AND/OR CRUSHED STONE.
  6. SILT FENCE SEDIMENT BARRIERS SHALL BE INSTALLED PRIOR TO ANY GRADING WORK ALONG THE LIMITS OF DISTURBANCE AND SHALL BE MAINTAINED FOR THE DURATION OF THE WORK. NO SEDIMENT FROM THE SITE SHALL BE PERMITTED TO WASH OFF-SITE.

- SEQUENCE OF CONSTRUCTION:**
- A. PRE-CONSTRUCTION MEETING HELD BY PROJECT MANAGER AND THE OPERATOR'S ENGINEER PRIOR TO LAND DISTURBING ACTIVITIES
  - B. CLEARLY IDENTIFY PROJECT WORK LIMITS IDENTIFYING ALL AREAS WHERE CONSTRUCTION DISTURBANCE SHALL NOT BE PERMITTED INCLUDING, BUT NOT LIMITED TO, BUFFER AREAS, WETLANDS, SELECT TREES AND ADJOINING PROPERTIES.
  - C. INSTALL TREE PROTECTION AND PERIMETER EROSION CONTROL MEASURES. CONSTRUCT TEMPORARY EARTH DAMS, SEDIMENT TRAP, SEDIMENT CONTROL CHECK DAMS AND ASSOCIATED EROSION AND SEDIMENT CONTROL MEASURES AS NECESSARY TO DIVERT RUNOFF FROM ENTERING AREAS OF PLAN.
  - D. ESTABLISH EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO COMMENCING EARTHWORK OPERATIONS.
  - E. REMOVE AND DISPOSE OF ALL REMOVED VEGETATION OFF-SITE OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
  - F. STRIP AND STOCKPILE TOPSOIL FROM STRUCTURAL FILL AND CUT AREAS (STOCKPILE LOCATIONS AS DIRECTED BY OWNER'S REPRESENTATIVE).
  - G. ESTABLISH MARS GRADE ELEVATIONS.
  - H. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AS WELL AS STOCK PILES ARE TO BE MULCHED AND SEEDED FOR TEMPORARY VEGETATIVE COVER IMMEDIATELY FOLLOWING GRADING.
  - I. CONSTRUCT STORM WATER MANAGEMENT FEATURES.
  - J. CONSTRUCT UTILITIES AND INFRASTRUCTURE IMPROVEMENTS.
  - K. FINE GRADE AND SPREAD TOPSOIL, INSTALL LANDSCAPING, SITE AMENITIES AND PERMANENT SEEDING.
  - L. REMOVE TEMPORARY EROSION AND SEDIMENT CONTROL FEATURES UPON ESTABLISHMENT OF PERMANENT GROUND COVER.
  - M. NOTIFY OWNER'S REPRESENTATIVE OF COMPLETION OF FINAL SITE STABILIZATION.
- THE ACTUAL SCHEDULE FOR IMPLEMENTING POLLUTANT CONTROL MEASURES WILL BE DETERMINED BY PROJECT CONSTRUCTION PROCESS AND THE CONTRACTOR WILL HAVE THE OPPORTUNITY TO VARY FROM THE SCHEDULE AS NECESSARY. ARRANGEMENT OF THESE ACTIVITIES ANOTHER WAY MAY BE REQUIRED TO MAINTAIN SATISFACTORY EROSION AND SEDIMENT CONTROL.



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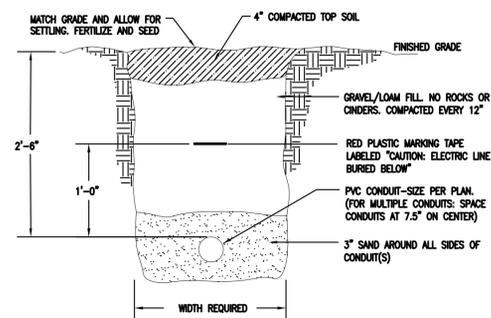
REV. NO.	DATE	REVISIONS	DRAWN BY	CHK'D. BY	APP'D.
<b>SUNOCO, INC.</b> <b>Retail Engineering</b> <b>Lester, PA</b>					
LOCATION: 1222 Washington Street Watertown, NY Jefferson County			PROJECT NO.		
<b>GRADING/EROSION CONTROL PLAN</b> SCALE 1" = 10'-0"					
APPROVED	FACILITY NO.	DRAWING NO.	REV. NO.		
CHECKED B. Burri	0364-0117	G-1	0		
DRAWN T. Bolt					
DATE 9/16/13					

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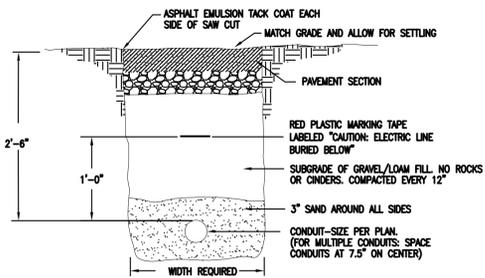
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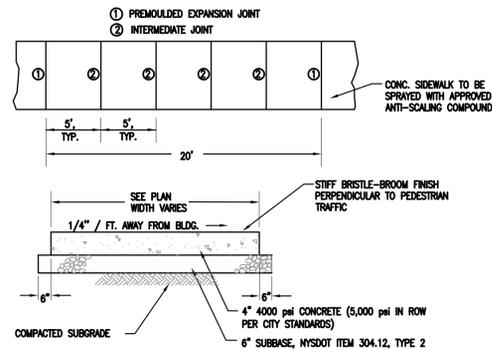
**WASHINGTON STREET (U.S. ROUTE 11)**



