



Carmina • Wood • Morris^{PC}

487 Main Street Suite 600 Buffalo, New York 14203 P: 716.842.3165 F: 716.842.0263 W: cwm-ae.com

August 19, 2013

Mr. Kurt Hauk
City Engineer
City of Watertown
245 Washington Street, Room 305
Watertown, New York 13601

Re: Express mart #339 1268 Arsenal Street, Corner of Arsenal St. & Western Blvd.
CWM Job 07.060 - New Construction
Site Plan Amendment

Dear Mr. Hauk,

On behalf of REROB llc we are submitting the following information for Site Plan Amendment:

- 16 copies of the revised site engineering plans (3 full size sets, 12 half size sets)
- 16 copies of the Engineering Report (Same as previously Approved)
- 16 copies of the Stormwater Management and Pollution Prevention Plan (Same as previously Approved)

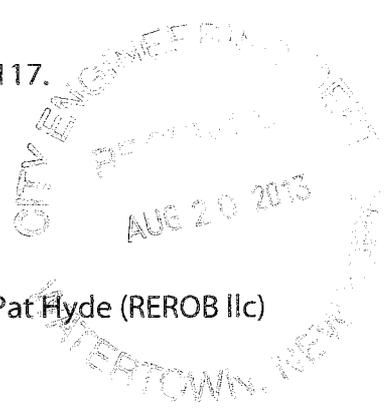
The building footprint has increased slightly and the path of travel around the building has altered slightly to accommodate the relocated Drive Thru window. The building materials have also changed from CMU and Aluminum Panel with a flat roof to Brick and Stone with a Gabled Roof. The site has essentially remained the same with a negligible reduction in green space of 1,224 sf or 1.7% of the total site.

If you should have any questions please contact me at 842-3165 x117.

Sincerely,
Carmina Wood Morris, P.C.

Wendy J. Ferrie RA | Project Manager

CC.: CWM File, Pat Hyde (REROB llc)





1869

**CITY OF WATERTOWN
SITE PLAN APPLICATION
AND
SHORT ENVIRONMENTAL
ASSESSMENT FORM, PART 1**

** Provide responses for all sections. INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED. Failure to submit required information by the submittal deadline will result in **not** making the agenda for the upcoming Planning Board meeting.

PROPERTY LOCATION

Proposed Project Name: Express Mart #339
Tax Parcel Number: 8-0053-102.100
Property Address: 1268 ARSENAL Street
Existing Zoning Classification: C

OWNER OF PROPERTY

Name: RELOB LLC (Pat Hyde)
Address: 6567 KINNE Rd
DEWITT NY 13214
Telephone Number: (315) 446-0125 x 115
Fax Number: (315) 446-1355

APPLICANT

Name: CARMINA WOOD MORRIS P.C. (WENDY FERRIE RA)
Address: 487 Main Street
BUFFALO, NY 14203
Telephone Number: (716) 842-3165
Fax Number: (716) 842-0263
Email Address: wferrie@cwmm-ae.com

ENGINEER/ARCHITECT/SURVEYOR

Name: SAME AS APPLICANT
Address: _____

Telephone Number: _____
Fax Number: _____
Email Address: _____

PLANNING BOARD
APPROVED
CITY OF WATERTOWN

As a result of proposed project, will existing permit/approval require modification?

Yes No

Proposed number of housing units (if applicable): NA

Proposed building area: 1st Floor 6,283 Sq. Ft.
2nd Floor NA Sq. Ft.
3rd Floor NA Sq. Ft.
Total 6,283 Sq. Ft.

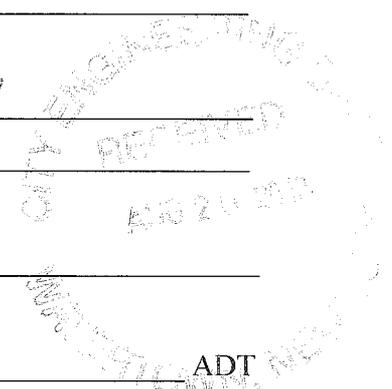
Area of building to be used for the boiler room, heat facilities, utility facilities and storage: 2,900.96 Sq. Ft.

Number of parking spaces proposed: 23

Construction Schedule: Fall 2013 - Spring 2014

Hours of Operation: 24 Hours

Volume of traffic to be generated: _____ ADT



SIGNATURE

I certify that the information provided above is true to the best of my knowledge.

Applicant (please print) WENDY FERRIE RA

Applicant Signature [Handwritten Signature] Date: 8/19/2013

SITE PLAN

- All proposed above ground features are depicted and clearly labeled.
- All proposed features are clearly labeled "proposed".
- All proposed easements & right-of-ways are shown and labeled.
- Land use, zoning, & tax parcel number are shown.
- The Plan is adequately dimensioned including radii.
- The line work & text for all proposed features is shown darker than existing features.
- All vehicular & pedestrian traffic circulation is shown including a delivery or refuse vehicle entering and exiting the property.
- Proposed parking & loading spaces including ADA accessible spaces are shown and labeled.
- Refuse Enclosure Area (Dumpster), if applicable, is shown. Section 161-19.1 of the Zoning Ordinance states, "No refuse vehicle or refuse container shall be parked or placed within 15 feet of a party line without the written consent of the adjoining owner, if the owner occupies any part of the adjoining property".
- The north arrow & graphic scale are shown.

GRADING PLAN

- All proposed below ground features including elevations & inverts are shown and labeled.
- All proposed above ground features are shown and labeled.
- The line work & text for all proposed features is shown darker than existing features.
- All proposed easements & right-of-ways are shown and labeled.
- 1' existing contours are shown dashed & labeled with appropriate spot elevations.
- 1' proposed contours are shown & labeled with appropriate spot elevations.
- All elevations are National Geodetic Vertical Datum of 1929 (NGVD29).

CONSTRUCTION DETAILS & NOTES

- All details and notes necessary to adequately complete the project including, but not limited to, landscaping, curbing, catch basins, manholes, water line, pavement, sidewalks, trench, lighting, trash enclosure, etc. are provided.
- Maintenance & protection and traffic plans & notes for all required work within City streets including driveways, water laterals, sanitary laterals, storm connections, etc. are provided.
- The following note must be added to the drawings stating:
"All work to be performed within the City of Watertown margin will require sign-off from a Professional Engineer, licensed and currently registered to practice in the State of New York, that the work was built according to the approved site plan and applicable City of Watertown standards. Compaction testing will be required for all work to be performed within the City of Watertown margin and must be submitted to the City of Watertown Codes Department."

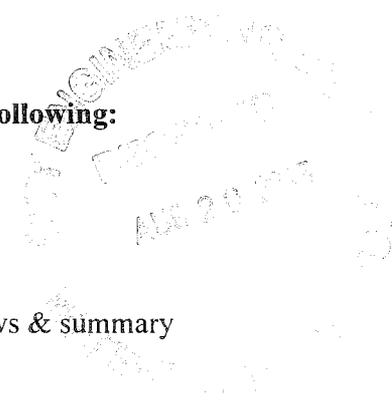
PRELIMINARY ARCHITECTURAL PLANS (If Applicable)

- Floor plan drawings, including finished floor elevations, for all buildings to be constructed are provided.
- Exterior elevations including exterior materials and colors for all buildings to be constructed are provided.
- Roof outline depicting shape, slope and direction is provided.

