



August 21, 2013

Honorable Mayor and City Council
C/O City Engineer's Office
245 Washington St, Room 305
Watertown, New York 13601

RE: 540 Kieff Drive, Maple Court Apartments - Request to Amend PDD #3

Dear Honorable Mayor and City Council;

Maple Court Apartments contains ninety-two units serving low income seniors and families. The property was built more than forty years ago and is in need of renovation. While the property has been fairly well maintained, many major systems are now fully forty years old and are at the end of their useful life. Evergreen Partners intends to acquire, comprehensively renovate the property and keep it affordable. The rehabilitation work will include all new windows and exterior doors, HVAC systems, and flooring as well as kitchen and bathroom fixtures and appliances. We will also construct a new building on the interior of the site that will contain a community room, management offices, computer learning center and accessible laundry room.

The City Council previously provided a letter indicating their support for the transaction. Evergreen's plans have not changed. However, we were not successful in obtaining an allocation of Tax Credits from DHCR in the prior funding round. We intend to submit another application for funding on October 10th. In order that we can demonstrate a readiness to proceed when an allocation of Tax Credits is received, we are initiating the request for a zoning change now.

A new community building is proposed. It will be a single story building of approximately 4,000 sq. ft. The current building coverage on the lot is 22%. It will be 24% after the proposed new building is constructed. We are requesting a change to the existing Planned Development District zoning in order to accommodate this change to the site. The future use of the property

will remain affordable housing, and no change to the number of apartments is proposed. The new community building is the only material change to the existing site plan, and triggers the need to amend the PDD.

Please don't hesitate to call me at 978-356-8455 if you have questions or need additional information.

Sincerely,

A handwritten signature in black ink, appearing to read 'Charlie Allen', with a stylized, cursive style.

Charlie Allen

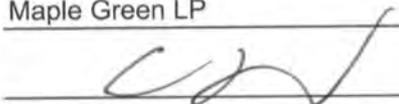
Enclosures;

1. Site Plan
2. Proposed building elevations
3. Metes and Bounds
4. Tax Map
5. SEQR Form
6. Application Fee - \$100

SHORT ENVIRONMENTAL ASSESSMENT FORM

For UNLISTED ACTIONS Only

PART 1 – PROJECT INFORMATION (To be completed by Applicant or Project Sponsor)

1. APPLICANT/SPONSOR Maple Green LP	2. PROJECT NAME Maple Court Apartments
3. PROJECT LOCATION: Municipality <u>Watertown</u> County <u>Jefferson</u>	
4. PRECISE LOCATION (Street address and road intersections, prominent landmarks, etc., or provide map) <u>540 Kieff Drive, Watertown, NY</u>	
5. IS PROPOSED ACTION: <input type="checkbox"/> New <input type="checkbox"/> Expansion <input checked="" type="checkbox"/> Modification/alteration	
6. DESCRIBE PROJECT BRIEFLY: <u>Existing 92 unit affordable rental property will be renovated. The property will remain 92 units and will remain affordable. A new community building of @4,000 sq. ft will be added to the site.</u>	
7. AMOUNT OF LAND AFFECTED: Initially <u>4.020</u> acres Ultimately <u>4.020</u> acres	
8. WILL PROPOSED ACTION COMPLY WITH EXISTING ZONING OR OTHER EXISTING LAND USE RESTRICTIONS? <input type="checkbox"/> Yes <input type="checkbox"/> No If no, describe briefly	
9. WHAT IS PRESENT LAND USE IN VICINITY OF PROJECT? <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Agriculture <input type="checkbox"/> Park/Forest/Open Space <input type="checkbox"/> Other Describe: <u>Multifamily condominium and rental properties are adjacent to the site.</u>	
10. DOES ACTION INVOLVE A PERMIT APPROVAL, OR FUNDING, NOW OR ULTIMATELY FROM ANY OTHER GOVERNMENTAL AGENCY (FEDERAL, STATE OR LOCAL)? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, list agency(s) and permit/approvals <u>NYS DHCR Housing Trust Funds, LIHTC</u>	
11. DOES ANY ASPECT OF THE ACTION HAVE A CURRENTLY VALID PERMIT OR APPROVAL? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, list agency(s) and permit/approvals <u>permitted & built 1970</u>	
12. AS A RESULT OF PROPOSED ACTION, WILL EXISTING PERMIT/APPROVAL REQUIRE MODIFICATION? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE TO THE BEST OF MY KNOWLEDGE	
Applicant/sponsor name: <u>Maple Green LP</u>	Date: <u>08/20/2013</u>
Signature: 	

If the action is in the Coastal Area, and you are a state agency, complete the Coastal Assessment Form before proceeding with this assessment

A. DOES ACTION EXCEED ANY TYPE I THRESHOLD IN 6 NYCRR, PART 617.12? If yes, coordinate the review process and use the FULL EAF.

Yes No

B. WILL ACTION RECEIVE COORDINATED REVIEW AS PROVIDED FOR UNLISTED ACTIONS IN 6 NYCRR, PART 617.6? If NO, a negative declaration may be superseded by another involved agency.