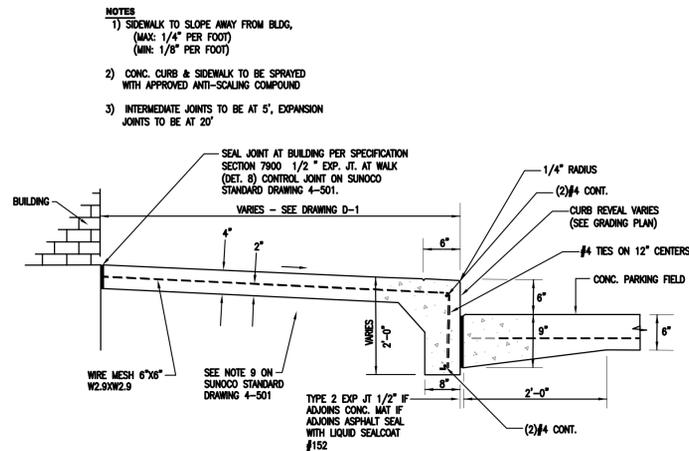
**ELECTRICAL CONDUIT TRENCH IN GRASS**  
NO SCALE



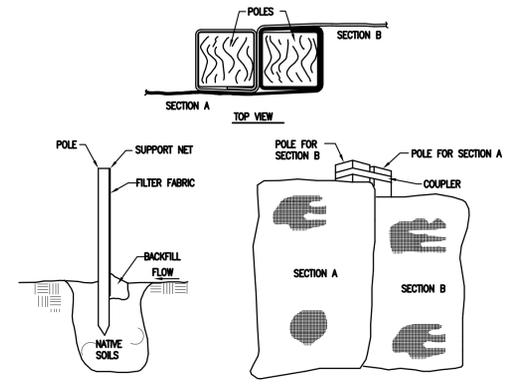
**ELECTRICAL CONDUIT TRENCH IN PAVEMENT**  
NO SCALE



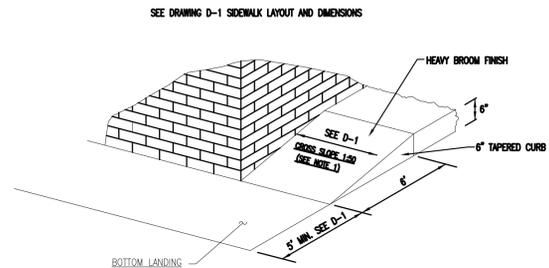
**CONCRETE SIDEWALK SECTION**  
NO SCALE



**SIDEWALK AND CURB ADJOINING DRIVEWAY**  
NO SCALE

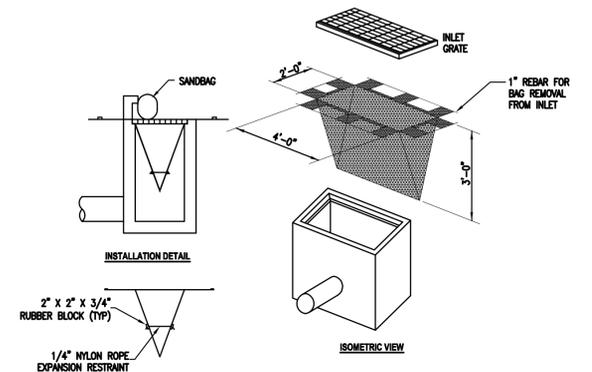


**SILT FENCE INSTALLATION DETAIL**  
NO SCALE

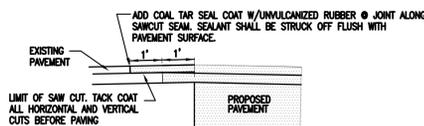


**ACCESSIBLE RAMP DETAIL @ BUILDING**  
NO SCALE

- NOTES**
- HC LANDING:
- 1) GRADING
  - A) BOTTOM LANDING AREA, CROSS SLOPE AND RUNNING SLOPE NOT TO EXCEED 1:50 (2%).
- HC SIDEWALK RAMP NOTES:
- 1) CROSS SLOPE SHALL NOT EXCEED 1:50 (2%).
  - 2) RUNNING SLOPE SHALL NOT EXCEED 1:12 (8.33%), SLOPE OF CURB TO FOLLOW RAMP.
  - 3) MAXIMUM SLOPE ON SIDEWALK CURB RAMP FLARE SHALL NOT EXCEED 1:10 (10%).
- HC SIDEWALK NOTES:
- 1) SIDEWALKS AND ACCESSIBLE PATHS:
    - A) CROSS SLOPE SHALL NOT EXCEED 1:50 (2%).
    - B) RUNNING SLOPE SHALL NOT EXCEED 1:20 (5%).

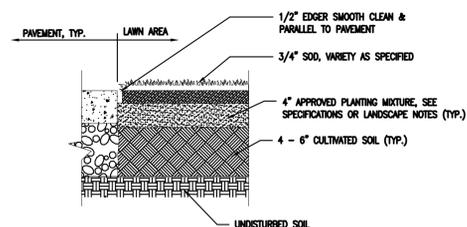


**FILTER BAG INLET PROTECTION**  
NO SCALE



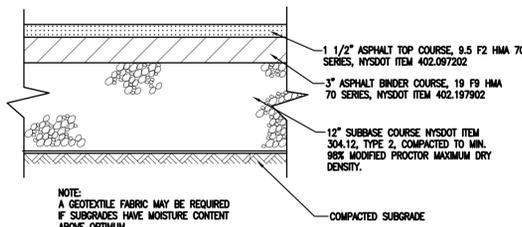
**SHEAR STEP DETAIL**  
NO SCALE

- NOTES:**
1. IN AREAS WHERE THE EXISTING ASPHALT BASE COURSE IS INADEQUATE FOR THE SHEAR STEP, THE EXISTING TOP COURSE SHALL BE SAWCUT ONE FOOT WIDE.
  2. DEPTH OF SAWCUT SHALL BE DETERMINED ONCE THE PAVEMENT CROSS SECTION HAS BEEN EXPOSED.
  3. CAP ALL SEAMS BETWEEN NEW AND EXISTING PAVEMENT WITH UNVULCANIZED RUBBER SEAL COAT, STRIKE OFF SEAMS FLUSH W/PAVEMENT.