ENGINEERING REPORT

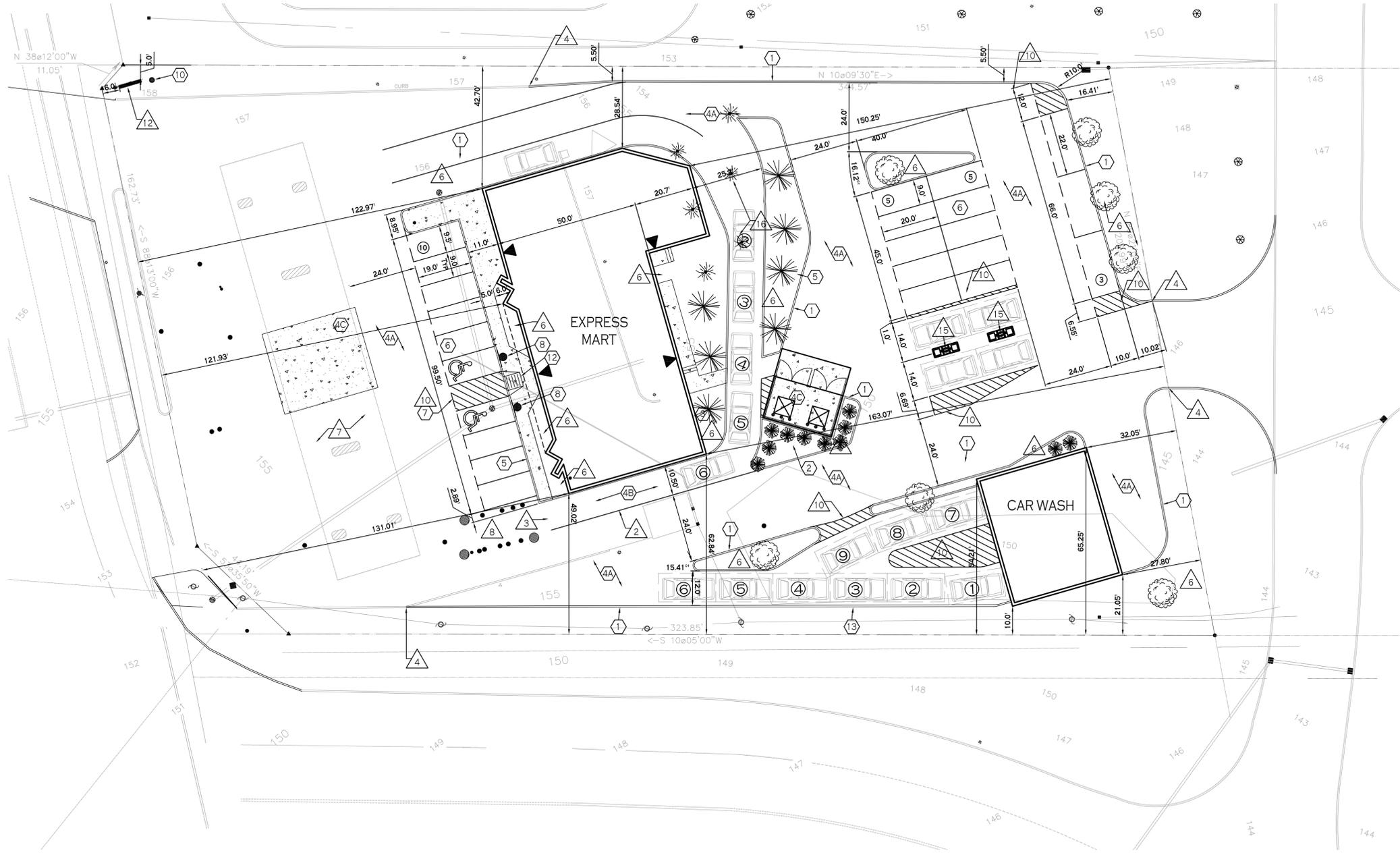
**** The engineering report at a minimum includes the following:**

- Project location
- Project description
- Existing & proposed sanitary sewer flows & summary
- Water flows & pressure
- Storm Water Pre & Post Construction calculations & summary
- Traffic impacts
- Lighting summary
- Landscaping summary



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Carmina Wood Morris PC



SITE DATA		
SITE AREA = 1.58 ACRES (69,071 SF)		
ZONED: C (COMMERCIAL)		
TAX No.:		
RETAIL AREA: 4,074 G.S.F. RESTAURANT: 1,048 G.S.F. CAR WASH: 1,840 G.S.F.		
SETBACKS - BUILDING	REQUIRED	PROVIDED
FRONT:	NR	118.93'
FRONT (GAS PUMPS):	NR	EXIST
SIDE:	NR	37.78' & 10'
SIDE (GAS PUMPS):	NR	EXIST
SIDE (STREET):	NR	26.4'
SIDE (STREET) - GAS PUMPS:	NR	EXIST
REAR:	NR	163.06' & 27.80'
REAR (GAS PUMPS)	NR	EXIST
SETBACKS - SIGNAGE		
STREET:	NR	4.0'
% OF COVERAGE:		
BUILDINGS/SITE	40% Max	10.1% (6,962SF)
PARKING		
SEE CALCULATION BELOW	15	24

PARKING CALCULATION:
 RETAIL & RESTAURANT:
 REQUIRED = 5 PER 1,000SF OF STORE FLOOR AREA (UTILITY & STORAGE NOT INCLUDED)
 FLOOR AREA = 2,665 GSF
 REQ'D PARKING = (2,665/1,000)5 = 15 SPACES

- NOTES**
1. ALL RADII SHALL BE 3' 0" UNLESS OTHERWISE NOTED.
 2. ALL DISTURBED AREAS: SHALL HAVE 4" MIN. OF TOPSOIL AND SEED.
 3. ALL DIMENSIONS FROM PROPERTY LINES SHALL BE MEASURED PERPENDICULAR TO THE PROPERTY LINE.
 4. CENTER ENTRANCE SIDEWALKS ON DOOR OPENINGS.
 5. BUILDING DIMENSIONS ARE APPROXIMATE, REFER TO ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS.

- GENERAL NOTES:**
1. INSTALL ALL MATERIALS TO MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF TRADE INVOLVED.
 2. SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNER'S APPROVAL AND BE OF EQUIVALENT QUALITY TO WHAT IS SPECIFIED.
 3. WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND OSHA SAFETY RULES AND REGULATIONS.
 4. VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. NOTIFY OWNER & ENGINEER OF DISCREPANCIES IN CONDITIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
 5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING STRUCTURES TO REMAIN AND ANY FINISH MATERIAL INSTALLED WHILE WORKING ON OTHER COMPONENTS.
 6. CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO SATISFACTION OF OWNER.
 7. CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK WILL NOT DISTURB EXISTING LINES AND/OR INSTALLATIONS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
 8. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS NECESSARY TO PERFORM THE WORK.

- DETAIL LEGEND** SEE SITE DETAIL SHEET
- ① TYPE "A" CONCRETE CURB
 - ② DUMPSTER ENCLOSURE
 - ③ CONCRETE SIDEWALK
 - 4A STANDARD DUTY ASPHALT
 - 4B HEAVY DUTY ASPHALT
 - 4C EXTERIOR CONCRETE SLAB ON GRADE
 - ⑤ INTEGRAL CURB/ SIDEWALK
 - ⑥ 90° PARKING STALL
 - ⑦ HANDICAPPED PAVEMENT MARKINGS
 - ⑧ HANDICAPPED PARKING SIGN
 - ⑨ LIGHT POLE FOUNDATION
 - ⑩ FLAG POLE FOUNDATION
 - ⑪ NOT USED
 - ⑫ HANDICAPPED PAVEMENT RAMP
 - ⑬ RETAINING WALL

- NOTE LEGEND**
- ① SAWCUT LINE, MATCH EXISTING EDGE OF PAVEMENT
 - ② 6" WIDE YELLOW PAVEMENT STRIPE
 - ③ LIMIT OF HEAVY DUTY PAVEMENT
 - ④ RUNOUT CURB IN 2' OR MATCH EXISTING CURB
 - ⑤ INSTALL "NO PARKING" SIGN, M.U.T.C.D. SIGN NO. P1-1C
 - ⑥ LANDSCAPED AREA - SEE LANDSCAPE PLAN, IF NO PLANTINGS, INSTALL TOPSOIL & SEED
 - ⑦ EXISTING GAS PUMP ISLAND TO REMAIN
 - ⑧ EXISTING FUEL TANK & PAD TO REMAIN
 - ⑨ DRIVE THRU SIGN & APPARATUS, SEE C 102
 - ⑩ 4" WIDE BLUE PAVEMENT STRIPES @ 2' O.C. & @ 45° TO PARKING LINES
 - ⑪ TRAFFIC SIGN, SEE C 102

- ⑫ MOBIL/EXPRESS MART ID SIGN
- ⑬ NOT USED
- ⑭ RELOCATED EXISTING HIGHRISE PYLON WITH NEW SIGN
- ⑮ DUAL VACUUM WITH CANOPY
- ⑯ PROTECT EXISTING TREE TO REMAIN DURING CONSTRUCTION

PLAN
 SCALE: 1"=20'

SITE LEGEND

PROPERTY LINE	---
PROPOSED CURB	—
PROPOSED SIDEWALK / CONCRETE PAD	—
NUMBER OF PARKING SPACES	⊙
PROPOSED SIGN	⬮
PROPOSED WALL MOUNTED FIXTURE	⊥
PROPOSED CANOPY MOUNTED DOWN LIGHT	•
PROPOSED LIGHT POLE W/ SINGLE FIXTURE	⬮
EXISTING LIGHT POLE W/ SINGLE FIXTURE	⬮
PROPOSED LIGHT POLE W/ DOUBLE FIXTURE	⬮

NOTE: BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS. CARMINA & WOOD, P.C. ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.