Yes No

C. COULD ACTION RESULT IN **ANY** ADVERSE EFFECTS ASSOCIATED WITH THE FOLLOWING: (Answers may be handwritten, if legible)

C1. Existing air quality, surface or groundwater quality or quantity, noise levels, existing traffic patterns, solid waste production or disposal, potential for erosion, drainage or flooding problems? Explain briefly:

C2. Aesthetic agricultural, archaeological, historic, or other natural or cultural resources; or community or neighborhood character? Explain briefly:

C3. Vegetation or fauna, fish shellfish or wildlife species, significant habitats, or threatened or endangered species? Explain briefly:

C4. A community's existing plans or goals as officially adopted, or a change in use or intensity of use of land or other natural resources? Explain briefly:

C5. Growth, subsequent development, or related activities likely to be induced by the proposed action? Explain briefly.

C6. Long term, short term, cumulative, or other effects not identified in C1-C5? Explain briefly.

C7. Other impacts (including changes in use of either quantity or type of energy)? Explain briefly.

D. WILL THE PROJECT HAVE AN IMPACT ON THE ENVIRONMENTAL CHARACTERISTICS THAT CAUSED THE ESTABLISHMENT OF A CEA?

Yes No

E. IS THERE, OR IS THERE LIKELY TO BE, CONTROVERSY RELATED TO POTENTIAL ADVERSE ENVIRONMENTAL IMPACTS?

Yes No If yes, explain briefly

PART III – DETERMINATION OF SIGNIFICANCE (To be completed by Agency)

INSTRUCTIONS: For each adverse effect identified above, determine whether it is substantial, large, important or otherwise significant. Each effect should be assessed in connection with its (a) setting (i.e. urban or rural); (b) probability of occurring; (c) duration; (d) irreversibility; (e) geographic scope; and (f) magnitude. If necessary, add attachments or reference supporting materials. Ensure that explanations contain sufficient detail to show that all relevant adverse impacts have been identified and adequately addressed.

Check this box if you have identified one or more potentially large or significant adverse impacts which **MAY** occur. Then proceed directly to the FULL EAF and/or prepare a positive declaration.

Check this box if you have determined, based on the information and analysis above and any supporting documentation, that the proposed action **WILL NOT** result in any significant adverse environmental impacts AND provide on attachments as necessary, the reasons supporting this determination:

Name of Lead Agency

Print or Type Name of Responsible Officer in Lead Agency

Title of Responsible Officer

Signature of Responsible Officer in Lead Agency

Signature of Preparer (if different from responsible officer)

Date



THENCE from the point of beginning South $21^{\circ} 58' 53''$ West along the Westerly margin of Ives Street a distance of 50.48 feet;

THENCE North $75^{\circ} 53' 52''$ West a distance of 672.66 feet;

THENCE North $14^{\circ} 06' 08''$ East a distance of 50.00 feet;

THENCE South $75^{\circ} 53' 52''$ East a distance of 679.58 feet to the place of BEGINNING.

(LESS AND EXCEPTING THEREFROM)

ALL that parcel of land located in the City of Watertown, County of Jefferson and State of New York, bounded and described follows:

BEGINNING at a point in the Westerly margin of Ives Street, said point being North $75^{\circ} 53' 52''$ West a distance of 2.02 feet from a Watertown City Survey Monument located on the Westerly side of the intersection of Ives Street with Harris Drive in said City;

THENCE from the point of beginning $21^{\circ} 58' 53''$ West along the Westerly margin of Ives Street, 50.60 feet;

THENCE North $75^{\circ} 53' 52''$ West a distance of 857.50 feet to the beginning of a curve to the left;

THENCE Westerly on said curve to the left having a radius of 211.00 feet a distance of 151.23 feet to the end of said curve;

THENCE South $63^{\circ} 02' 13''$ West, 224.02 feet;

THENCE North $26^{\circ} 57' 47''$ West 50.00 feet to a point in the division line between the lands of Janvid Corporation on the South and Ives Hill Land Company on the North;

THENCE North $63^{\circ} 02' 13''$ East, along said division line 224.02 feet to the beginning of a curve to the right;

THENCE Easterly on said curve to the right having a radius of 261.00 feet a distance of 187.07 feet to the end of said curve and a point on the aforementioned division line between Ives Hill Land Company and Janvid Corporation;

THENCE South $75^{\circ} 53' 52''$ East along said division line, 864.28 feet to the place of BEGINNING.

ALSO, ALL that parcel of land located in the City of Watertown, County of Jefferson and State of New York, bounded and described as follows:

BEGINNING at a point that is located North $75^{\circ} 53' 52''$ West a distance of 2.02 feet, South $21^{\circ} 58' 53''$ West along the Westerly margin of Ives Street a distance of 50.60 feet, north $75^{\circ} 53' 52''$ West a distance of 857.50 feet, Westerly on a curve to the left having a radius of 211.0 feet a distance of 151.23 feet and South $63^{\circ} 02' 13''$ West, 174.02 feet from a Watertown City Survey Monument located on the Westerly side of the intersection of Ives Street Harris Drive in said City;

THENCE from the point of beginning South $26^{\circ} 57' 47''$ East 109.19 feet to the beginning of a curve to the right;

THENCE Southerly on said curve to the right having a radius of 246.70 feet a distance of 324.72 feet to the end of said curve;

THENCE North $41^{\circ} 32' 47''$ West 50.00 feet of the beginning of a curve to the left;

THENCE Northerly on said curve to the left having a radius of 196.7 feet a distance of 258.91 feet to the end of said curve;



THENCE North 26° 57' 47" West 109.19 feet;

THENCE North 63° 02' 13" East 50.00 feet to the place of BEGINNING.

