

17 July 2013

Mr. Kurt Hauk, P.E.
City Engineer
Room 305 – City Hall
245 Washington St
Watertown, NY 13601

Edward G. Olley, Jr., AIA
William P. Plante, PLS
Patrick J. Scordo, PE
Thomas S.M. Compo, PE
Ryan Churchill, PE

Gregory F. Ashley, PLS
Brian J. Drake, PE, LEED AP
Stephen J. Gracey, PLS

In Consultation
Leo F. Gozalkowski, PLS
Stephen W. Yaussi, AIA

Re: Site Plan Submission
White Birch Enterprise, LLC Proposed Parking Facility
File: 2013-133

Dear Mr. Hauk:

On behalf of White Birch Enterprise, LLC, GYMO, P.C. is submitting the following materials for Site Plan review at the 6 August 2013 City of Watertown Planning Board meeting and the 30 July 2013 Jefferson County Planning Board meeting:

- 3 full size sets of Site Plans for Departmental Review, including a wet stamped original (Cover, C001, C101, PH101 and C501-C503);
- 3 – 18" x 24" sets of "Survey and Topographic Map" (by Storino Geomatics, PLLC);
- 13 – 11"x17" sets of Site Plans and Survey;
- 16 – 11"x17" sets of Handicap Parking Area Sketch – Woolworth Building;
- 16 Engineering Reports (included as part of this cover letter);
- City of Watertown Site Plan Application, and
- \$50 Application Fee.

Project Location and Description

The project is located on tax parcels 7-1-113.000, 7-1-114.000, 7-1-116.000, and a portion of 7-1-112.001 (being subdivided) in the City of Watertown. The City of Watertown is currently the owner of the abovementioned parcels. It is understood that a subdivision of lot 7-1-112.001 and assemblage of the above mentioned parcels is being completed and the City of Watertown will ultimately convey the parcel to the owner of the Woolworth Building. The proposed development consists of a 28 parking space parking area, retaining walls with railings, a storm water collection and conveyance system, landscaping, and lighting. The parking facility will be used for auxiliary parking for the proposed Woolworth Building apartments. GYMO, P.C. understands that the City of Watertown will complete the SEQR form and associated documentation for this project.

Existing grades of the project area are generally between 10 and 15 percent. In order to keep the proposed parking area slope reasonable (between 4 and 7 percent), segmental retaining walls were utilized as shown on the Site Development Plans. Pedestrian access to Public Square is provided by a stairway at the southwest corner of the proposed parking lot.

Handicapped parking is proposed for the Woolworth Building apartments, which this parking facility will serve. Section 1106 of the NYS Building Code requires R-2 and R-3 (architect/owner designation) structures to have two percent of the number of proposed units to be designated as handicapped spaces. In this case, with 50 apartment units proposed, it would equate to one space. This handicapped space is proposed to be adjacent to the Woolworth Building, as this location has more direct access to the apartments, without long ramps and without the need to cross busy streets. This handicap parking being separate from the proposed parking facility is also allowed by section 1106 of the NYS Building Code. A sketch of the proposed handicap parking space and access area is included in this submission.

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Page 2 of 2

Utilities and Landscaping

Storm water runoff will be directed to two proposed catch basins and discharged to an existing catch basin adjacent to the site, located on the existing asphalt driveway between Public Square and the JB Wise Parking Lot. For location of proposed storm sewer facilities, see the Site Development Plans.

Landscaping has been designed to meet City of Watertown Standards. The area between the proposed parking facility retaining wall and Public Square is to consist of a mixture of trees and planting beds with shrubs. The remainder of the green space will have trees planted throughout. Refer to Site Development Plans for proposed tree species and locations.

Lighting

There are three light poles proposed on the site. A photometric plan has been prepared to show proposed lighting brightness levels for the parking area. The City of Watertown's standard light pole and fixture typically utilized within the general area of the City (Public Square) are proposed for the project. Please see attached lighting cut sheets and the Site Development Plans for photometric and lighting information.

The developer plans on beginning construction as soon as possible.

If there are any questions or you require additional information, please feel free to contact our office.

Sincerely,
GYMO, Architecture, Engineering & Land Surveying, PC



Ryan G. Churchill, P.E.
Senior Project Engineer, Associate

Attachments

RGC/thr

pc: Thomas H. Ross - GYMO, PC
Erich Seber - White Birch Enterprise, LLC



CITY OF WATERTOWN SITE PLAN APPLICATION PROCESS

The applicant is responsible for completeness of application and inclusion of all required information.

****INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED****

In order to expedite the Site Plan review process, all applicants are encouraged to have a pre-application meeting with Planning & Engineering staff. Staff can be reached at (315) 785-7740.