PRELIMINARY
 NOT FOR CONSTRUCTION
 05.17.2013

REVISIONS:

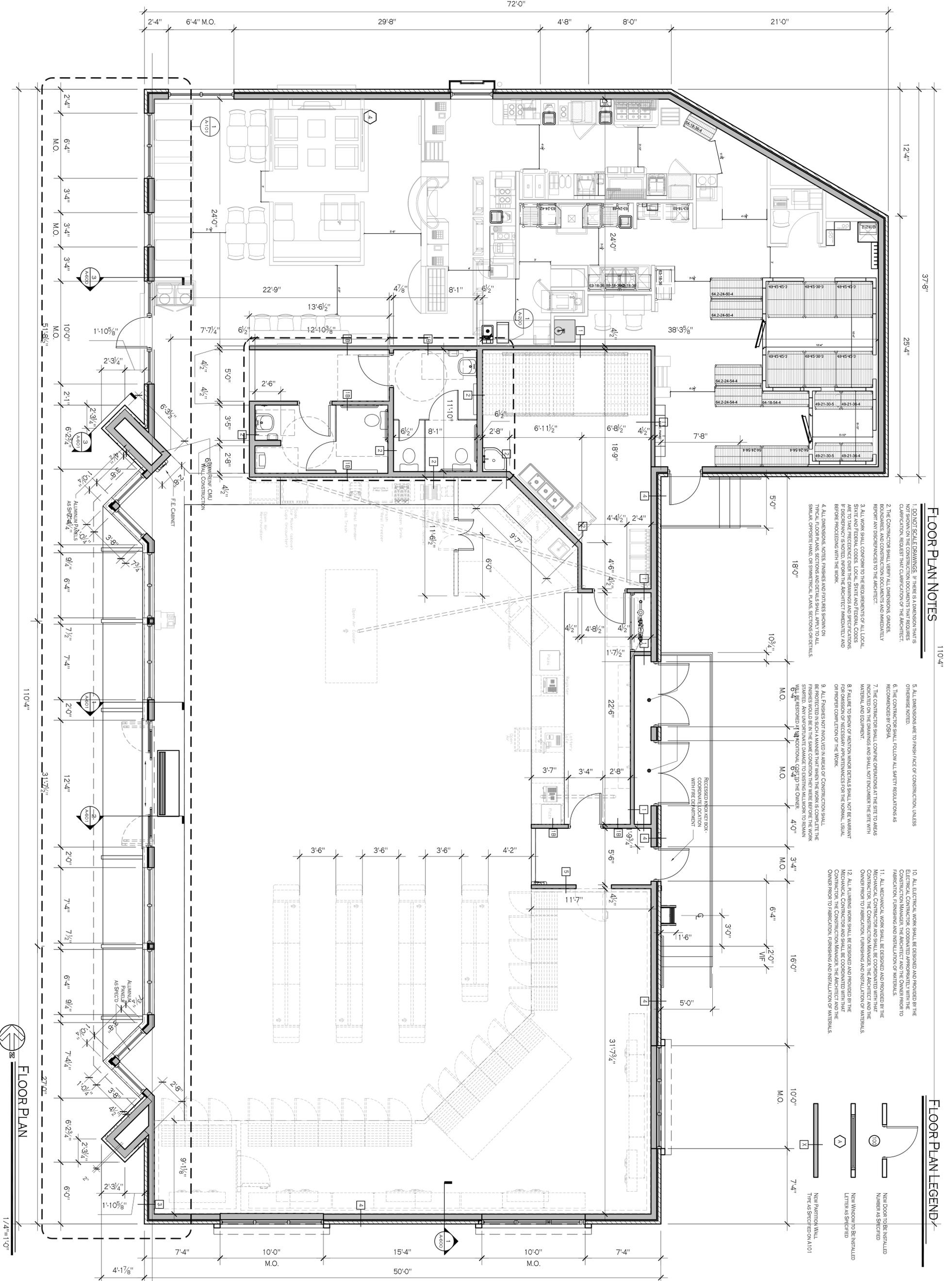
No.	Description	Date
1		
2		
3		
4		
5		
6		

PROJECT NAME:
 New Construction
Express Mart # 339
 1268 Arsenal Street
 Watertown, New York 13601

Issued for Construction: xx.xx.xx
 Municipality Submission:
 Drawn by:
 Scale:

DRAWING NAME:
 Site Plan

DRAWING NO.:
 C-100
 Project no.: 07.060



FLOOR PLAN NOTES

110'-4"

1. DO NOT SCALE DRAWINGS. IF THERE IS A DIMENSION THAT IS CLARIFICATION, REQUEST THE CLARIFICATION OF THE ARCHITECT.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, GRADES, BOUNDARIES, AND CONSTRUCTION DOCUMENTS AND IMMEDIATELY REPORT ANY DISCREPANCIES TO THE ARCHITECT.
3. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF ALL LOCAL, STATE AND FEDERAL CODES, LOCAL, STATE AND FEDERAL CODES ARE TO TAKE PRECEDENCE OVER THE DRAWINGS AND SPECIFICATIONS. IF DISCREPANCY IS NOTED, NOTIFY THE ARCHITECT IMMEDIATELY AND BEFORE PROCEEDING WITH THE WORK.
4. ALL DIMENSIONS, NOTES, FINISHES AND FIXTURES SHOWN ON TYPICAL FLOOR PLANS, SECTIONS AND DETAILS SHALL APPLY TO ALL SIMILAR OPPOSITE HAND, OR SYMMETRICAL PLANS, SECTIONS OR DETAILS.
5. ALL DIMENSIONS ARE TO FINISH FACE OF CONSTRUCTION UNLESS OTHERWISE NOTED.
6. THE CONTRACTOR SHALL FOLLOW ALL SAFETY REGULATIONS AS RECOMMENDED BY OSHA.
7. THE CONTRACTOR SHALL CONDUCT OPERATIONS AT THE SITE TO AVOID NEIGHBORHOOD COMPLAINTS AND SHALL NOT ENCUMBER THE SITE WITH MATERIALS AND EQUIPMENT.
8. FAILURE TO SHOW OR MENTION MINOR DETAILS SHALL NOT BE WARRANT FOR OMISSION OF NECESSARY APPLICANCES FOR THE NORMAL USUAL OR PROPER COMPLETION OF THE WORK.
9. ALL FINISHES NOT INCLUDED IN AREAS OF CONSTRUCTION SHALL BE PROTECTED IN SUCH A MANNER THAT WHEN THE WORK IS COMPLETE THE FINISHES WOULD BE IN THE SAME CONDITION THEY WERE BEFORE THE WORK STARTED. ANY UNFORTUNATE DAMAGE TO EXISTING MILLWORK TO REMAIN WILL BE RESTORED AT ADDITIONAL COST TO THE OWNER.
10. ALL ELECTRICAL WORK SHALL BE DESIGNED AND PROVIDED BY THE MECHANICAL CONTRACTOR AND SHALL BE COORDINATED WITH THE ELECTRICAL CONTRACTOR, THE ARCHITECT AND THE OWNER PRIOR TO FABRICATION, FURNISHING AND INSTALLATION OF MATERIALS.
11. ALL MECHANICAL WORK SHALL BE DESIGNED AND PROVIDED BY THE MECHANICAL CONTRACTOR AND SHALL BE COORDINATED WITH THE ELECTRICAL CONTRACTOR, THE ARCHITECT AND THE OWNER PRIOR TO FABRICATION, FURNISHING AND INSTALLATION OF MATERIALS.
12. ALL PLUMBING WORK SHALL BE DESIGNED AND PROVIDED BY THE MECHANICAL CONTRACTOR AND SHALL BE COORDINATED WITH THE ELECTRICAL CONTRACTOR, THE ARCHITECT AND THE OWNER PRIOR TO FABRICATION, FURNISHING AND INSTALLATION OF MATERIALS.