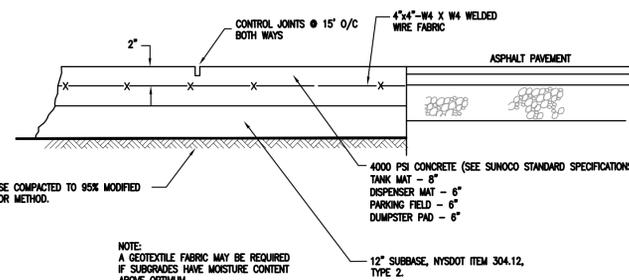


- SODDING PROCEDURE:**
1. CULTIVATE ENTIRE AREA TO 4"-6" DEPTH. HANDRAKE SMOOTH. SPREAD 4" OF TOPSOIL.
  2. APPLY ANY SOIL MODIFICATIONS AS NECESSARY (SEE SPECIFICATIONS OR LANDSCAPE NOTES).
  3. WATER AREA TO BE SODDED PRIOR TO LAYING SOD.
  4. LAY AND ROLL SOD AND WATER THOROUGHLY.
  5. SOD IS TO BE INSTALLED SUCH THAT TOP OF SOIL AND ROOT LAYER IS LEVEL WITH THE TOP OF PAVEMENT.
  6. DO NOT LAY DORMANT SOD OR INSTALL SOD ON FROZEN OR SATURATED SOIL.
  7. DO NOT OVERLAY EDGES.

**SOD INSTALLATION DETAIL**  
NO SCALE



**TYPICAL ASPHALT PAVEMENT SECTION**  
NO SCALE



**TYPICAL HEAVY DUTY CONCRETE PAVING**  
NO SCALE

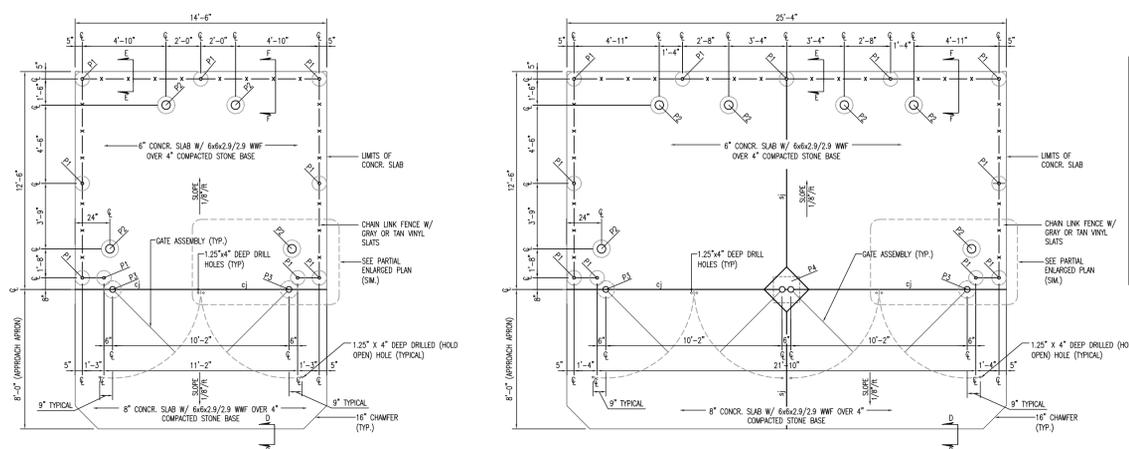
- NOTES:**
1. SEE SUNOCO STANDARD DRAWINGS FOR EXPANSION JOINT DETAILS.
  2. THIS DETAIL IS FOR CONCRETE PAVEMENT AND FOR EXTERIOR CONCRETE SLABS.
  3. FOR CANOPY, TANK MATS, AND CONCRETE PARKING AREAS, USE CONCRETE SEAL COAT WITH W.R. MEADOWS VOOOMP-30 PER MANUFACTURER'S INSTALLATION PROCEDURES.
    - A. FOR NEW CANOPY, TANK MATS, AND CONCRETE PARKING, APPLY TWO COATS. FOR WALKWAYS APPLY ONE COAT.
    - B. FOR EXISTING CONCRETE SEALER INSTALLATION, CONCRETE MUST BE CLEAN AND DRY (REMOVE ALL OIL, GREASE, AND DIRT) PRIOR TO INSTALLATION.

NOT APPROVED:  
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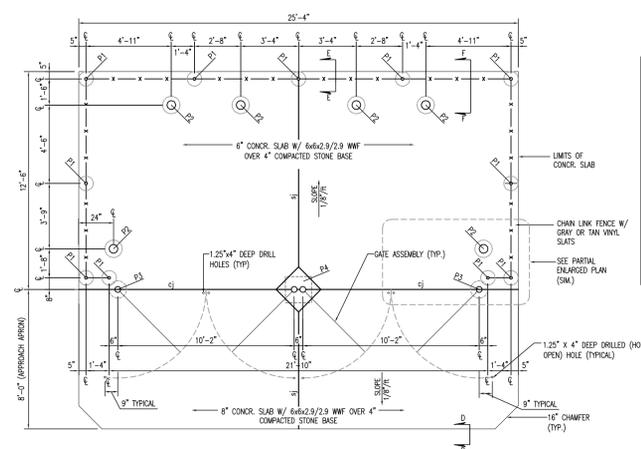
REV. NO.	DATE	REVISIONS	DRAWN BY	CHK'D BY	APP'VD.
<b>SUNOCO, INC.</b> Retail Engineering Lester, PA					
LOCATION: 1222 Washington Street Watertown, NY Jefferson County			PROJECT NO.		
MISCELLANEOUS DETAILS					
APPROVED		FACILITY NO.	DRAWING NO.	SCALE	REV. NO.
CHECKED: B. Burt		0364-0117	DE-1	As Noted	0
DRAWN: T. Bot		DATE: 9/16/13			

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associates

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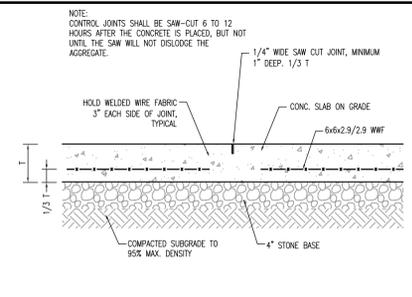
**ENCLOSURE PLAN - SINGLE**  
NOT TO SCALE