In the interest of expediting site plan approvals, the City of Watertown wishes to advise you of the procedures in applying for these referrals:

A. Fill out the Site Plan / Site Plan Waiver - Determination Flow Chart below:

1. Is the use a one, two, or three family dwelling?
 YES (Site Plan Review is **not** required. You may apply directly for Building Permit.)
 NO (Go to question 2)
2. Is your building or parking lot construction or expansion less than or equal to 400 sq. ft.?
 YES (Site Plan Review is not required. You may apply directly for Building Permit.)
 NO (Go to question 3)
3. Does your building or parking lot construction or expansion exceed 2500 sq. ft.?
 YES (Site Plan Review required. Submit the Site Plan Application Form.)
 NO (Go to question 4)
4. Is your proposed building the first on the lot?
 YES (Site Plan Review required. Submit the Site Plan Application Form.)
 NO (Go to question 5)
5. Does your project involve a change in the property boundaries?
 YES (Site Plan Review required. Submit the Site Plan Application Form.)
 NO (Go to question 6)
6. Does your building or parking lot construction or expansion change or impair the overall grading, circulation, drainage, utility services, and appearance and visual effect of the property?
 YES (Site Plan Review required. Submit the Site Plan Application Form.)
 NO (*Site Plan Waiver allowed. Submit the Site Plan Waiver Form.)

* The City of Watertown Planning Board reserves the right to require Site Plan Review.

B. When Jefferson County Planning Board review is necessary, one additional set is required. **SUBMISSION MUST CONTAIN COMPLETE COLLATED SETS OF ALL DATA.**
 A complete submittal set at a minimum contains the following:

1. For Site Plan Approval *
 - 15 sets** - At least 3 full size, including one original full size.
 - Remaining sets can be 11x17 if legible.
 - Completed Site Plan Application (see attached application form).
 - * City Council Approval is required for Site Plans.

2. For Site Plan Waiver Approval **
 - 10 sets** - At least 3 full size, including one original full size.
 - Remaining sets can be 11x17 if legible
 - Completed Site Plan Waiver Application (see attached application form).
 - ** Site Plan approval of City Council would be waived by the City of Watertown Planning Board.

C. Address submittals to:
 Kurt W. Hauk, P.E.
 City Engineer
 Room 305, City Hall
 245 Washington Street
 Watertown, NY 13601

D. A **\$50.00** application fee must accompany the submittal.
 A **\$50.00** application fee must accompany each resubmittal. You will be notified by the Engineering Department if an application requires a resubmittal.
 Make checks payable to the City of Watertown.

E. All Site Plan submittals must be received by the City Engineer at least 14 calendar days prior to the next Planning Board Meeting; 21 calendar days if Jefferson County Planning Board action is necessary. Failure to meet the submittal deadline will result in **not** making the agenda for the upcoming Planning Board Meeting. **THERE ARE NO EXCEPTIONS.** The City Planning Board meets on the first Tuesday of each month at 1:30 P.M. in the City Council Chambers on the 3rd Floor of City Hall.

CITY OF WATERTOWN PLANNING BOARD 2010 (1 ST TUES. MONTH @ 1:30 PM)		CITY OF WATERTOWN CITY COUNCIL 2010 (1 ST & 3 RD MONDAY @ 7 PM)		JEFFERSON COUNTY PLANNING BOARD 2010 (LAST TUES. MONTH)	
MEETING DATE	DEADLINE	MEETING DATE		MEETING DATE	DEADLINE
Jan. 5	Dec. 22	Jan. 4, 19		Jan. 26	Jan. 12
Feb. 2	Jan. 19	Feb. 1, 16		Feb. 23	Feb. 9
March 2	Feb. 16	March 1, 15		March 30	March 16
April 6	March 23	Apr. 5, 19		April 27	April 13
May 4	April 20	May 3, 17		May 25	May 11
June 1	May 18	Jun. 7, 21		June 29	June 15
July 6	June 22	July 5, 19		July 27	July 13
Aug. 3	July 20	Aug. 2, 16		Aug. 24	Aug. 10
Sept. 7	Aug. 24	Sept. 7, 20		Sept. 28	Sept. 14
Oct. 5	Sept. 21	Oct. 4, 18		Oct. 26	Oct. 12
Nov. 2	Oct. 19	Nov. 1, 15		Nov. 23	Nov. 9
Dec. 7	Nov. 23	Dec. 6, 20		Dec. 28	Dec. 14



**CITY OF WATERTOWN
SITE PLAN APPLICATION
AND
SHORT ENVIRONMENTAL
ASSESSMENT FORM, PART 1**

** Provide responses for all sections. INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED. Failure to submit required information by the submittal deadline will result in **not** making the agenda for the upcoming Planning Board meeting.

PROPERTY LOCATION

Proposed Project Name: White Birch Enterprise, LLC Parking Facility

Tax Parcel Number: 7-1-112.001, 7-1-113.000, 7-1-114.000, 7-1-116.000

Property Address: Public Square

Existing Zoning Classification: Commercial and Downtown Core Overlay District

OWNER OF PROPERTY

Name: City of Watertown

Address: 245 Washington Street
Watertown, NY 13601

Telephone Number: (315) 785-7740

Fax Number: (315) 785-7829

APPLICANT

Name: White Birch Enterprise, LLC

Address: 850 Still Creek Lane
Gaithersburg, MD 20878

Telephone Number: (301) 355-4624

Fax Number: _____

Email Address: eseber@whitebirchllc.com

ENGINEER/ARCHITECT/SURVEYOR

Name: Ryan G. Churchill, P.E. - GYMO, P.C.