FLOOR PLAN LEGEND

- NEW DOOR TO BE INSTALLED NUMBER AS SPECIFIED
- NEW WINDOW TO BE INSTALLED LETTER AS SPECIFIED
- NEW PARTITION WALL TYPE AS SPECIFIED ON A101

REVISIONS:

No.	Description	Date

PRELIMINARY
NOT FOR CONSTRUCTION
01.29.2013



PROJECT NAME:
New Construction
Express Mart #339
1268 Arsenal Street
Watertown, New York 13601

DRAWING NO.:
A-100

DRAWING NAME:
Floor Plan & Notes

Issued for Construction: xx.xx.xx
Municipality Submission: WJF
Scale: 1/8"=1'-0"

Project no.: 07.060

PRELIMINARY
 NOT FOR CONSTRUCTION
 CT 26-2013

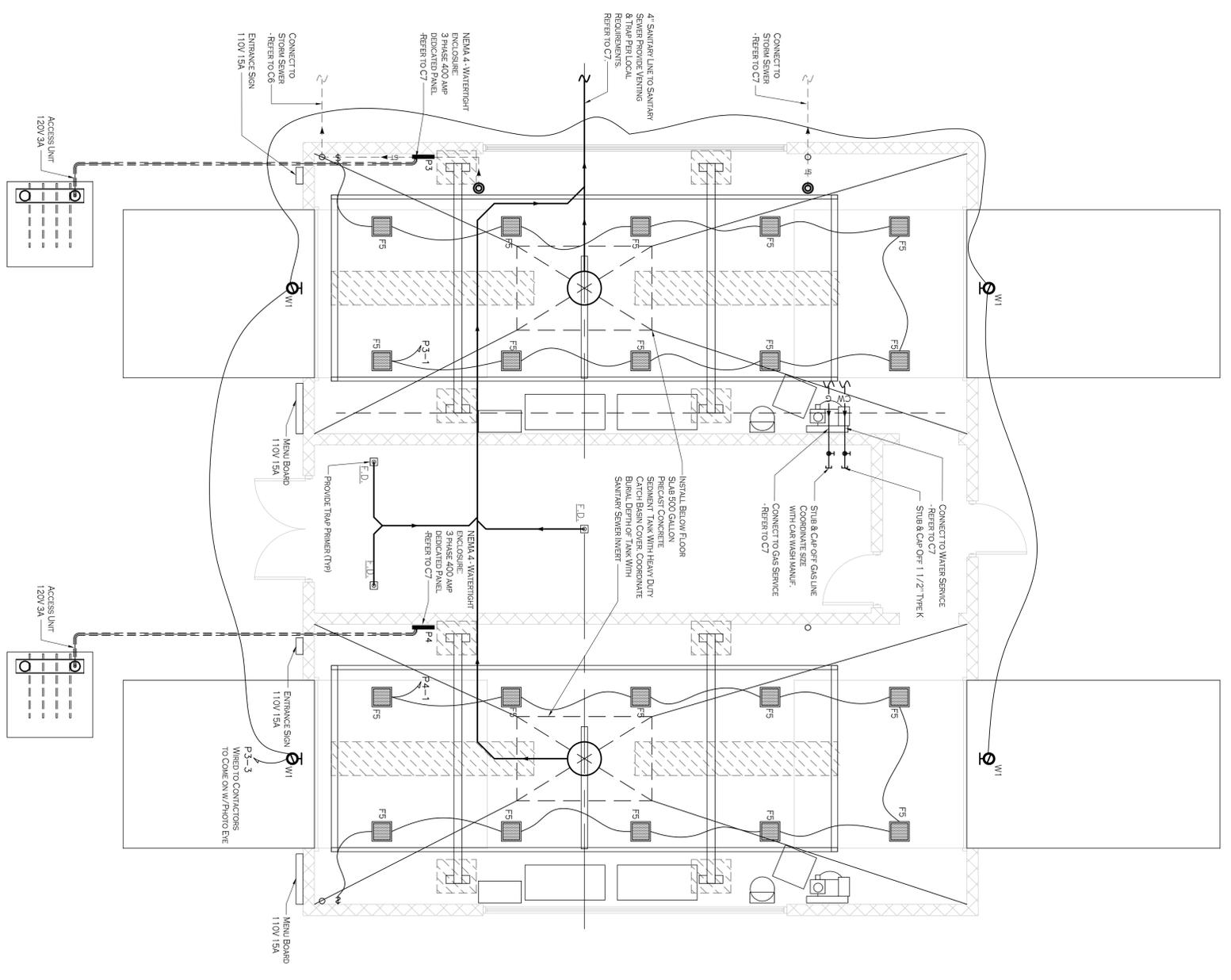
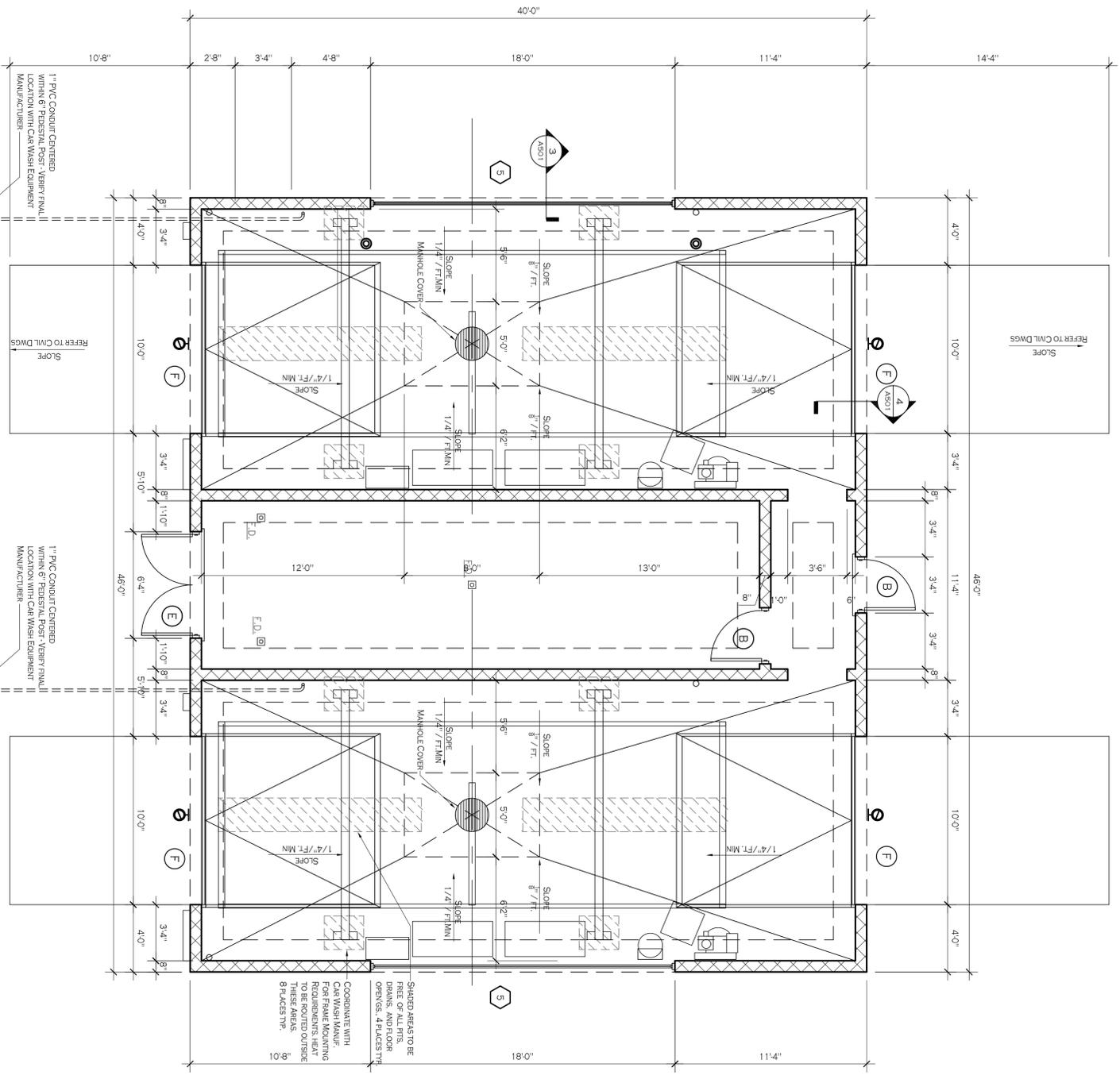
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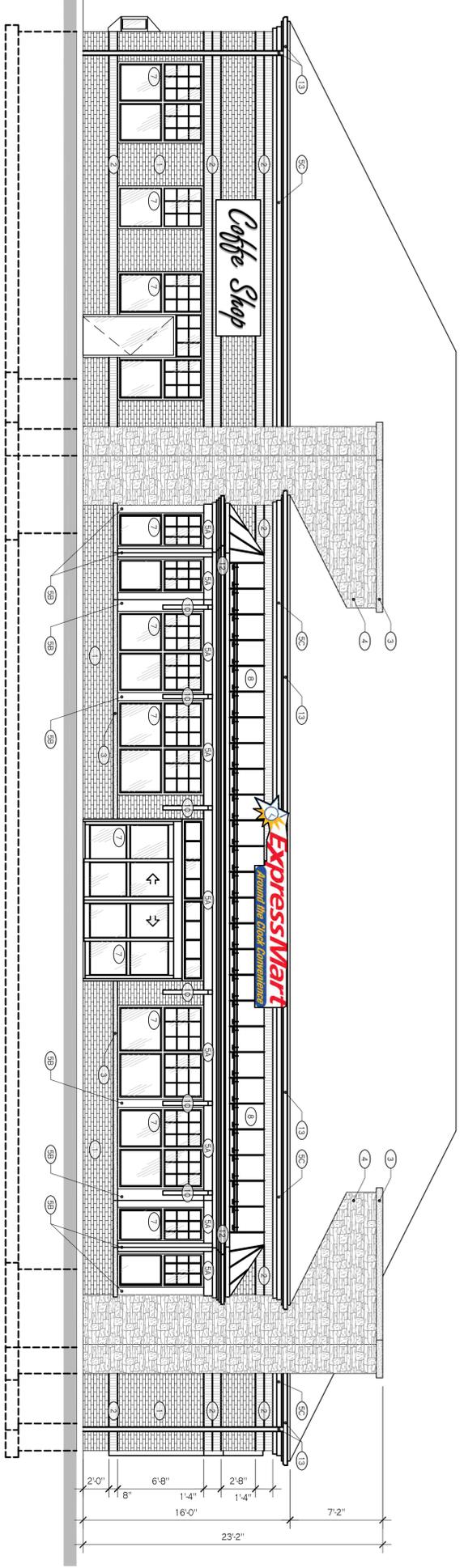
No.	Description	Date