ALSO, ALL that parcel of land located in the City of Watertown, County of Jefferson and State of New York, bounded and described as follows:

BEGINNING at a point that is located North 75° 53' 52" West a distance of 2.02 feet, South 21° 58' 53" West along the Westerly margin of Ives Street a distance of 50.60 feet and North 75° 53' 52" West a distance of 713.80 feet from a Watertown City Survey Monument located on the Westerly side of the intersection of Ives Street and Harris Drive in said City;

THENCE from the point of beginning South 14° 06' 08" West 379.25 feet to the beginning of a curve, to the left;

THENCE Southerly along said curve to the left having a radius of 219.3 feet a distance of 112.91 feet to the end of said curve and the beginning of a curve to the right;

THENCE Southerly along said curve to the right having a radius of 302.5 feet a distance of 197.35 feet to the end of said curve;

THENCE South 21° 58' 53" West, 21.50 feet;

THENCE North 68° 01' 07" West 50.00 feet to the beginning of a curve to the left;

THENCE Northerly on said curve to the left having a radius of 252.50 feet a distance of 164.73 feet to the end of said curve and the beginning of a curve to the right;

THENCE Northerly on said curve to the right having a radius of 296.3 feet a distance of 138.66 feet to the end of said curve;

THENCE North 14° 06' 08" East, 379.25 feet;

THENCE South 75° 53' 52" East 50.00 feet to the place of BEGINNING.

Note: Address, Block & Lot shown for informational purposes only

Designated as Section 14 Block 49 Lot 102.000 and also known as 591 Weldon Drive, Watertown, New York.

THE policy to be issued under this report will insure the title to such buildings and improvements erected on the premises, which by law constitute real property.

FOR CONVEYANCING ONLY: TOGETHER with all the right, title and interest of the party of the first part, of in and to the land lying in the street in front of and adjoining said premises.



Title No. 612545

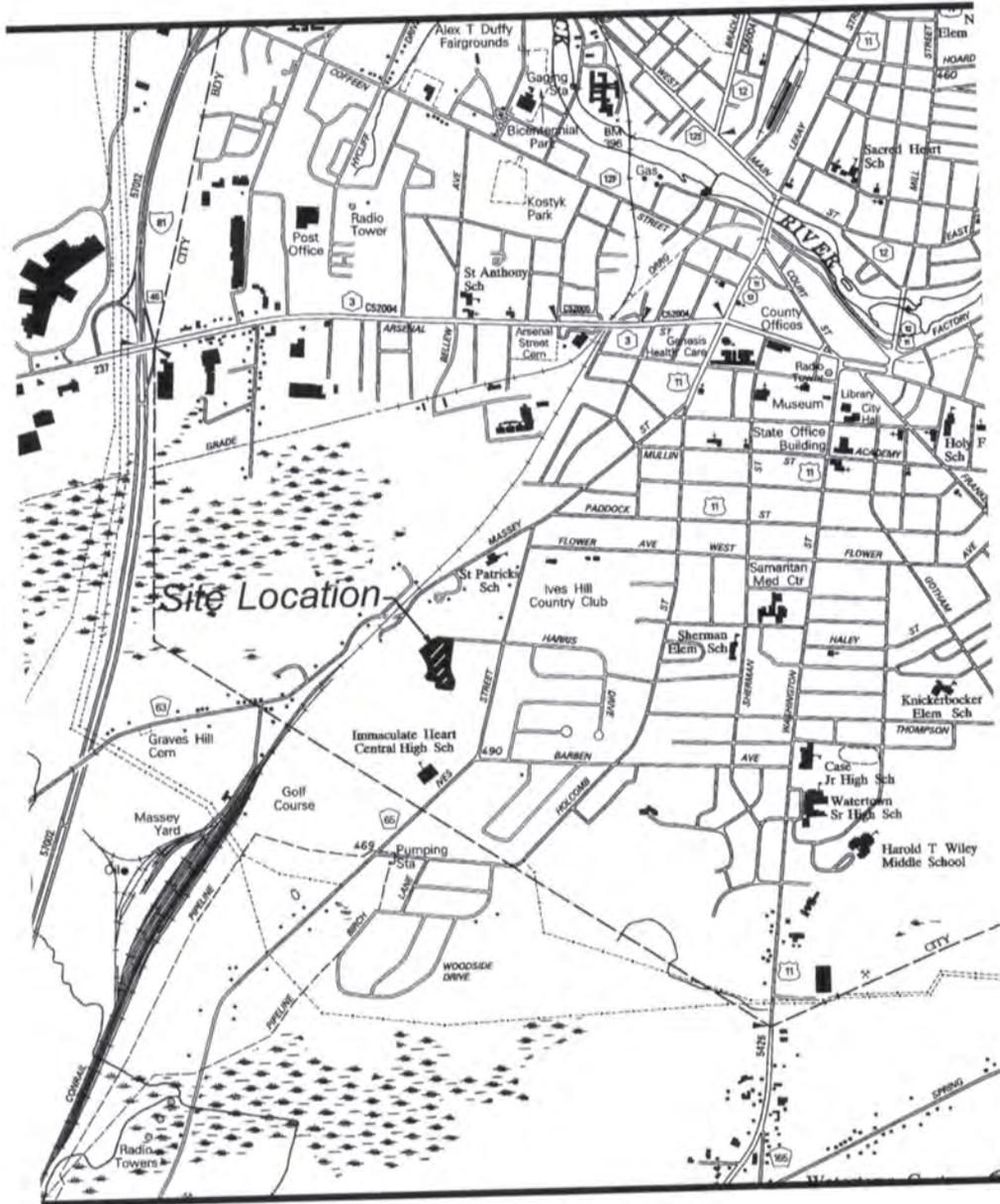
SCHEDULE "B-I"
(REQUIREMENTS)