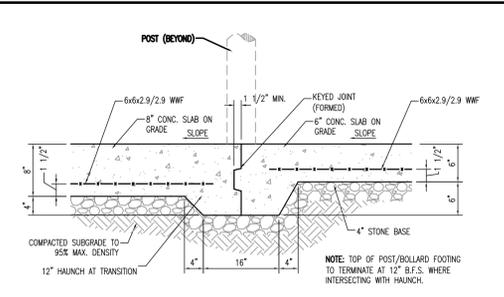
**ENCLOSURE PLAN - DOUBLE**  
NOT TO SCALE

MARK	PIPE SIZE	FOOTING SIZE	FOOTING DEPTH	REMARKS	PIPE HEIGHT
P1	2" DIA.	10" DIA.	36" B.F.S.	SEPARATE POUR, UNPAINTED, GALVANIZED	6'-0" MIN. A.F.S.
P2	6" DIA.	12" DIA.	36" B.F.S.	SEPARATE POUR, PAINTED SAFETY YELLOW	4'-0" A.F.S.
P3	4" DIA.	12" DIA.	48" B.F.S.	SEPARATE POUR, PAINTED GRAY OR TAN	6'-3" A.F.S.
P4	2x4" DIA.	18"x18" SQ.	48" B.F.S.	SEPARATE POUR, PAINTED GRAY OR TAN	6'-3" A.F.S.

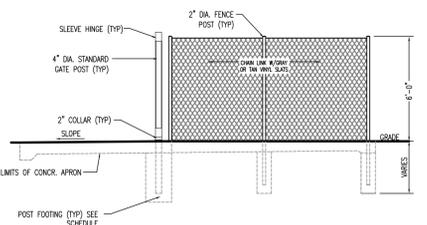
NOTES:  
 1. ALL FOOTINGS OR 18" SONOTUBE SHALL REST ON VIRGIN SOILS OR ENGINEERED FILL.  
 2. B.F.S. = BELOW FINISH SLAB.  
 3. VERIFY APRON CONSTRUCTION WITH FINAL LAND DEVELOPMENT PLANS.  
 4. ALL BOLLARDS SHALL BE GROUDED SOLID WITH DOWED TOPS.  
 5. ALL POSTS SHALL BE GROUDED SOLID WITH FLAT TOPS.  
 6. ALL PIPE TO BE STANDARD STEEL EXCEPT CHAIN LINK FENCE POST (FENCE POSTS TO BE GALVANIZED).  
 7. ALL BOLLARD MATERIALS MUST BE COMPACTED TO 95% MAX. DENSITY.  
 8. FOR 3" OR MORE GATES, ADD P4 POSTS AND FOUNDATIONS AS NECESSARY.  
 9. CHAIN LINK FENCE IS TO BE WITH GRAY OR TAN VINYL SLATS.  
 10. COLOR IS DEPENDENT ON ARCHITECTURAL DRAWINGS. TAN OR GRAY IS TO MATCH BUILDING COLOR AS CLOSE AS POSSIBLE.  
 11. (B)TREN PLANKING TO BE TREX ACCENTS - TAN "SADDLE" OR "WINCHESTER GRAY" OR EQUAL.



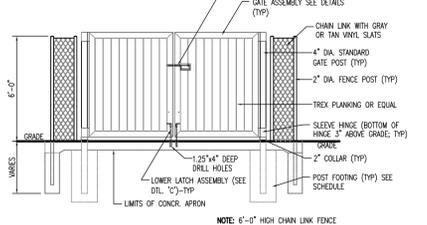
**TYPICAL SAW JOINT DETAIL (sj)**  
SCALE: NONE



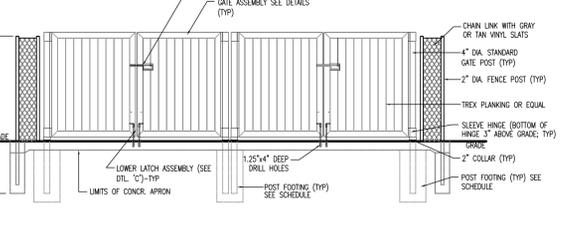
**TYPICAL CONTROL JOINT DETAIL (cj)**  
SCALE: NONE



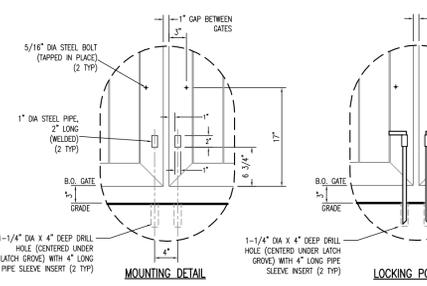
**ENCLOSURE ELEVATION - SIDE (TYP)**  
NOT TO SCALE



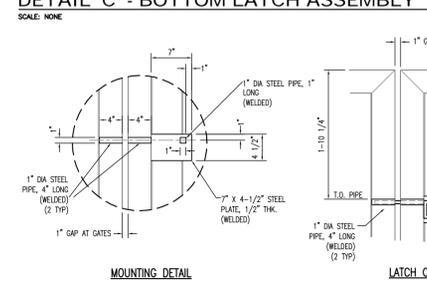
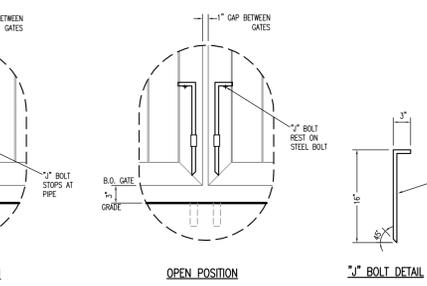
**ENCLOSURE ELEVATION - SINGLE**  
NOT TO SCALE