PROJECT NAME:
 New Construction
Express Mart #339
 1268 Arsenal Street
 Watertown, New York 13601

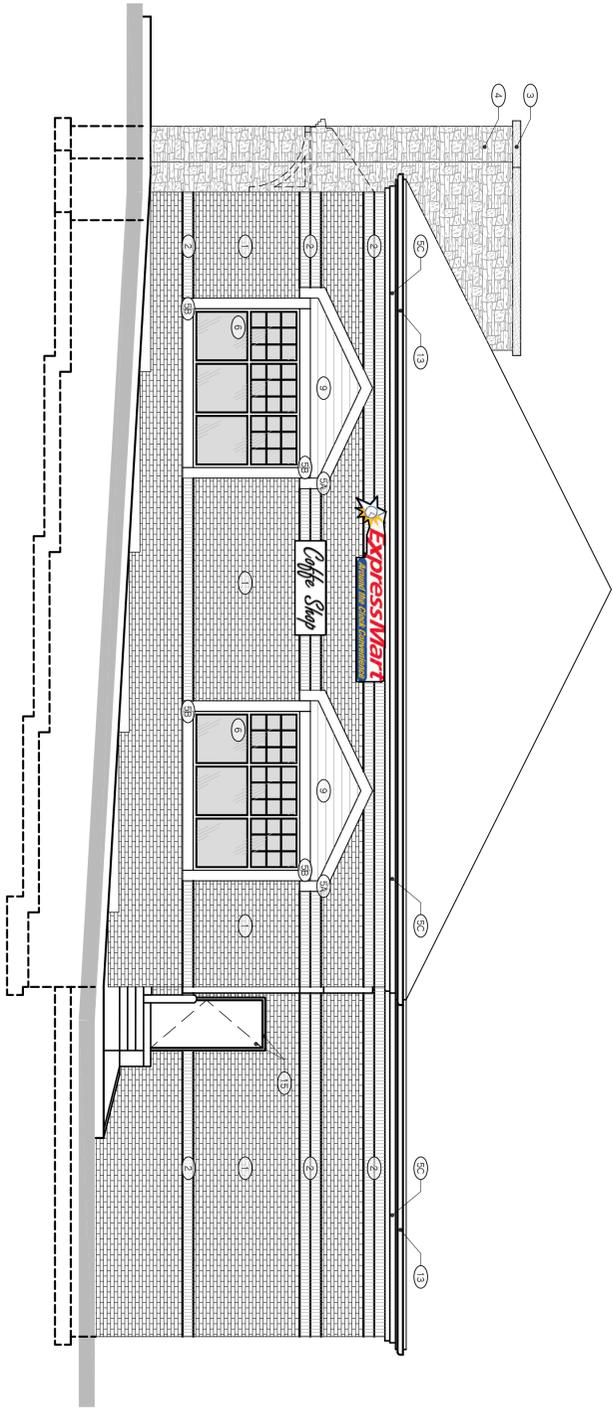
DRAWING NAME:
 Car Wash
 Floor &
 Utility Plans
DRAWING NO.:
 A-101
 Project no.: 07.060

Issued for Construction: xx.xx.xx
Municipality Submission: W.Ferrite
Scale: As Noted