Address: 220 Sterling Street, Watertown, NY 13601
Watertown, NY 13601

Telephone Number: (315) 788-3900

Fax Number: (315) 788-0668

Email Address: ryan@gymopc.com

PROJECT DESCRIPTION

Describe project and proposed use briefly:

Construction of a 28 space parking facility, storm water collection facilities, retaining walls, landscaping, and lighting to serve the proposed Woolworth Building Apartments project.

Is proposed Action:

- New Expansion Modification/Alteration

Amount of Land Affected:

Initially: ± 0.35 Acres Ultimately: ± 0.35 Acres

Will proposed action comply with existing zoning or other existing land use restrictions?

- Yes No If no, describe briefly

What is present land use in vicinity of project?

- Residential Industrial Commercial Agriculture
- Park/Forest/Open Space Other

Describe: Restaurants, Professional Buildings, Apartments

Does project involve a permit approval, or funding, now or ultimately from any other Governmental Agency (Federal, State or Local)?

- Yes No If yes, list agency(s) and permit/approval(s)

NYS HCR

Does any aspect of the project have a currently valid permit or approval?

- Yes No If yes, list agency(s) and permit/approval(s)

As a result of proposed project, will existing permit/approval require modification?

Yes No

Proposed number of housing units (if applicable): N/A

Proposed building area: 1st Floor _____ Sq. Ft.

1st Floor _____ Sq. Ft.

3rd Floor _____ Sq. Ft.

Total _____ Sq. Ft.

Area of building to be used for the boiler room, heat facilities, utility facilities
and storage: N/A _____ Sq. Ft.

Number of parking spaces proposed: 28 spaces

Construction Schedule: Summer 2013

Hours of Operation: N/A

Volume of traffic to be generated: N/A _____ ADT

REQUIRED DRAWINGS:

** The following drawings with the listed information **ARE REQUIRED, NOT OPTIONAL**. If the required information is not included and/or addressed, the Site Plan Application will **not** be processed.

BOUNDARY & TOPOGRAPHIC SURVEY

(Depict existing features as of the date of the Site Plan Application. This Survey and Map must be performed and created by a Professional Land Surveyor licensed and currently registered to practice in the State of New York. This Survey and Map must be stamped and signed with an original seal and signature on at least one copy, the rest may be copies thereof.

All elevations are National Geodetic Vertical Datum of 1929 (NGVD29).

1' contours are shown & labeled with appropriate spot elevations.

All existing features on and within 50 feet of the subject property are shown and labeled. Unless restricted

All existing utilities on and within 50 feet of the subject property are shown and labeled.

All existing easements and/or right-of-ways are shown and labeled.

Existing property lines (bearings & distances), margins, acreage, zoning, existing land use, reputed owner, adjacent reputed owners & tax parcel numbers are shown and labeled.

The north arrow & graphic scale are shown.

DEMOLITION PLAN (If Applicable)

All existing features on and within 50 feet of the subject property are shown and labeled.

All items to be removed are labeled in darker text.

SITE PLAN

All proposed above ground features are depicted and clearly labeled.

All proposed features are clearly labeled "proposed".

All proposed easements & right-of-ways are shown and labeled.

Land use, zoning, & tax parcel number are shown.

- The Plan is adequately dimensioned including radii.
- The line work & text for all proposed features is shown darker than existing features.
- All vehicular & pedestrian traffic circulation is shown including a delivery or refuse vehicle entering and exiting the property.
- Proposed parking & loading spaces including ADA accessible spaces are shown and labeled.
- Refuse Enclosure Area (Dumpster), if applicable, is shown. Section 161-19.1 of the Zoning Ordinance states, "No refuse vehicle or refuse container shall be parked or placed within 15 feet of a party line without the written consent of the adjoining owner, if the owner occupies any part of the adjoining property".
- The north arrow & graphic scale are shown.

GRADING PLAN

- All proposed below ground features including elevations & inverts are shown and labeled.
- All proposed above ground features are shown and labeled.
- The line work & text for all proposed features is shown darker than existing features.
- All proposed easements & right-of-ways are shown and labeled.
- 1' existing contours are shown dashed & labeled with appropriate spot elevations.
- 1' proposed contours are shown & labeled with appropriate spot elevations.
- All elevations are National Geodetic Vertical Datum of 1929 (NGVD29).
- Sediment & Erosion control are shown & labeled on the grading plan unless separate drawings have been provided as part of a Stormwater Pollution Prevention Plan (SWPPP).

UTILITY PLAN

- All proposed above & below ground features are shown and labeled.
- All existing above & below ground utilities including sanitary, storm water, water, electric, gas, telephone, cable, fiber optic, etc. are shown and labeled.