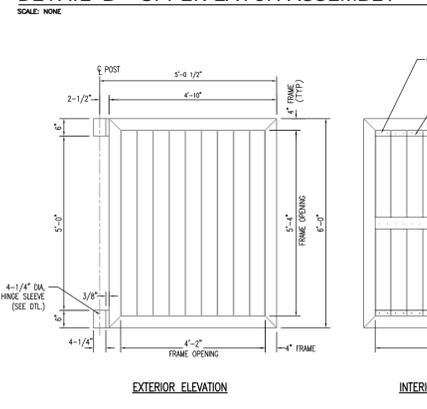
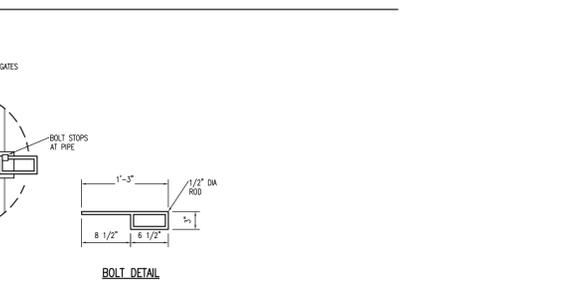
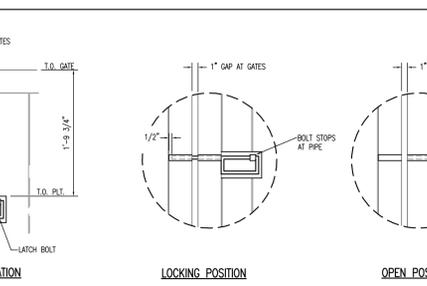
**ENCLOSURE ELEVATION - DOUBLE**  
NOT TO SCALE



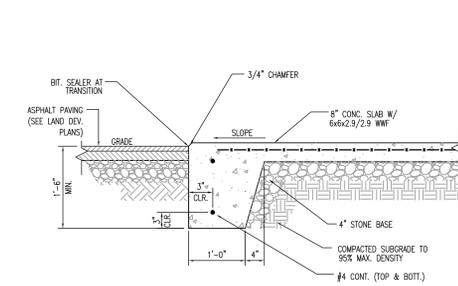
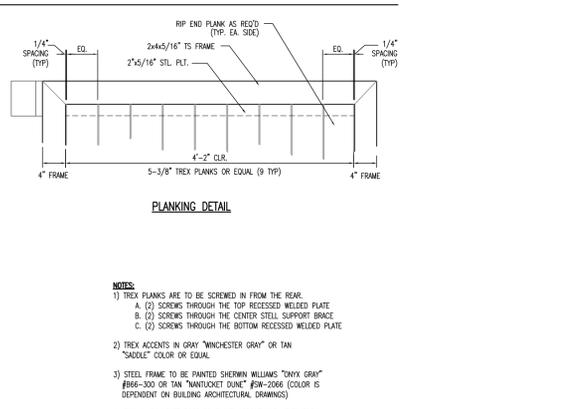
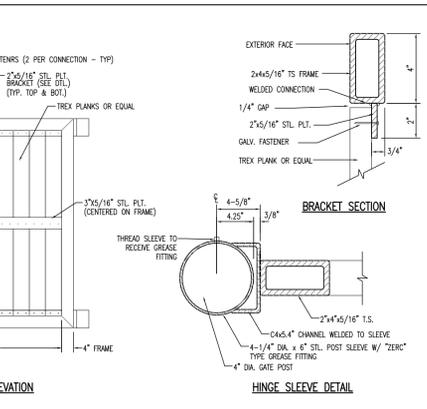
**DETAIL 'C' - BOTTOM LATCH ASSEMBLY**  
SCALE: NONE



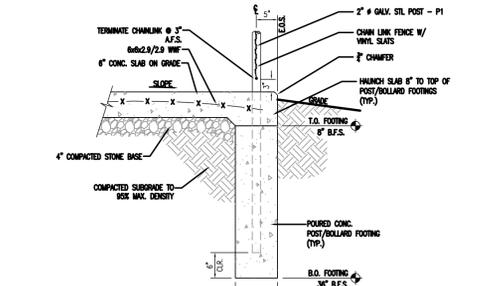
**DETAIL 'B' - UPPER LATCH ASSEMBLY**  
SCALE: NONE



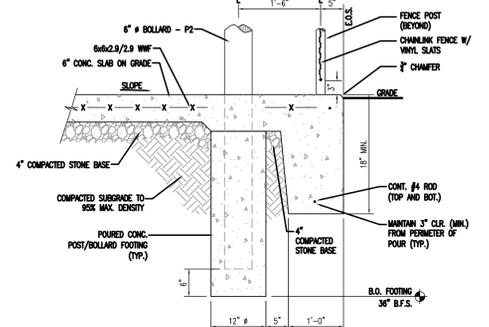
**DETAIL 'A' - GATE ASSEMBLY DETAILS**  
SCALE: NONE



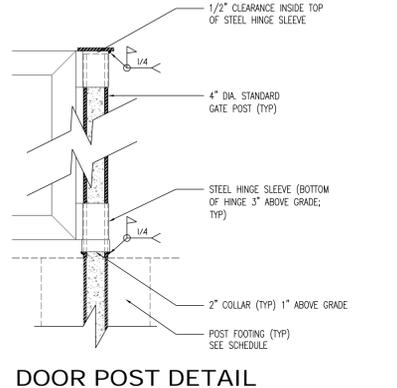
**APRON HAUNCH DETAIL 'D'**  
SCALE: NONE