1 NEW SOUTH ELEVATION
3/16"=1'-0"

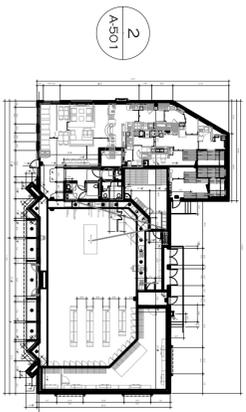


1 NEW EAST ELEVATION
3/16"=1'-0"

EXTERIOR FINISH SCHEDULE

CALLOUT	SYMBOL ON ELEVATION	MATERIALS	DESCRIPTION	LOCATION
1		BRICK VENEER	WATSONTOWN SOLDIER COURSE COLOR: GEORGETOWNE MODULAR TYPE 2 MB WATX GROUT: STANDARD COLOR	EXTERIOR WALLS
2		BRICK VENEER	WATSONTOWN SOLDIER COURSE COLOR: GEORGETOWNE MODULAR TYPE 2 MB WATX GROUT: STANDARD COLOR	BANDING
3		PRECAST CONCRETE	STEPS PLUS #972B	WINDOW SILL & WING WALL CAP
4		CULTURED STONE VENEER	ELDARADO STYLE: LIME STONE COLOR: SAN MARINO	WING WALLS
5A		TRIM	JAMES HARGRE TRIM BOARDS STYLE:3/4" SMOOTH COLOR: Match SW 6193 'Rock Garden'	SELECTED LOCATIONS
5B		TRIM	JAMES HARGRE TRIM BOARDS STYLE:3/4" SMOOTH COLOR: Match SW 6193 'Rock Garden'	SELECTED LOCATIONS
5C		TRIM	JAMES HARGRE TRIM BOARDS STYLE:3/4" SMOOTH COLOR: Match SW 6383 'Gingerly'	SELECTED LOCATIONS
6		SPANDREL GLASS	1" INSULATED GLASS OLDCASTLE GLASS OR EQUAL COLOR: CLEAR outside SPANDREL BLACK/INSIDE	EXTERIOR WINDOW GLAZING
7		GLASS	1" INSULATED GLASS OLDCASTLE GLASS OR EQUAL COLOR: CLEAR outside, LOW-E CLEAR inside	EXTERIOR WINDOW GLAZING
8		METAL ROOF SYSTEM	ATAS - Dutch Seam COLOR: Kiefer 500 - 23 'Copertone' (White Snow Guards)	CANOPY ROOF
9		SLIDING	JAMES HARGRE LAP - SLIDING STYLE:3/4" SMOOTH COLOR: Match SW 6193 'Rock Garden'	SELECTED LOCATIONS
10		CEDAR	THE RIGHT ANGLE INC. JASON BRACKET 1/2"x87/4" COLOR: Finish SW 6193 'Rock Garden'	CANOPY BRACKETS
11		POWDER COATED ALUMINIUM	COLOR: Match ATAS 05 'Copper Cream'	ALUMINIUM WINDOW & DOOR FRAMES
12		N/A	DECORATIVE ps. GUTTER & DOWNSPOUT	SELECTED LOCATIONS
13		N/A	8" ROMAN PROFILE GUTTER SYSTEM COLOR: Match ATAS 23 'Copertone'	SELECTED LOCATIONS
14		NOT USED	ATAS STYLE:5" K COLOR: Match ATAS 23 'Copertone'	SELECTED LOCATIONS
15		NOT USED	NOT USED	NOT USED
16		NOT USED	COLOR: Spiced Cider SW - 7702	HOLLOW METAL MAN DOORS & FRAMES (EXTERIOR)
17		NOT USED	CONTROL JOINT SEALANT TO MATCH BRICK - WINDOW SEALANT TO MATCH WINDOW FRAME	NOT USED

NOTES: 1) COLORS OF ALL MATERIALS ARE TO BE SELECTED FROM MANUFACTURERS FULL RANGE UNLESS NOTED OTHERWISE ABOVE.
2) TRIM TO BE FACTORY PRIMED AND FIELD PAINTED.



KEY PLAN



1/32"=1'-0"



487 Main Street, Suite 600
Buffalo, New York 14203
F 716.842.0283

PRELIMINARY
NOT FOR CONSTRUCTION
01.26.2013

REVISIONS:

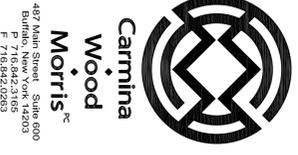
No.	Description	Date

PROJECT NAME:
New Construction
Express Mart #339
1268 Arsenal Street
Watertown, New York 13601

Issued for Construction: xx.xx.xx
Municipality Submission: J. Whaley
Drawn by: J. Whaley
Scale: As Noted

DRAWING NAME:
Exterior Elevations

DRAWING NO.:
A-500
Project no.: 07.060



487 Main Street, Suite 600
 Buffalo, New York 14203
 F 716.842.0283

Carmina Wood Morris

PRELIMINARY
 NOT FOR CONSTRUCTION
 01.26.2013

REVISIONS:		
No.	Description	Date

PROJECT NAME:
New Construction
Express Mart #339
 1268 Arsenal Street
 Watertown, New York 13601

Issued for Construction: xx.xx.xx
 Municipality Submission: J. Whaley
 Drawn by: J. Whaley
 Scale: As Noted

DRAWING NAME:
Exterior Elevations

DRAWING NO.:

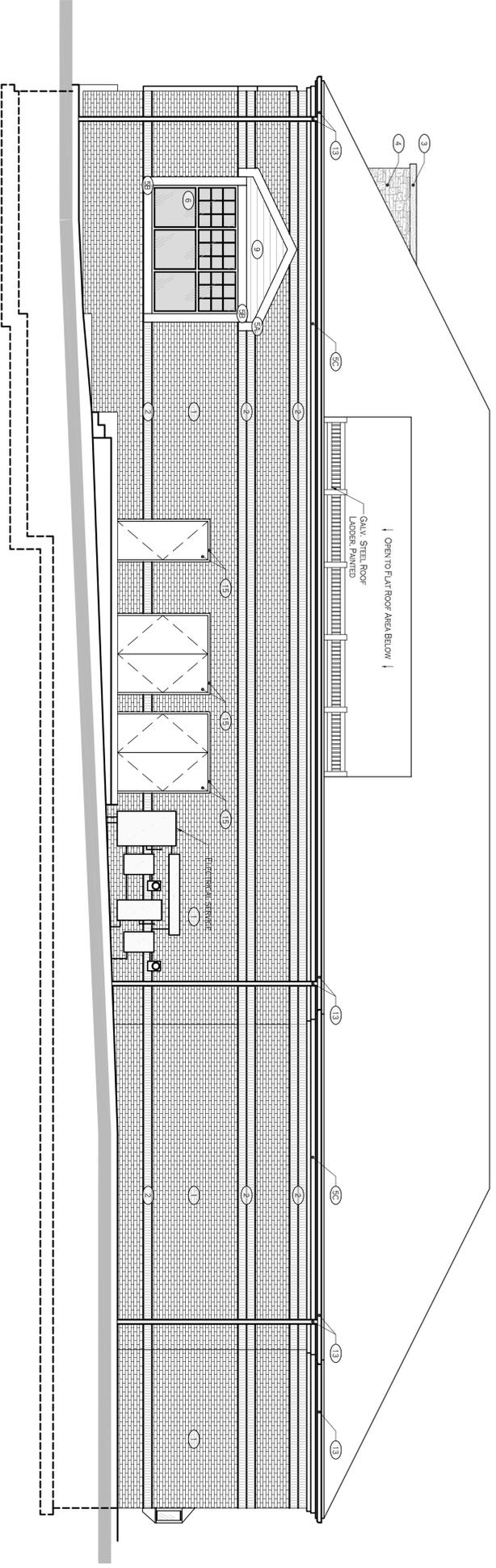
A-501

Project no.: 07.060

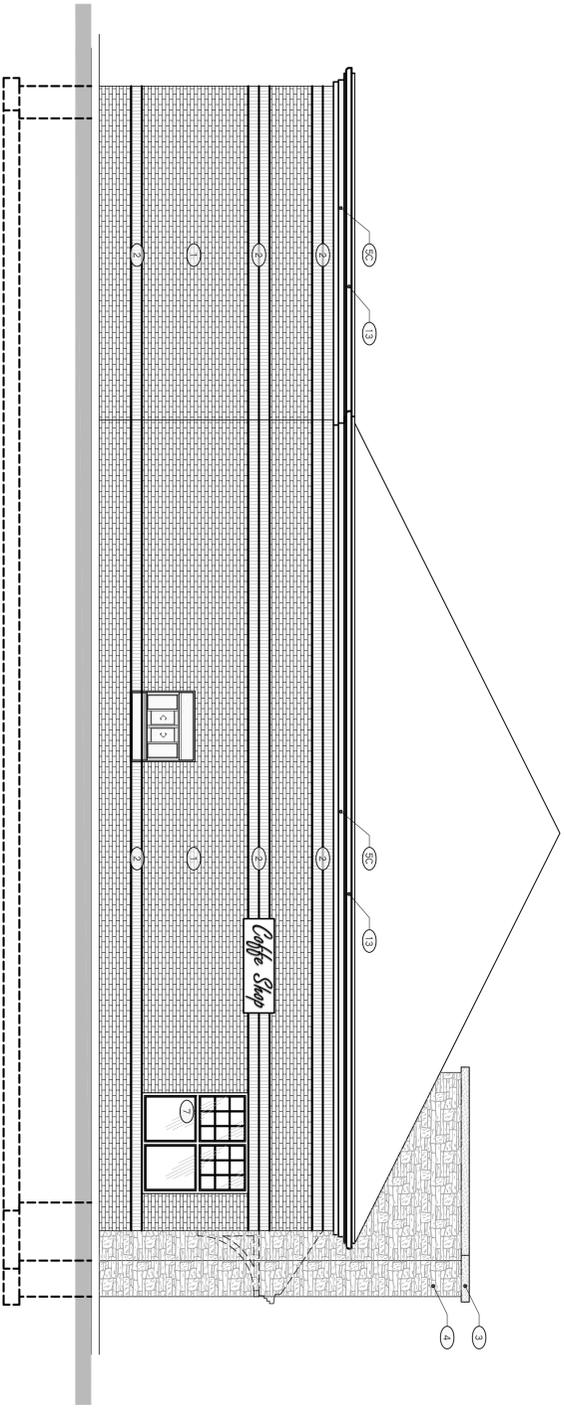
EXTERIOR FINISH SCHEDULE

CALLOUT	SYMBOL ON ELEVATION	MATERIALS	DESCRIPTION	LOCATION
(1)		BRICK VENEER	WATSONTOWN SOLDIER COURSE COLOR: GEORGETOWNE MODULAR TYPE 2 MB W/TEX GROUT: STANDARD COLOR	EXTERIOR WALLS
(2)		BRICK VENEER	WATSONTOWN SOLDIER COURSE COLOR: GEORGETOWNE MODULAR TYPE 2 MB W/TEX GROUT: STANDARD COLOR	BANDING
(3)		PRECAST CONCRETE	STEPS PLUS #972B	WINDOW SILL & WING WALL CAP
(4)		CULTURED STONE VENEER	ELDARADO STYLE LIME STONE COLOR: SAN MARINO	WING WALLS
(5A)		TRIM	JAMES HARGRE TRIM BOARDS STYLE:3M SMOOTH COLOR: Match SW 6193 "Rock Garden"	SELECTED LOCATIONS
(5B)		TRIM	JAMES HARGRE TRIM BOARDS STYLE:3M SMOOTH COLOR: Match SW 6193 "Rock Garden"	SELECTED LOCATIONS
(5C)		TRIM	JAMES HARGRE TRIM BOARDS STYLE:3M SMOOTH COLOR: Match SW 6383 "Gingerly"	SELECTED LOCATIONS
(6)		SPANDREL GLASS	T* INSULATED GLASS QUADCASTLE GLASS OR EQUAL COLOR: CLEAR outside, LOW-E CLEAR Inside	EXTERIOR WINDOW GLAZING
(7)		GLASS	T* INSULATED GLASS QUADCASTLE GLASS OR EQUAL COLOR: CLEAR outside, LOW-E CLEAR Inside	EXTERIOR WINDOW GLAZING
(8)		METAL ROOF SYSTEM	ATAS - Dutch Seam COLOR: Kym 500 - 23 "Copertone" (Mini Snow Guards)	CANOPY ROOF
(9)		SIDING	JAMES HARGRE LAP SIDING STYLE:3M SMOOTH COLOR: Match SW 6193 "Rock Garden"	SELECTED LOCATIONS
(10)		CEDAR	THE RIGHT ANGLE INC. JASON BRACKET 1.52"x87"x4" COLOR: Finish SW 6193 "Rock Garden"	CANOPY BRACKETS
(11)		POWDER COATED ALUMINUM	COLOR: Match ATAS 05 "Copperd Cream"	ALUMINUM WINDOW & DOOR FRAMES
(12)		DECORATIVE ps. GUTTER & DOWNSPOUT	SAC SYSTEMS 8" ROMAN PROFILE GUTTER SYSTEM COLOR: Match ATAS 23 "Copertone"	SELECTED LOCATIONS
(13)		N/A	ATAS STYLE:5" K COLOR: Match ATAS 23 "Copertone"	SELECTED LOCATIONS
(14)		NOT USED	NOT USED	NOT USED
(15)		N/A	COLOR: Spiced Cider SW - 7702	HOLLOW METAL MAN DOORS & FRAMES (EXTERIOR)
(16)		NOT USED	NOT USED	NOT USED
(17)		SEALANT	- CONTROL JOINT SEALANT TO MATCH BRICK - WINDOW SEALANT TO MATCH WINDOW FRAME	NOT USED

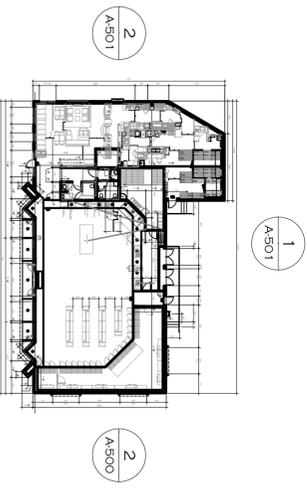
NOTES: 1) COLORS OF ALL MATERIALS ARE TO BE SELECTED FROM MANUFACTURERS FULL RANGE UNLESS NOTED OTHERWISE ABOVE.
 2) TRIM TO BE FACTORY PRIMED AND FIELD PAINTED.



1 NEW NORTH ELEVATION
 3/16"=1'-0"

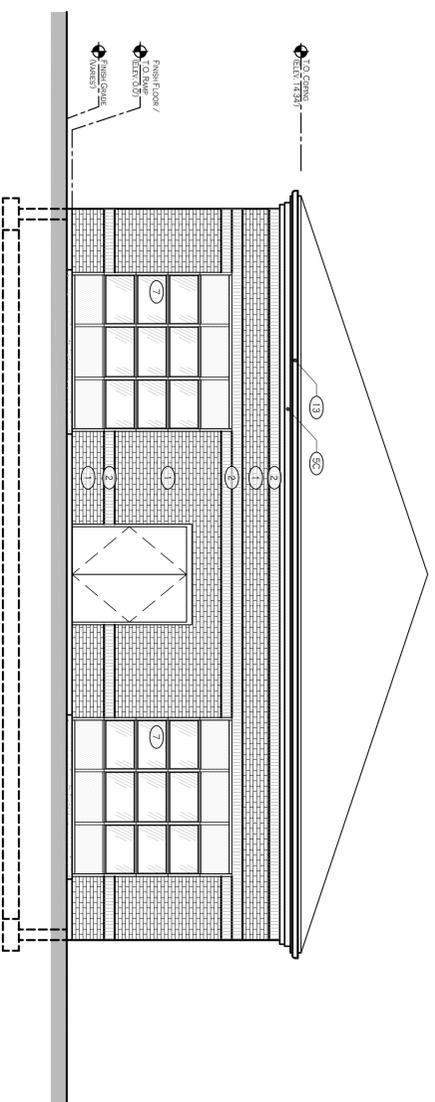


2 NEW WEST ELEVATION
 3/16"=1'-0"

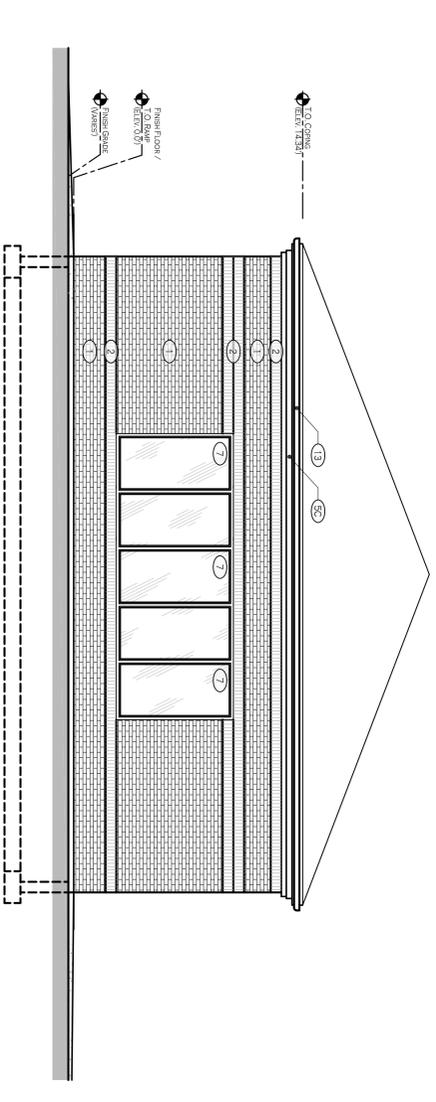


KEY PLAN
 1/32"=1'-0"