- All proposed easements & right-of-ways are shown and labeled.
- The Plan is adequately dimensioned including radii.
- The line work & text for all proposed features is shown darker than existing features.
- The following note has been added to the drawings stating, "All water main and service work must be coordinated with the City of Watertown Water Department. The Water Department requirements supercede all other plans and specifications provided."

LANDSCAPING PLAN

- All proposed above ground features are shown and labeled.
- All proposed trees, shrubs, and other plantings are shown and labeled.
- All proposed landscaping & text are shown darker than existing features.
- All proposed landscaping is clearly depicted, labeled and keyed to a plant schedule that includes the scientific name, common name, size, quantity, etc.
- For additional landscaping requirements where nonresidential districts and land uses abut land in any residential district, please refer to Section 310-59, Landscaping of the City's Zoning Ordinance.
- Site Plan complies with and meets acceptable guidelines set forth in Appendix A - Landscaping and Buffer Zone Guidelines (August 7, 2007).**

PHOTOMETRIC PLAN (If Applicable)

- All proposed above ground features are shown.
- Photometric spot elevations or labeled photometric contours of the property are clearly depicted. Light spillage across all property lines shall not exceed 0.5 foot-candles.

CONSTRUCTION DETAILS & NOTES

- All details and notes necessary to adequately complete the project including, but not limited to, landscaping, curbing, catch basins, manholes, water line, pavement, sidewalks, trench, lighting, trash enclosure, etc. are provided.
- Maintenance & protection and traffic plans & notes for all required work within City streets including driveways, water laterals, sanitary laterals, storm connections, etc. are provided.

- The following note must be added to the drawings stating:
“All work to be performed within the City of Watertown margin will require sign-off from a Professional Engineer, licensed and currently registered to practice in the State of New York, that the work was built according to the approved site plan and applicable City of Watertown standards. Compaction testing will be required for all work to be performed within the City of Watertown margin and must be submitted to the City of Watertown Codes Department.”

PRELIMINARY ARCHITECTURAL PLANS (If Applicable)

- Floor plan drawings, including finished floor elevations, for all buildings to be constructed are provided.
- Exterior elevations including exterior materials and colors for all buildings to be constructed are provided.
- Roof outline depicting shape, slope and direction is provided.

ENGINEERING REPORT

**** The engineering report at a minimum includes the following:**

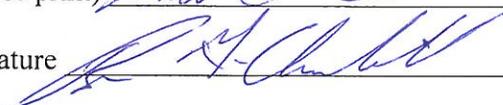
- Project location
- Project description
- Existing & proposed sanitary sewer flows & summary
- Water flows & pressure
- Storm Water Pre & Post Construction calculations & summary
- Traffic impacts
- Lighting summary
- Landscaping summary

GENERAL INFORMATION

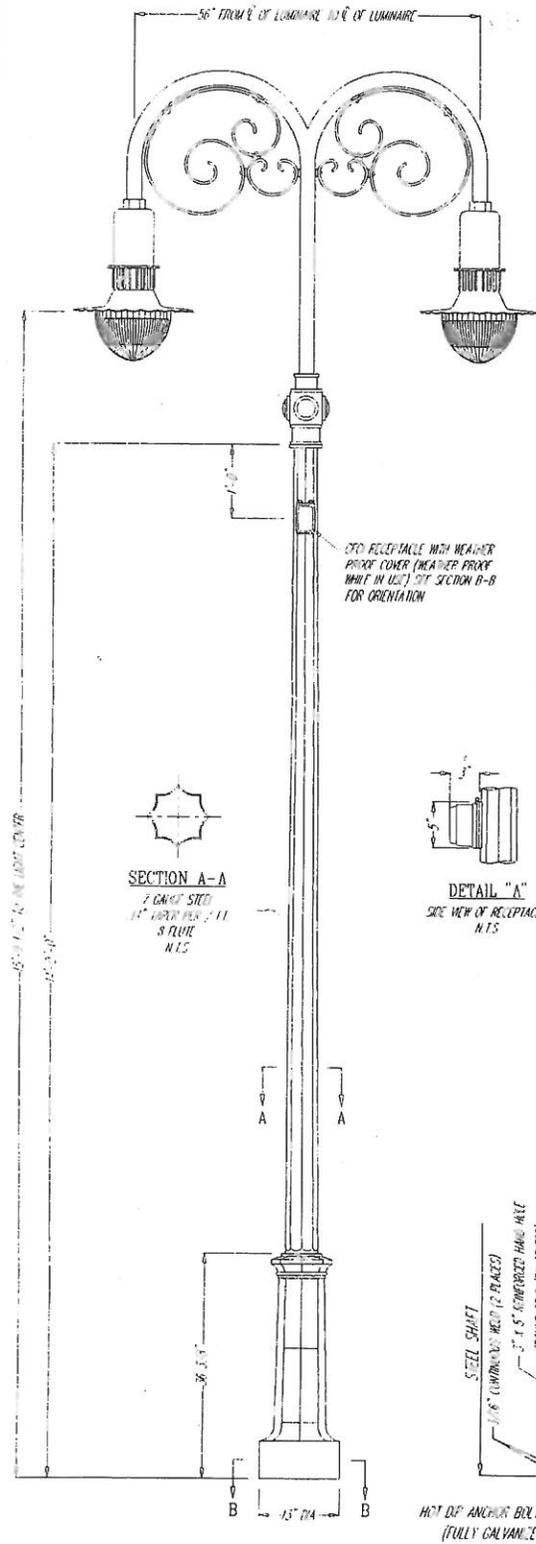
- ALL ITEMS ARE STAMPED & SIGNED WITH AN ORIGINAL SIGNATURE BY A PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, OR SURVEYOR LICENSED AND CURRENTLY REGISTERED TO PRACTICE IN THE STATE OF NEW YORK.
- If required, a copy of the Stormwater Pollution Prevention Plan (SWPPP) submitted to the NYSDEC will also be sent to the City of Watertown Engineering Department.
- If required, a copy of all submittals sent to the New York State Department of Environmental Conservation (NYSDEC) for the sanitary sewer extension permit will also be sent to the City of Watertown Engineering Department
- If required, a copy of all submittals sent to the New York State Department of Health (NYSDOH) will also be sent to the City of Watertown Engineering Department.
- Signage will not be approved as part of this submission. It requires a sign permit from the Codes Department. See Section 310-52.2 of the Zoning Ordinance.
- Plans have been collated and properly folded.
- Explanation for any item not checked in the Site Plan Checklist.
Demolition Plan, SWPPP (disturbance under 1 acre), and preliminary
Architectural Drawings are not applicable to this submission. City of Watertown to
complete SEQR. Several sections of the Engineering Report are not applicable
to this project and Regulatory Approvals (DEC/DOH) are not anticipated.
- Completed SEQR – Short Environmental Assessment Form – Part I.
*A copy of the SEQR Form can be obtained from the City of Watertown website.