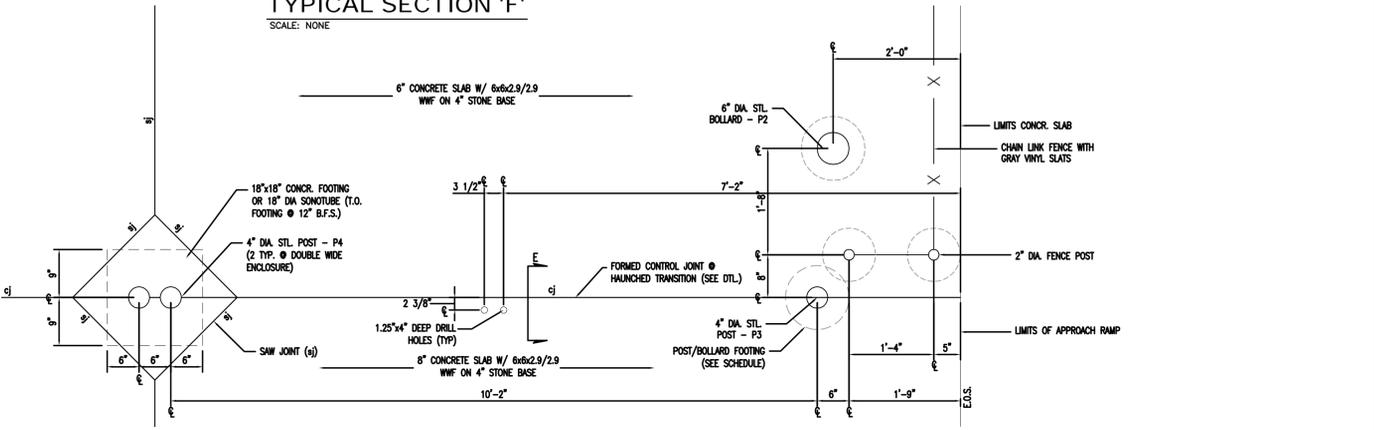
**TYPICAL SECTION 'E'**  
SCALE: NONE



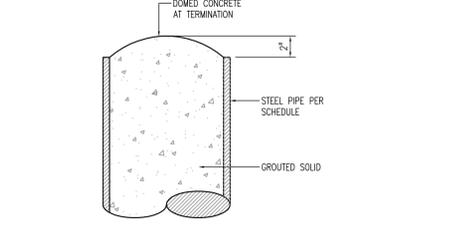
**TYPICAL SECTION 'F'**  
SCALE: NONE



**DOOR POST DETAIL**  
SCALE: NONE



**PARTIAL ENLARGED PLAN**  
SCALE: NONE



**TYP. BOLLARD CAP**  
SCALE: NONE

NOT APPROVED:  
 THIS PLAN HAS NOT RECEIVED FINAL APPROVAL OF ALL REVIEWING AGENCIES. THIS PLAN IS SUBJECT TO REVISIONS UNTIL ALL APPROVALS ARE OBTAINED AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.

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REV. NO.	DATE	REVISIONS	DRAWN BY	CHK'D. BY	APP'VD.

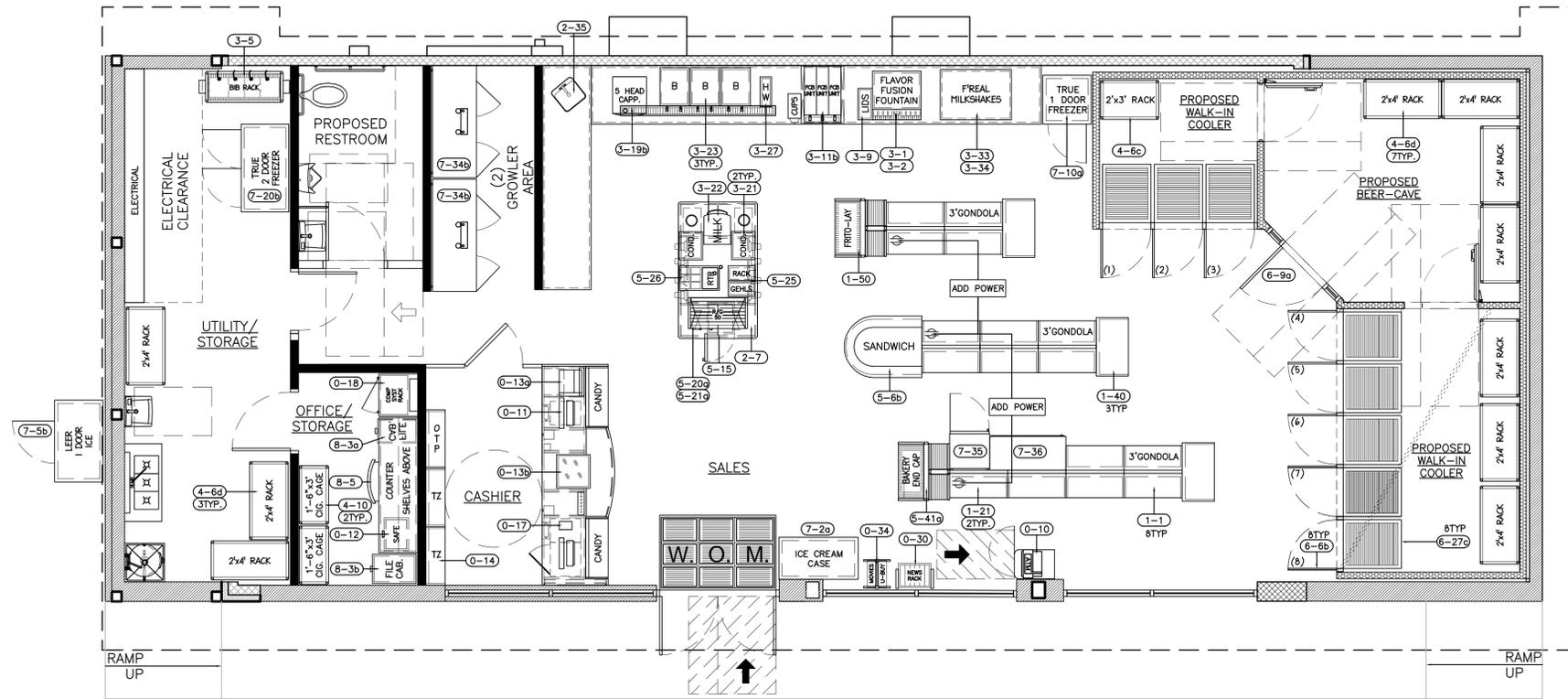
**SUNOCO, INC. (R&M)**  
 Retail Engineering  
 Lester, PA