THE FOLLOWING ARE REQUIREMENTS TO BE COMPLIED WITH FOR A TITLE POLICY TO ISSUE:

1. Rights of tenants or persons in possession, if any.
2. Returns, if any, of title search continuation since 12/20/2012 to the date of closing.
3. Note: Contact Counsel for the Company in advance of closing if a document is to be executed pursuant to a power of attorney.
4. The following endorsements will be added to the final policy: PLEASE ADVISE
5. Taxes, tax liens, tax sales, water rates, sewer rents and assessments regarding Tax Map #14-49-102.000:
 - a) 2012 County Taxes: EXEMPT; Unpaid 2013 County Taxes, if any. (lien period = 1/1 to 12/31)
 - b) 2012/2013 School Taxes: PAID in the amount of \$15,431.44. (lien period = 7/1 to 6/30)
 - c) 2012/2013 City Taxes: PAID in the sum of \$11,174.89. (lien period = 7/1 to 6/30)
 - c) UNPAID Sewer and Water Charges, if any.
 - d) Water Due, if any.
 - e) Future installments of special assessments for improvements, if any.
 - f) New York Real Property Tax Law Section 302 and 520 may affect the real estate tax liability if the premises described in Schedule A have a tax exemption.

NOTE: If tax amounts are provided as part of this report, updated figures must be obtained prior to closing to insure payment of the proper amounts including any interest or penalties.
6. Re: Maple Court Apartments, L.P.

Provide copy of any required resolution of its members and/or partners authorizing the completion of the insured transaction, including execution of all necessary documents, pursuant to the terms of its Partnership Agreement and any amendments thereto.
7. Lis Pendens (Index #12-2314) entitled "Liberty Affordable Housing Inc. vs. Maple Court Apartments", recorded October 24, 2012 in File #2012-16451, for specific performance and breach of contract.



NYS DOT Quadrangle
 Watertown, New York



NO DEVIATION FROM THE CONTRACT PLANS AND SPECIFICATIONS CAN BE MADE UNTIL A REQUEST FOR CONSTRUCTION CHANGE, HUD FORM 92437 HAS BEEN SUBMITTED AND APPROVED.

Arch	
Owner	
Cont'r	
Bond	

tat |
the architectural team

The Architectural Team, Inc.
50 Commandant's Way at Admiral's Hill
Chelsea MA 02150
T 617.889.4402
F 617.884.4329
www.architecturalteam.com
©2008 The Architectural Team, Inc.

Consultant:

Revision:

Architect of Record:

XXX
NOT FOR CONSTRUCTION

Drawn: _____
Checked: _____
Scale: _____
Key Plan: _____

Project Name:
MAPLE COURT APARTMENTS

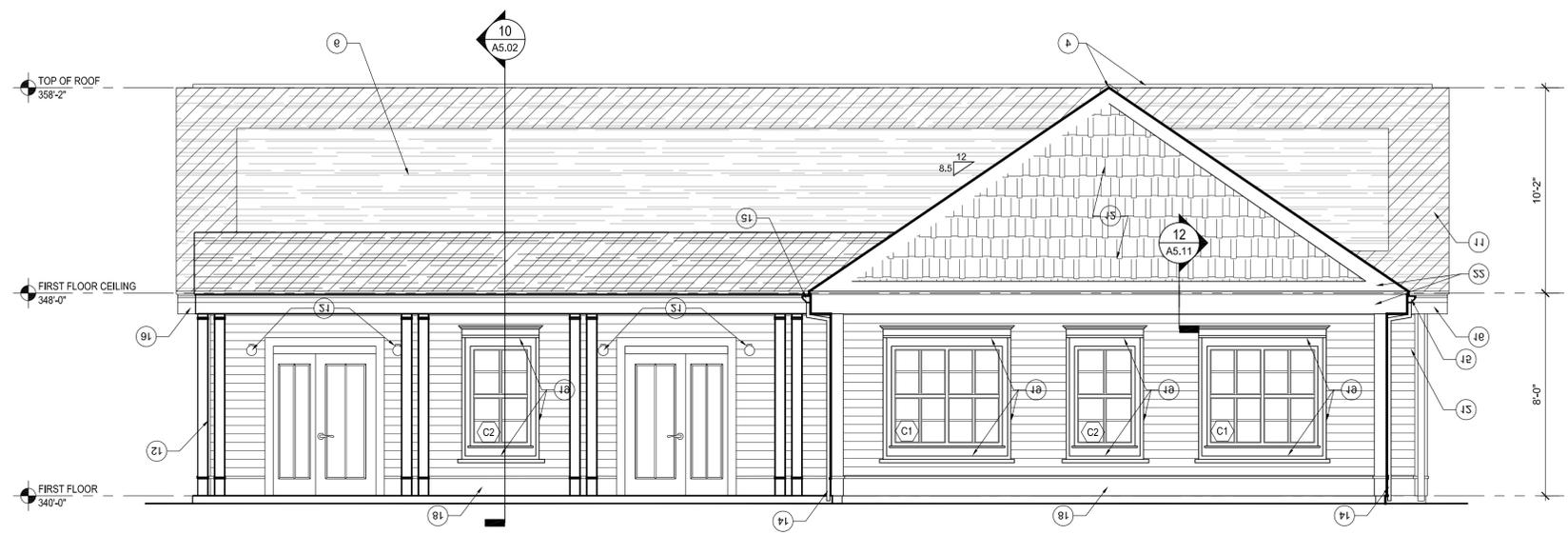
540 Kieff Drive,
Watertown, NY.