SIGNATURE

I certify that the information provided above is true to the best of my knowledge.

Applicant (please print) RYAN G. CHURCHILL, P.E. [FOR APPLICANT.]
Applicant Signature  Date: 7/17/13

This drawing is property of Spring City Light, Inc. and is loaned to the recipient with the understanding that it shall not be copied, duplicated, passed on to unaffiliated parties, nor used for any purpose other than that for which it is specifically furnished except with Spring City's written permission.



LUMINAIRE SPECIFICATIONS

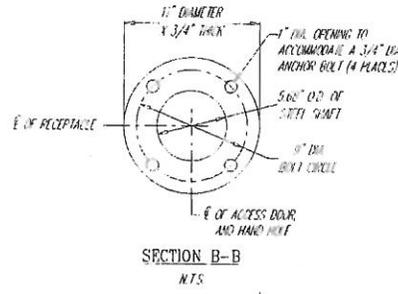
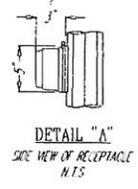
STYLE:	DORCHESTER
HEIGHT:	36 1/4"
WIDTH:	19" DIA.
MATERIAL:	CAST ALUMINUM AND SPUN ALUMINUM
GLOBE:	RETRACTIVE POLYCARBONATE
FINISH:	PRIME PAINT THEN FINISH PAINT, SHERWIN WILLIAMS ALCROLOX - DARK BRONZE
LAMPING:	175 WATT METAL HALIDE - FUSE START (LAMP BY OTHERS)
WIRING:	QUAD WIRED AT 120 VOLT
SOCKET:	MANUAL SIDE
CATALOG NO.:	ALMDS-14075-PS-011/54-PL3-DB

ORDER SPECIFICATIONS

STYLE:	LECHMERE THIN
HEIGHT:	5'-2 1/8"
WIDTH:	20" FROM E OF POST TO E OF LUMINAIRE
MATERIAL:	ALUMINUM PIPE WITH CAST ALUMINUM ORNAMENTATION AND ALUMINUM FLAT STOCK SCROLL
FINISH:	PRIME PAINT THEN FINISH PAINT, SHERWIN WILLIAMS ALCROLOX - DARK BRONZE
CATALOG NO.:	AARLH-25-20-06-TH-DB

LAMP POST SPECIFICATIONS

STYLE:	NEHEURPORT STEEL
HEIGHT:	14'-0"
LIGHT CENTER:	15'-9 1/2"
BASE:	12" DIAMETER
MATERIAL:	SHAFT: 7 GAUGE, 18 FLUTE STEEL MINITUBE CONSTRUCTION PER A.S.T.M. A-505 GRADE A 1 PIECE (SLOPE OVER) HEAVY WALL CAST IRON PER A.S.T.M. A-41-83 CLASS 30
FINISH:	PRIME PAINT THEN FINISH PAINT, SHERWIN WILLIAMS ALCROLOX - DARK BRONZE
GROUND STRIP PROVISION:	1/4" x 3/4" SQUARE HWT WELDED TO HORIZ. WALL OF POLE OPPOSITE HAND HOLE (FOR GROUND STRIP (STRIP PROVIDED BY OTHERS))
ACCESS DOOR:	LOCATED IN BASE TO COMBINE WITH HAND HOLE IN STEEL SHAFT
ANCHOR BOLTS:	(4) 3/4" x 3/4" x 3" HOOK (FULLY GALVANIZED W/3/2 GALVANIZED NUTS AND 2 GALVANIZED WASHERS PER BOLT)
BOLT TIGHTENING:	5" REQUIRED
TENSION:	7,700 LBS. DIA. x 5" HIGH (TO ACCEPT CROSS ARM)
BASE CATALOG NO.:	RENBP-15-DB
SHAFT CATALOG NO.:	SSHOS-077-5RS-TN1-05/100-07H-312/WH-DB