1222 Washington Street  
 Watertown, NY  
 Jefferson County

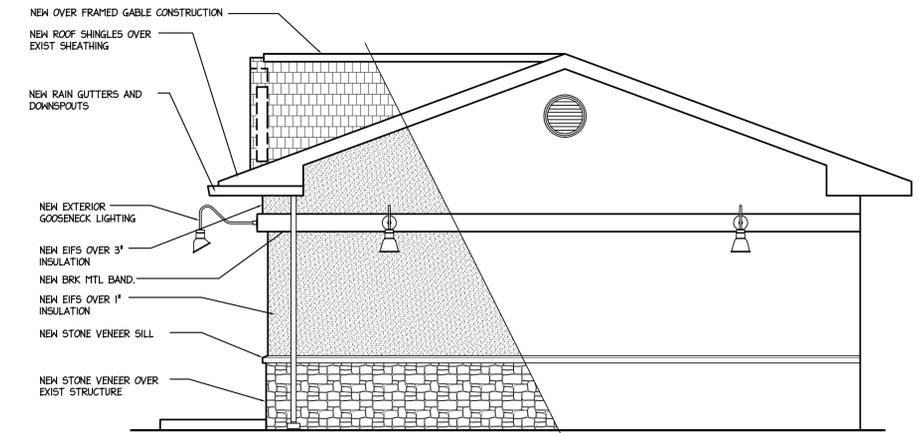
**DUMPSTER ENCLOSURE DETAILS**

APPROVED: B. Burri  
 CHECKED: T. Bolt  
 DATE: 9/16/13

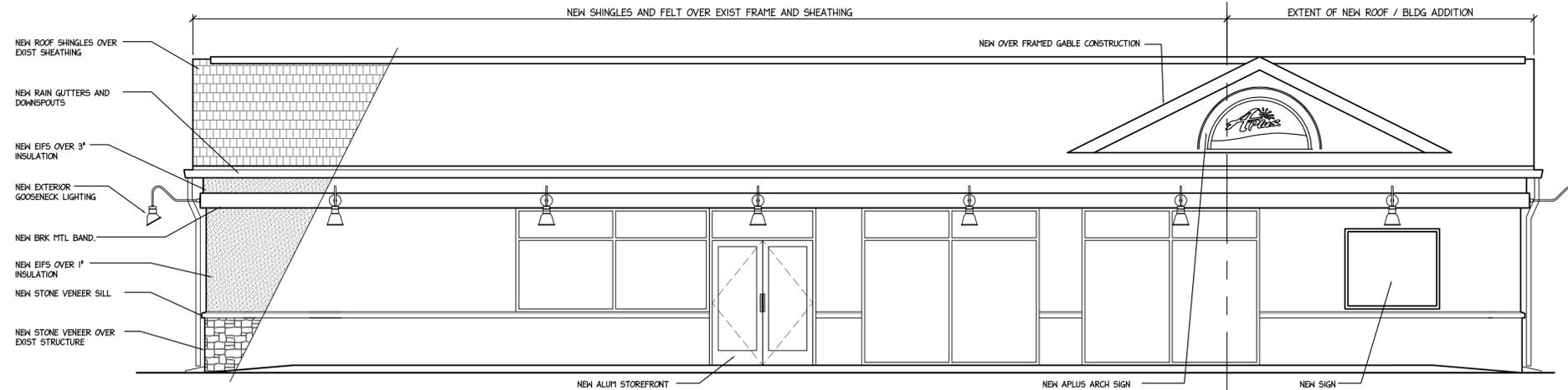
FACILITY NO.: 03640117  
 DRAWING NO.: DE-2  
 SCALE: As Noted  
 REV. NO.: 0



FLOOR PLAN  
SCALE: 1/4"=1'-0"