Sheet Name:

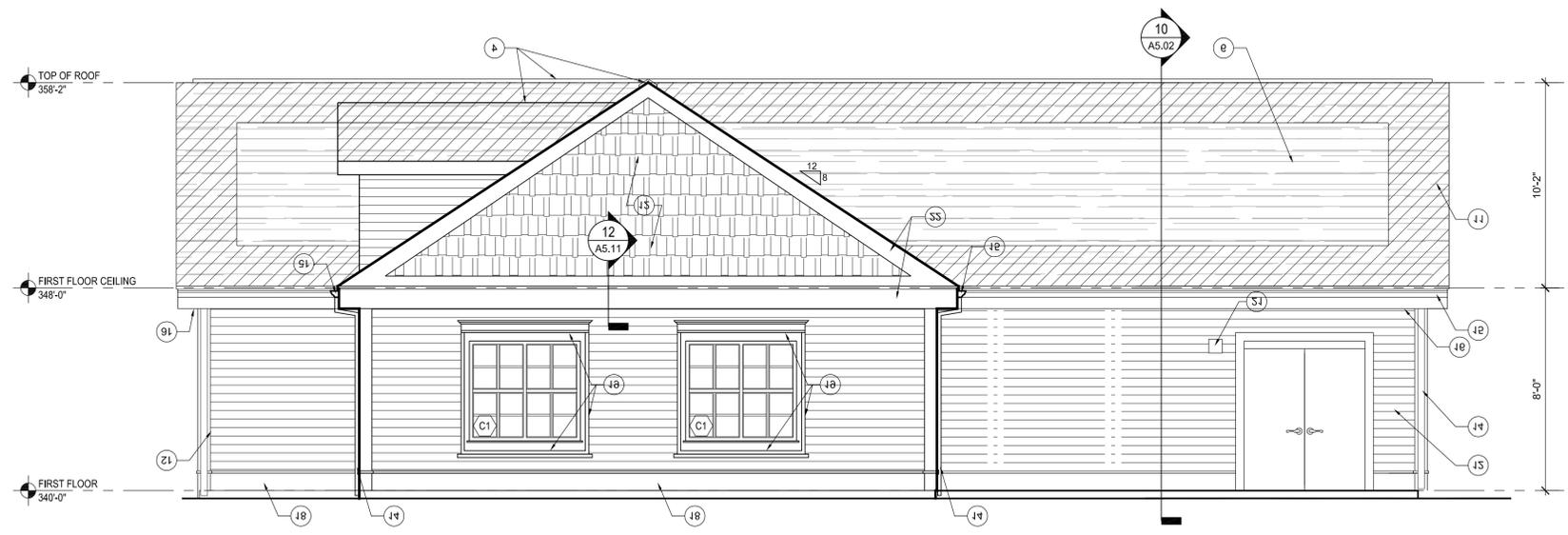
Project Number:
12181

Issue Date:
Dec. 2012

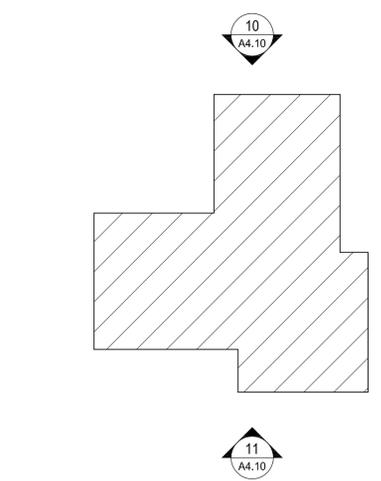
Sheet Number:



11 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



10 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



10 BUILDING KEY PLAN
SCALE: NOT TO SCALE

Thursday, August 22, 2013 8:49:56 AM
P:\12181_Maple Court\Drawings\Preliminary\Proposed Community Building\12181_Community Building Elevations.dwg

NO DEVIATION FROM THE CONTRACT PLANS AND SPECIFICATIONS CAN BE MADE UNTIL A REQUEST FOR CONSTRUCTION CHANGE, HUD FORM 92437 HAS BEEN SUBMITTED AND APPROVED.

Arch	
Owner	
Cont'r	
Bond	

tat |
the architectural team

The Architectural Team, Inc.
50 Commandant's Way at Admiral's Hill
Chelsea MA 02150
T 617.889.4402
F 617.884.4329
www.architecturalteam.com
©2008 The Architectural Team, Inc.