Spring City Electrical Mfg Co
 PHONE (610) 945-0200
 FAX (610) 945-5577

DESCRIPTION:	THE NEHEURPORT 14'-0" STEEL POST WITH THE LECHMERE THIN GROUND AND THE DORCHESTER LUMINAIRE		
CUSTOMER:	CITY ELECTRIC 100 W. PARK (WATERLOO, NY)		
SCALE:	DRAWN BY:	DATE:	DRAWING NO.:
N.T.S.	D.S.R.	11-02-10	LP-22575



2013-133 - CITY SUBMISSION 17 JULY 2013
WHITE BIRCH ENTERPRISE, LLC PARKING FACILITY - SITE DEVELOPMENT PLANS
PUBLIC SQUARE - CITY OF WATERTOWN, NEW YORK



PARKING FACILITY

PUBLIC SQUARE, CITY OF WATERTOWN
JEFFERSON COUNTY, NEW YORK

SITE DEVELOPMENT PLANS

17 JULY 2013

INDEX OF DRAWINGS:

- C001 - GENERAL NOTES AND INFORMATION
- C101 - SITE DEVELOPMENT PLAN
- PH101 - PHOTOMETRICS PLAN
- C501 - SITE DETAILS
- C502 - SITE DETAILS
- C503 - SITE AND LANDSCAPING DETAILS

PREPARED BY:



220 Sterling Street
Watertown, New York 13601
Tel: (315) 788-3900
Fax: (315) 788-0668
www.gymopc.com

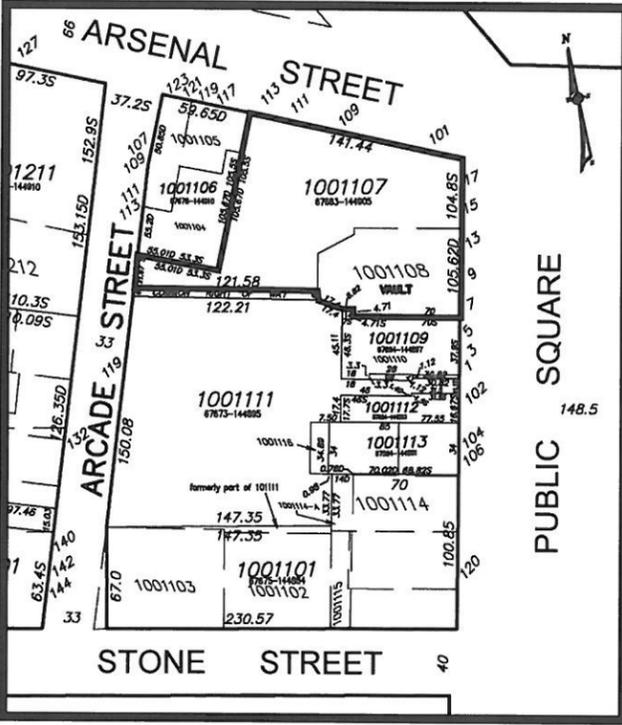
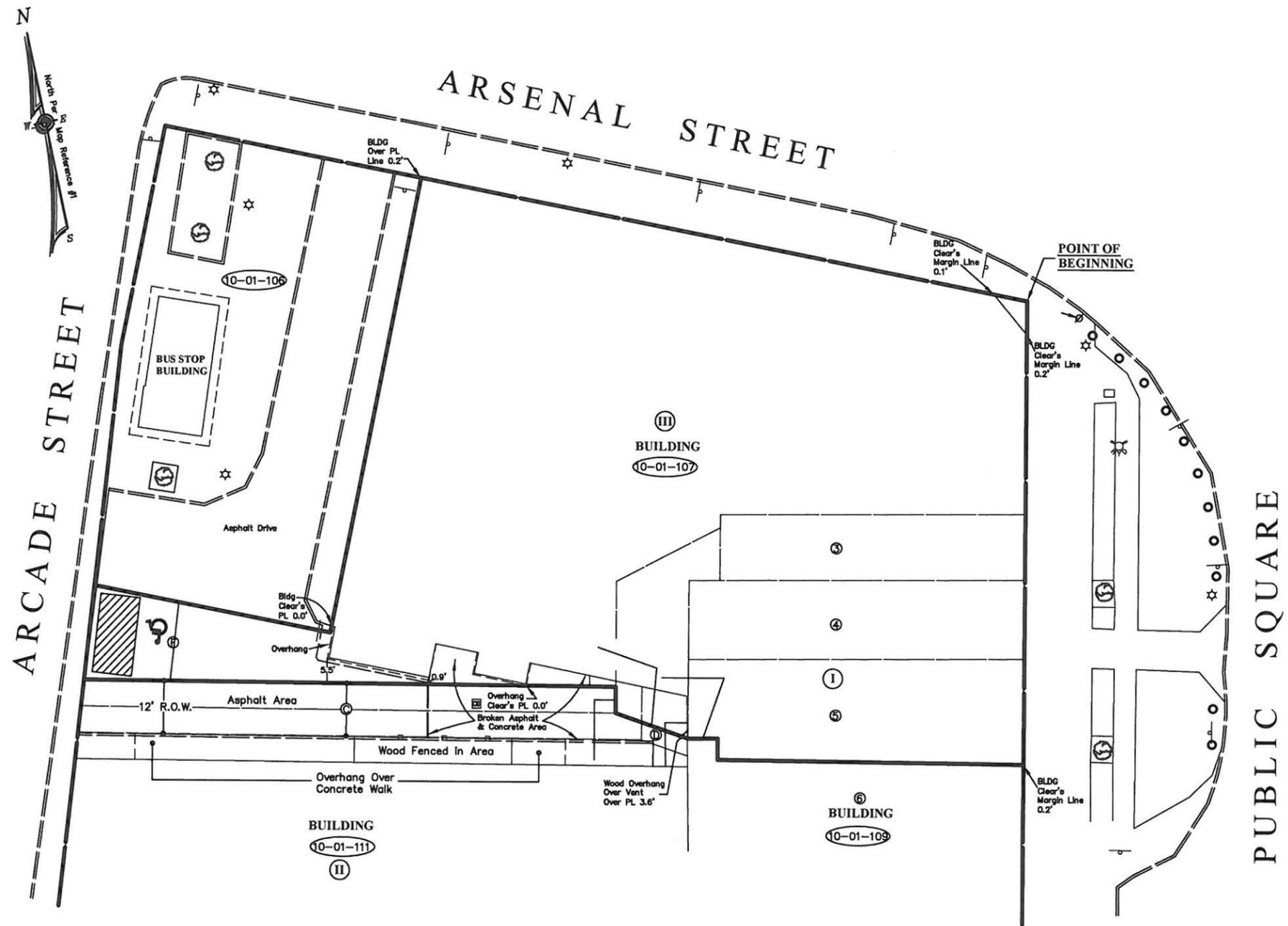