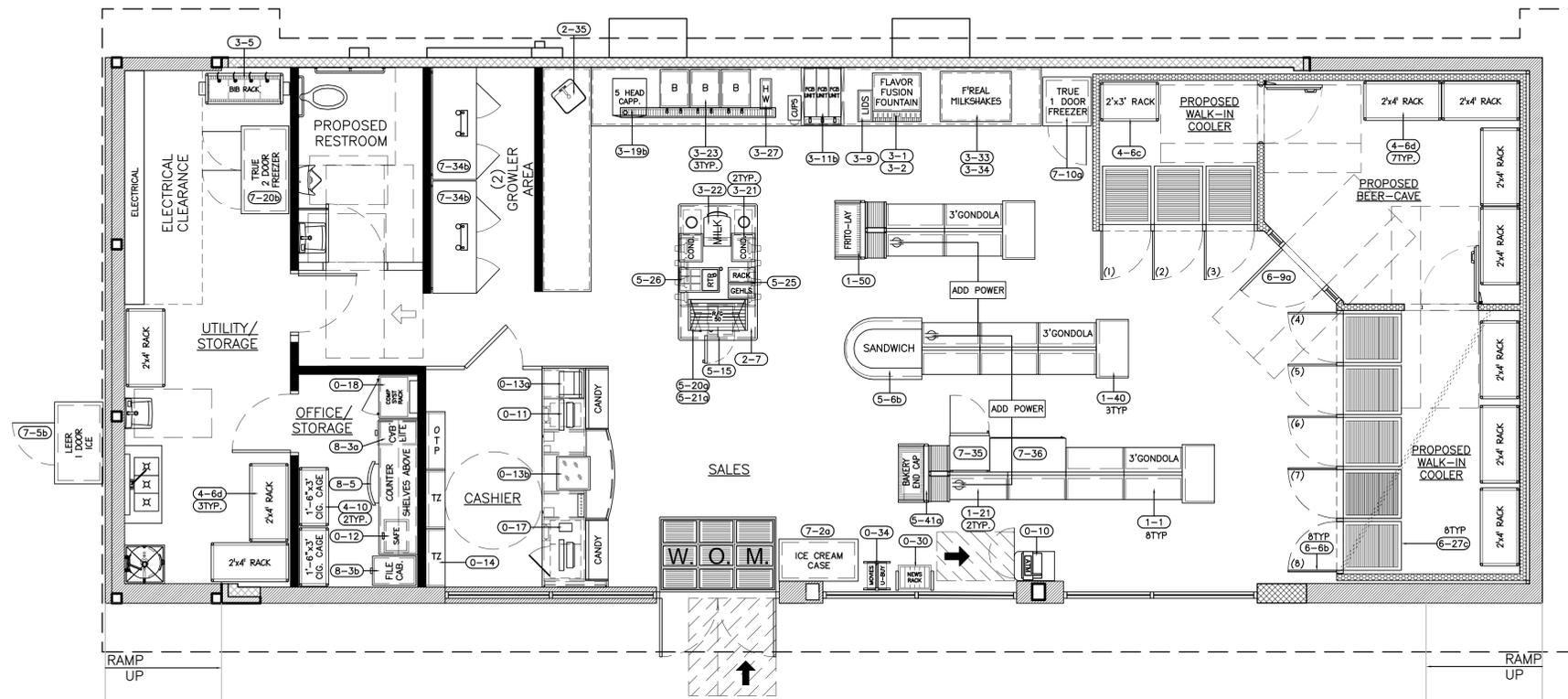


NORTH ELEVATION  
SCALE: 1/4"=1'-0"

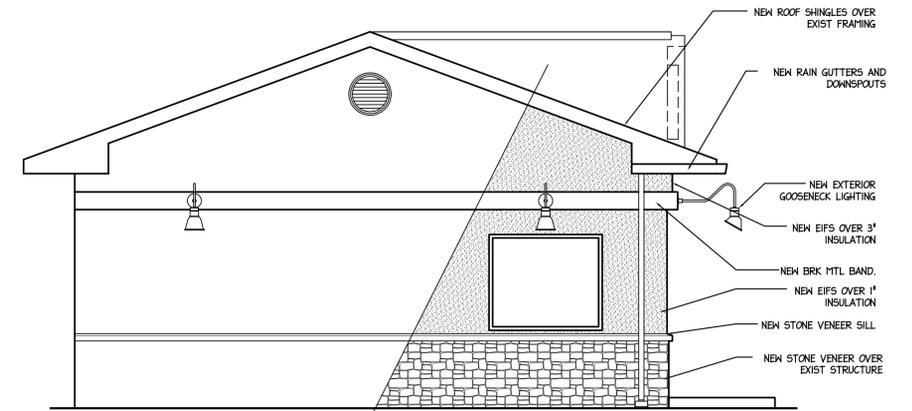


EAST ELEVATION  
SCALE: 1/4"=1'-0"

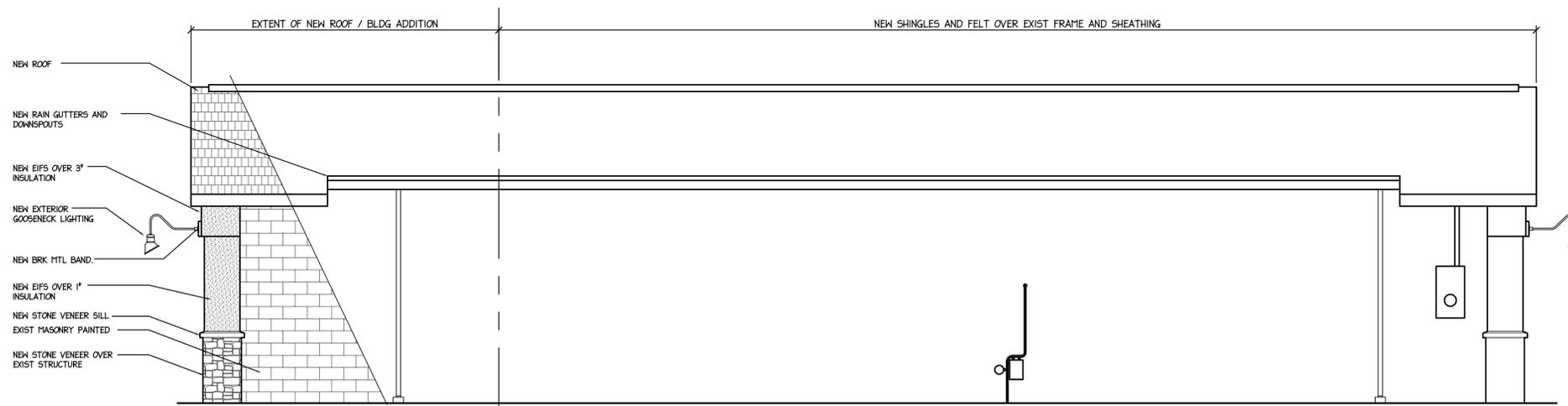
09/11/13	FOR PLANNING BOARD SUBMISSION	DM	BB
REV. NO.	DATE	REVISIONS	DRAWN BY CHK'D BY APPV'D.
<b>SUNOCO, INC.</b> Retail Engineering Lester, PA			
LOCATION:	1222 WASHINGTON STREET WATERTOWN, NY JEFFERSON COUNTY	PROJECT NO.	
PROPOSED PLAN & ELEVATIONS			
APPROVED	FACILITY NO.	DRAWING NO.	SCALE AS NOTED
CHECKED	0364-0117	A-1	REV. NO.
DRAWN			
DATE	09/12/2013		



FLOOR PLAN  
SCALE: 1/4"=1'-0"



SOUTH ELEVATION  
SCALE: 1/4"=1'-0"



WEST ELEVATION  
SCALE: 1/4"=1'-0"

09/11/13	FOR PLANNING BOARD SUBMISSION	DM	BB
REV. NO.	DATE	REVISIONS	DRAWN BY CHK'D BY APPV'D.
<b>SUNOCO, INC.</b> Retail Engineering Lester, PA			
LOCATION: 1222 WASHINGTON STREET WATERTOWN, NY JEFFERSON COUNTY		PROJECT NO.	
PROPOSED PLAN & ELEVATIONS			
APPROVED		SCALE: AS NOTED	
CHECKED	RCS	FACILITY NO.	DRAWING NO.
DRAWN	RCS	0364-0117	A-2
DATE	09/12/2013		REV. NO.