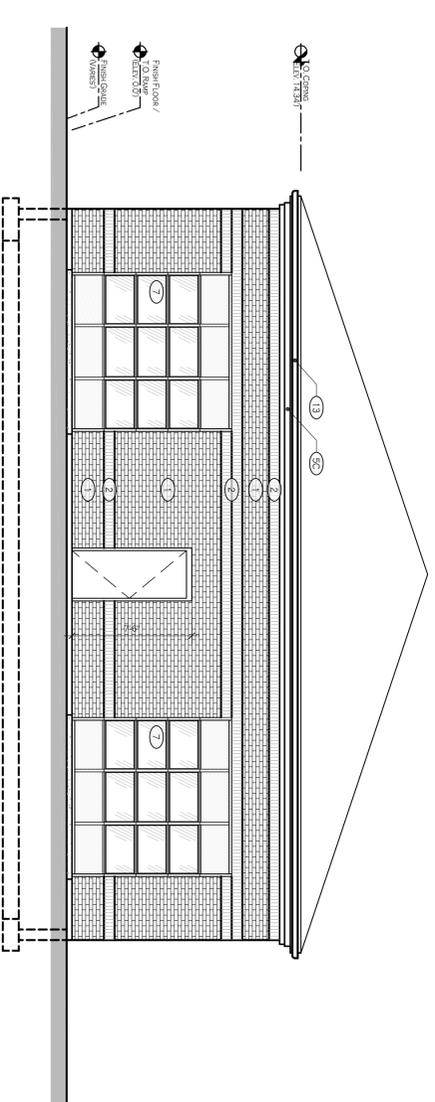




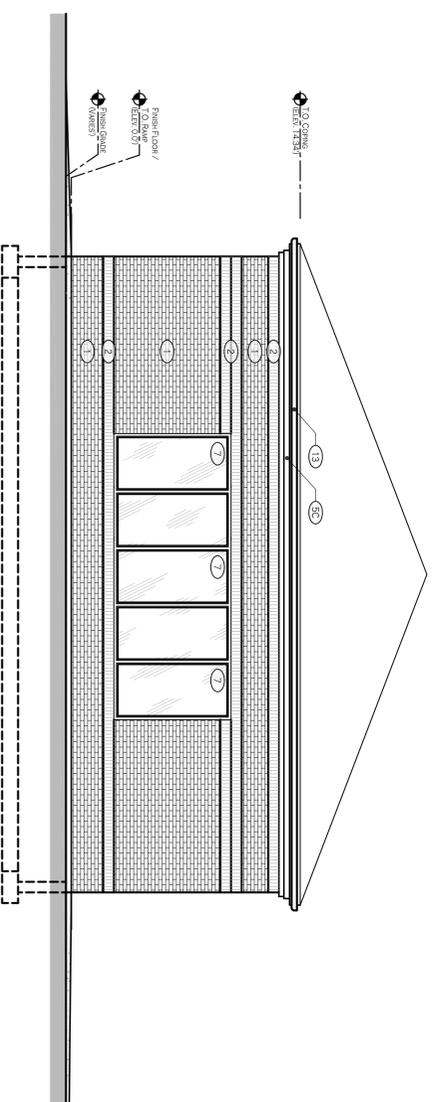
1 NEW SOUTH ELEVATION
3/16"=1'-0"



2 NEW EAST ELEVATION
3/16"=1'-0"



3 NEW NORTH ELEVATION
3/16"=1'-0"



4 NEW WEST ELEVATION
3/16"=1'-0"

CALLOUT	SYMBOL ON ELEVATION	MATERIALS	DESCRIPTION	LOCATION
1		BRICK VENEER	WATSONTOWN SOLDIER COURSE COLOR: GEORGETOWNE MODULAR TYPE 2 MB WATX GROUT: STANDARD COLOR	EXTERIOR WALLS
2		BRICK VENEER	WATSONTOWN SOLDIER COURSE COLOR: GEORGETOWNE MODULAR TYPE 2 MB WATX GROUT: STANDARD COLOR	BANDING
3		PRECAST CONCRETE	STEPS PLUS #972B	WINDOW SILL & WING WALL CAP
4		CULTURED STONE VENEER	ELDARADO STYLE: LIME STONE COLOR: SAN MARINO	WING WALLS
5A		N/A	JAMES HARDIE TRIM BOARDS COLOR: Match SW 6195 "Rice Grain"	SELECTED LOCATIONS
5B		N/A	JAMES HARDIE TRIM BOARDS STYLE: 3/4" SMOOTH COLOR: Match SW 6155 "Rice Grain"	SELECTED LOCATIONS
5C		N/A	JAMES HARDIE TRIM BOARDS STYLE: 3/4" SMOOTH COLOR: Match SW 6383 "Shingery"	SELECTED LOCATIONS
6		SPANDREL GLASS	1" INSULATED GLASS OLDCASTLE GLASS OR EQUAL COLOR: CLEAR outside SPANDREL BLACK inside	EXTERIOR WINDOW GLAZING
7		GLASS	1" INSULATED GLASS OLDCASTLE GLASS OR EQUAL COLOR: CLEAR outside, LOW-E CLEAR inside	EXTERIOR WINDOW GLAZING
8		METAL ROOF SYSTEM	ATAS - Dutch Seam COLOR: Kynar 500 - 23 "Copperstone" (With Snow Guards)	CANOPY ROOF
9		SIDING	JAMES HARDIE LAP - SIDING STYLE: 3/4" SMOOTH COLOR: Match SW 6195 "Rock Garden"	SELECTED LOCATIONS
10		CEDAR	THE RIGHT ANGLE INC. JASON BRACKET: 32"x36"x4" COLOR: Paint SW 6195 "Rice Grain"	CANOPY BRACKETS
11		POWDER COATED ALUMINUM	COLOR: Match ATAS 05 "Concord Cream"	ALUMINUM WINDOW & DOOR FRAMES
12		N/A	DECORATIVE ALUMINUM SAFE SYSTEMS 8" ROMAN PROFILE GUTTER SYSTEM COLOR: Match ATAS Z3 "Copperstone"	SELECTED LOCATIONS
13		N/A	COPING GUTTER & DOWNSPOUT ATAS STYLE: 5" K COLOR: Match ATAS Z3 "Copperstone"	SELECTED LOCATIONS
14		NOT USED	NOT USED	NOT USED
15		N/A	PAINT COLOR: Spiced Oiler SW - 7702	HOLLOW METAL MAN DOORS & FRAMES (EXTERIOR)
16		NOT USED	NOT USED	NOT USED
17		N/A	SEALANT - CONTROL JOINT SEALANT TO MATCH BRICK - WINDOW SEALANT TO MATCH WINDOW FRAME	NOT USED

NOTES: 1) COLORS OF ALL MATERIALS ARE TO BE SELECTED FROM MANUFACTURERS FULL RANGE UNLESS NOTED OTHERWISE ABOVE.
2) TRIM TO BE FACTORY PRIMED AND FIELD PAINTED.



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PRELIMINARY
NOT FOR CONSTRUCTION
07.26.2013

REVISIONS:	No.	Description	Date

PROJECT NAME:
New Construction
Express Mart #339
1268 Arsenal Street
Watertown, New York 13601

Issued for Construction: xx-xx-xx
Municipality Submission: J. Whaley
Drawn by: As Noted
Scale:
DRAWING NAME:
Exterior Elevations

DRAWING NO.:
A-502
Project no.: 07.060



KEY PLAN
1/32"=1'-0"