RYAN G. CHURCHILL, P.E.
New York State Reg. No. 090366

FOR APPROVALS ONLY
NOT FOR CONSTRUCTION

PREPARED FOR:

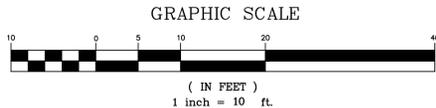
WHITE BIRCH ENTERPRISE, LLC
850 STILL CREEK LANE
GAITHERSBURG, MD 20878
CONTACT: MR. ERICH SEBER
(301) 355-4624



PROJECT LOCATION MAP
NOT TO SCALE

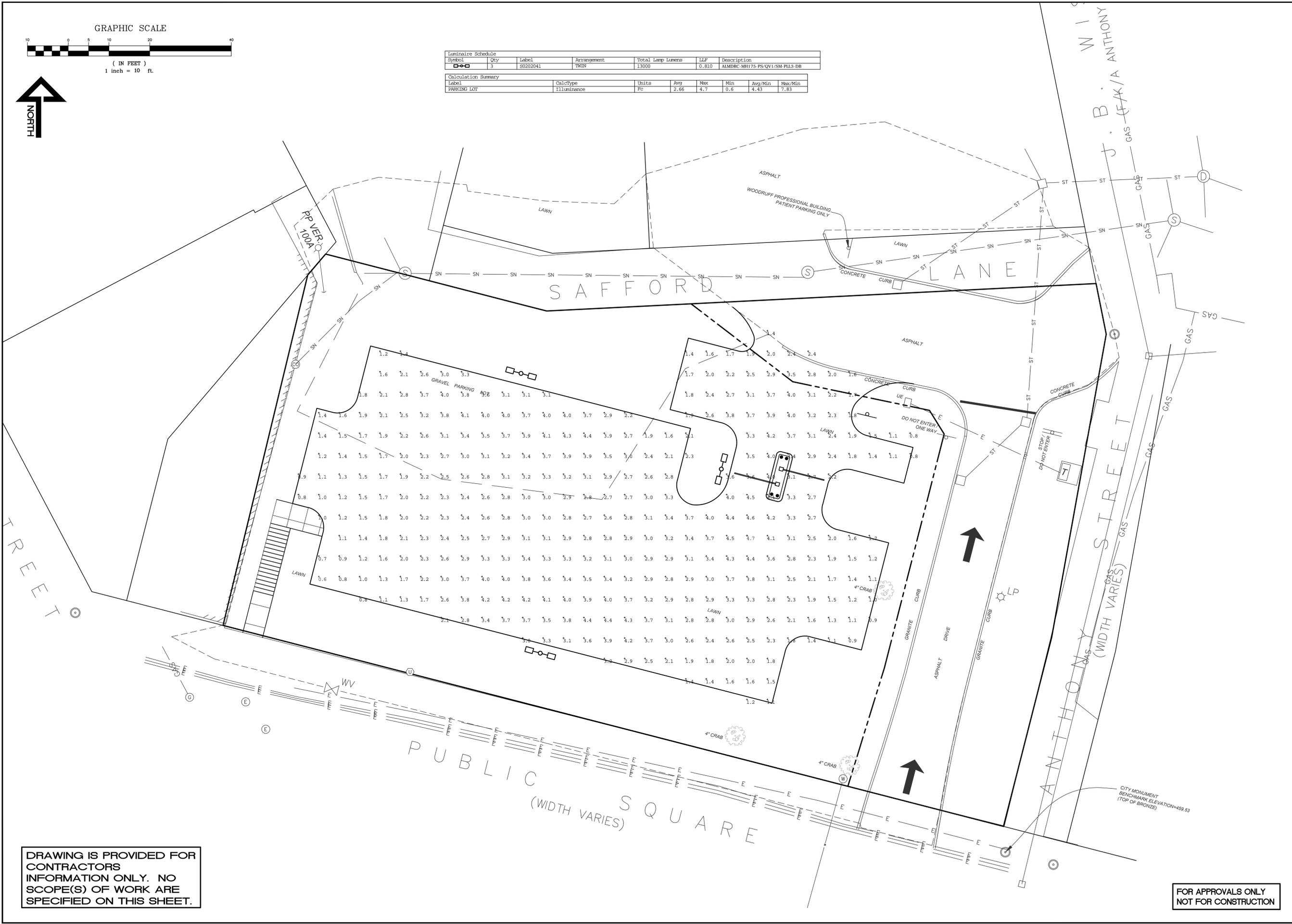
- LEGEND:**
- ☆ - LIGHT POLE
 - - CATCH BASIN
 - ⊕ - FIRE HYDRANT
 - ⊖ - SIGN
 - ⊙ - TREE
 - - BOLLARD
 - ③ - FORMER PARCEL NUMBER (PER MAP REF. #1)
 - ⊕ - RIGHT OF WAY AREA (PER MAP REF. #1)
 - ⊙ - FORMER PARCEL NUMBER (PER MAP REF. #2)
 - STOCKADE FENCE
 - — — CONCRETE CURB

HANDICAP PARKING AREA SKETCH - WOOLWORTH BUILDING - FOR CODE REVIEW - 7/16/13



Symbol	Qty	Label	Arrangement	Total Lamp Lumens	L/LF	Description
□-□-□	3	S2020241	TWIN	13000	0.810	ALMDRC-MH175-PS-QV1/SM-PL13-DB

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
PARKING LOT	Illuminance	Fc	2.66	4.7	0.6	4.43
						7.83



DRAWING IS PROVIDED FOR CONTRACTORS INFORMATION ONLY. NO SCOPE(S) OF WORK ARE SPECIFIED ON THIS SHEET.

FOR APPROVALS ONLY