Consultant:

Revision:

Architect of Record:

XXX
NOT FOR CONSTRUCTION

Drawn:

Checked:

Scale:

Key Plan:

Project Name:

MAPLE COURT APARTMENTS

540 Kieff Drive,
Watertown, NY.

Sheet Name:

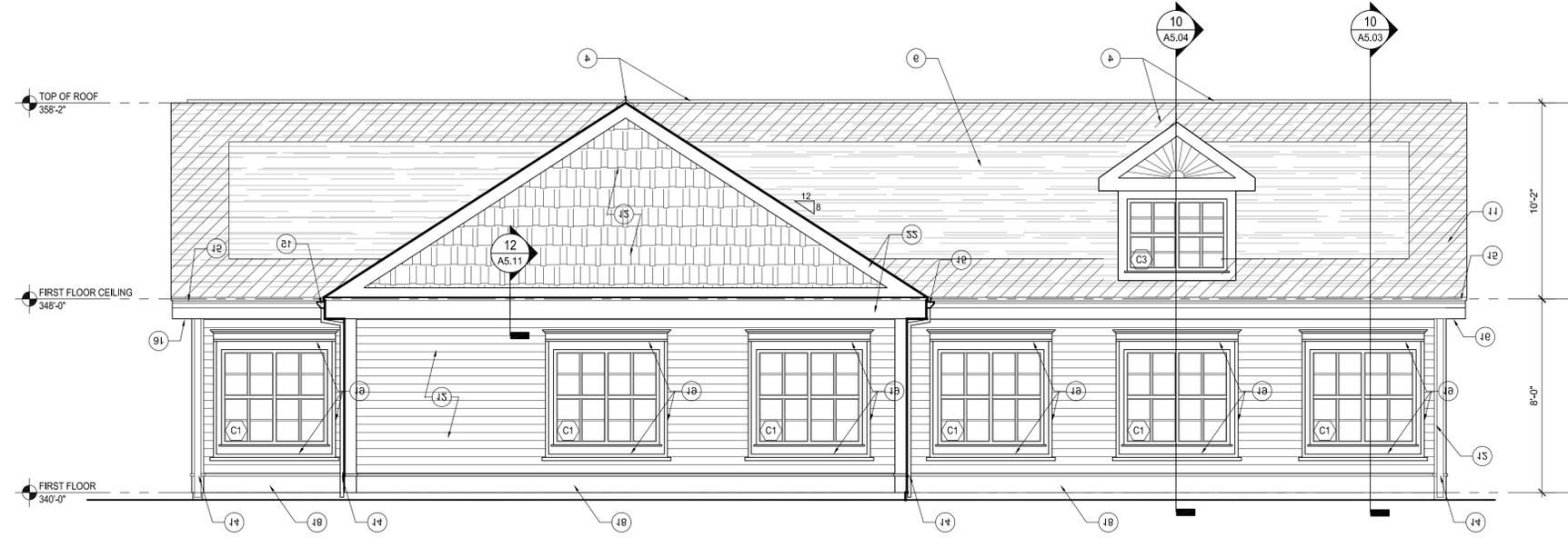
Project Number:

12181

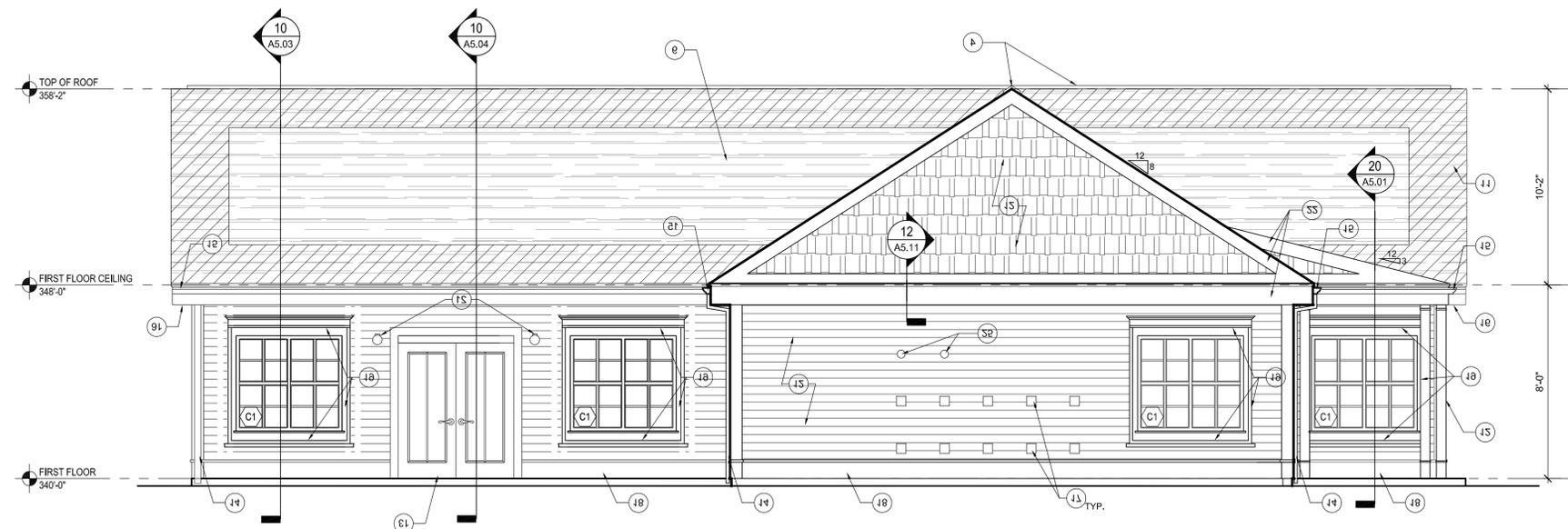
Issue Date:

Dec. 2012

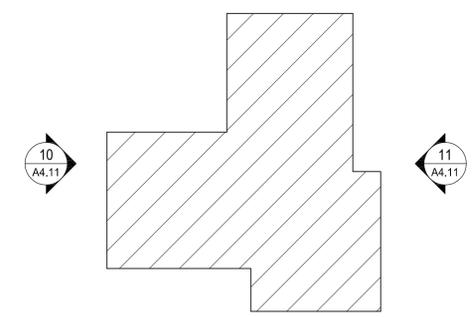
Sheet Number:



11 WEST ELEVATION
SCALE: 1/4" = 1'-0"



10 EAST ELEVATION
SCALE: 1/4" = 1'-0"



BUILDING KEY PLAN
SCALE: NOT TO SCALE

Thursday, August 22, 2013 8:51:18 AM
P:\12181_Maple Court\Drawings\Preliminary\Proposed Community Building\12181_Community Building Elevations.dwg

Consultant:

Revision:

Architect of Record:

XXX
NOT FOR CONSTRUCTION

Drawn: JN

Checked: PR

Scale: AS NOTED

Key Plan:

Project Name:

**MAPLE COURT
APARTMENTS**

540 Kieff Drive,
Watertown, NY.

Sheet Name:

SITE PLAN

Project Number:

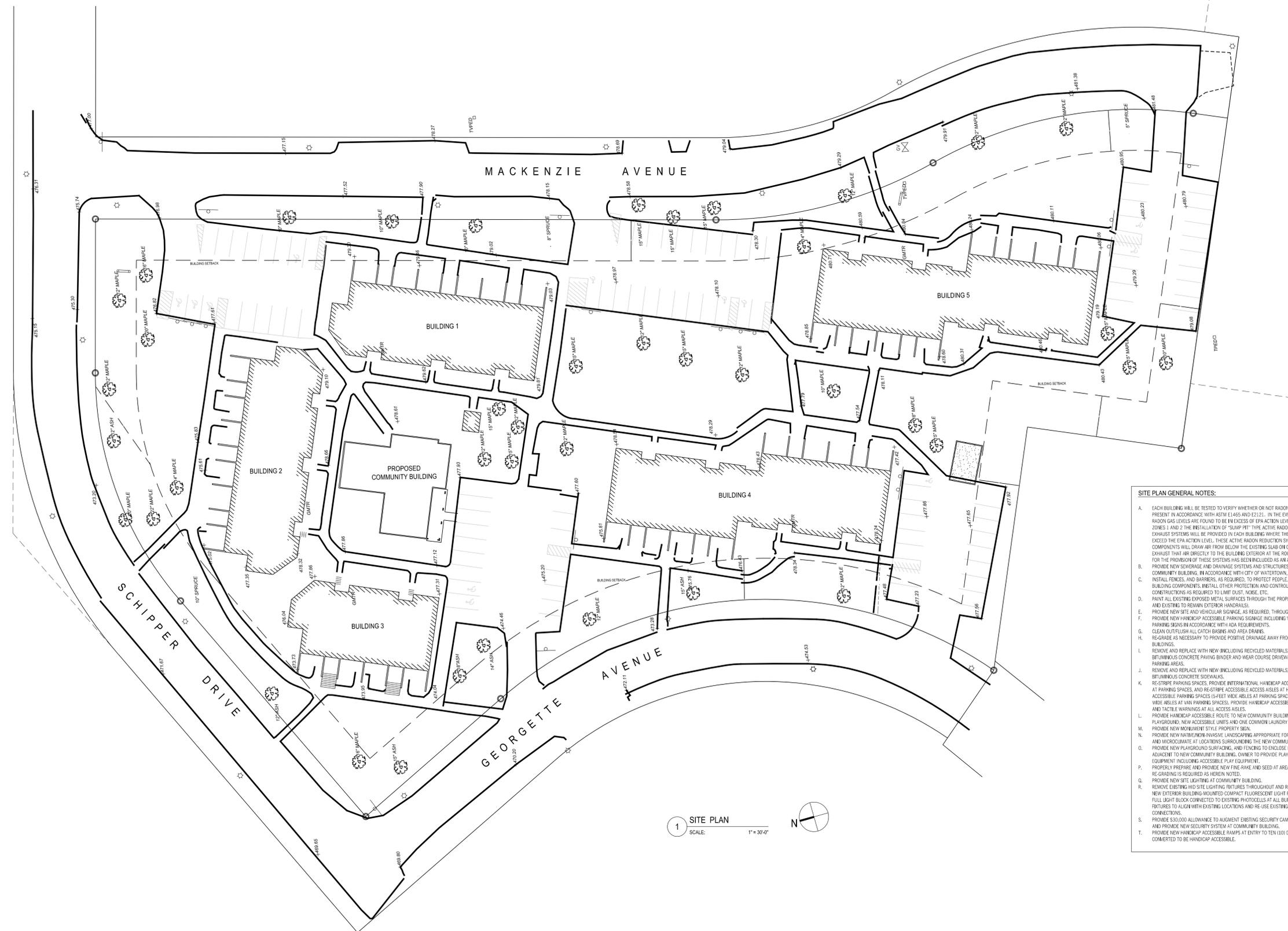
12181

Issue Date:

January 7, 2013

Sheet Number:

A1.00



- SITE PLAN GENERAL NOTES:**
- EACH BUILDING WILL BE TESTED TO VERIFY WHETHER OR NOT RADON GAS IS PRESENT IN ACCORDANCE WITH ASTM E1465 AND E2121. IN THE EVENT THAT RADON GAS LEVELS ARE FOUND TO BE EXCESSIVE OVER EPA ACTION LEVEL FOR EPA ZONES 1 AND 2 THE INSTALLATION OF "SUMP PIT" TYPE ACTIVE RADON REDUCTION EXHAUST SYSTEMS WILL BE PROVIDED IN EACH BUILDING WHERE THE RADON LEVELS EXCEED THE EPA ACTION LEVEL. THESE ACTIVE RADON REDUCTION SYSTEM COMPONENTS WILL DRAW AIR FROM BELOW THE EXISTING SLAB ON GRADE AND EXHAUST THAT AIR DIRECTLY TO THE BUILDING EXTERIOR AT THE ROOF. THE COST FOR THE PROVISION OF THESE SYSTEMS HAS BEEN INCLUDED AS AN ALTERNATE.
 - PROVIDE NEW SEWERAGE AND DRAINAGE SYSTEMS AND STRUCTURES AT NEW COMMUNITY BUILDING, IN ACCORDANCE WITH CITY OF WATERTOWN, NY STANDARDS.
 - INSTALL FENCES, AND BARRIERS, AS REQUIRED, TO PROTECT PEOPLE, PROPERTY AND BUILDING COMPONENTS; INSTALL OTHER PROTECTION AND CONTROL DEVICES OR CONSTRUCTIONS AS REQUIRED TO LIMIT DUST, NOISE, ETC.
 - PAINT ALL EXISTING EXPOSED METAL SURFACES THROUGHOUT THE PROPERTY (I.E. NEW AND EXISTING) TO REMAIN EXTERIOR HANDRAILS.
 - PROVIDE NEW SITE AND VEHICULAR SIGNAGE, AS REQUIRED, THROUGHOUT THE SITE.
 - PROVIDE NEW HANDICAP ACCESSIBLE PARKING SIGNAGE INCLUDING VAN ACCESSIBLE PARKING SIGNS IN ACCORDANCE WITH ADA REQUIREMENTS.
 - CLEAN OUT/FLUSH ALL CATCH BASINS AND AREA DRAINS.
 - RE-GRADE AS NECESSARY TO PROVIDE POSITIVE DRAINAGE AWAY FROM EXISTING BUILDINGS.
 - REMOVE AND REPLACE WITH NEW (INCLUDING RECYCLED MATERIALS) 10% OF BITUMINOUS CONCRETE PAVING BINDER AND WEAR COURSE DRIVEWAYS AND PARKING AREAS.
 - REMOVE AND REPLACE WITH NEW (INCLUDING RECYCLED MATERIALS) 10% OF BITUMINOUS CONCRETE SIDEWALKS.
 - RE-STRIPE PARKING SPACES, PROVIDE INTERNATIONAL HANDICAP ACCESSIBILITY LOGO AT PARKING SPACES, AND RE-STRIPE ACCESSIBLE ACCESSIBLE ASILES AT HANDICAP ACCESSIBLE PARKING SPACES (8-FT WIDE ASILES AT PARKING SPACES AND 8-FT WIDE ASILES AT VAN PARKING SPACES). PROVIDE HANDICAP ACCESSIBLE CURB CUTS AND TACTILE WARNINGS AT ALL ACCESS ASILES.
 - PROVIDE HANDICAP ACCESSIBLE ROUTE TO NEW COMMUNITY BUILDING, PLAYGROUND, NEW ACCESSIBLE UNITS AND ONE COMMON LAUNDRY ROOM.
 - PROVIDE NEW MONUMENT STYLE PROPERTY SIGN.
 - PROVIDE NEW NATURAL/INERT LANDSCAPING APPROPRIATE FOR THE SITE'S SOIL AND MICROCLIMATE AT LOCATIONS SURROUNDING THE NEW COMMUNITY BUILDINGS.
 - PROVIDE NEW PLAYGROUND SURFACING, AND FENCING TO ENCLOSE PLAYGROUND ADJACENT TO NEW COMMUNITY BUILDING. OWNER TO PROVIDE PLAYGROUND EQUIPMENT INCLUDING ACCESSIBLE PLAY EQUIPMENT.
 - PROPERLY PREPARE AND PROVIDE NEW FINE-RAKE AND SEED AT AREAS WHERE RE-GRADING IS REQUIRED AS HERIN NOTED.
 - PROVIDE NEW SITE LIGHTING AT COMMUNITY BUILDING.
 - REMOVE EXISTING HID SITE LIGHTING FIXTURES THROUGHOUT AND REPLACE WITH NEW EXTERIOR BUILDING MOUNTED COMPACT FLUORESCENT LIGHT FIXTURES WITH FULL LIGHT BLOCK CONNECTED TO EXISTING PHOTOCELLS AT ALL BUILDINGS. NEW FIXTURES TO ALIGN WITH EXISTING LOCATIONS AND RE-USE EXISTING ELECTRICAL CONNECTIONS.
 - PROVIDE \$30,000 ALLOWANCE TO AUGMENT EXISTING SECURITY CAMERA SYSTEM AND PROVIDE NEW SECURITY SYSTEM AT COMMUNITY BUILDING.
 - PROVIDE NEW HANDICAP ACCESSIBLE RAMPS AT ENTRY TO TEN (10) DWELLING UNITS CONVERTED TO BE HANDICAP ACCESSIBLE.

1 SITE PLAN
SCALE: 1" = 30'-0"