NOT FOR CONSTRUCTION

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GYMOPC
ARCHITECTURE, ENGINEERING
& LAND SURVEYING, P.C.

IT IS A VIOLATION OF SECTION 2209, SUBSECTION 2, OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR TO ALTER THIS DOCUMENT IN ANY WAY. IF ALTERED, SUCH LICENSEE SHALL AFFIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE, DATE AND A SPECIFIC DESCRIPTION OF ALTERATION.

PHOTOMETRICS PLAN

WHITE BIRCH ENTERPRISE, LLC PARKING FACILITY
PUBLIC SQUARE, CITY OF WATERTOWN
JEFFERSON COUNTY, NEW YORK

Project No: 2013-133
Scale: AS NOTED
Date: 7/16/2013
Drawn By: THR
Designed By: THR
Checked By:
Date Issued: 7/17/2013
Drwg. No.

PH101

ABBREVIATIONS

AC - ACRES
 BLDG - BUILDING
 BOT - BOTTOM
 BW - BOTTOM OF WALL
 C - CURVE
 CB - CATCH BASIN
 CF - CUBIC FEET
 CI - CAST IRON
 CL - CENTERLINE
 CO - COUNTY
 CONC - CONCRETE
 CMP - CORRUGATED METAL PIPE
 CPP - CORRUGATED PLASTIC PIPE
 DA - DELTA ANGLE
 D# - DRAINAGE AREA #
 DI - DUCTILE IRON
 DIA - DIAMETER
 DWG - DRAWING
 DYLL - DOUBLE YELLOW LANE LINE
 E - EAST
 EG - EXISTING GRADE
 EL - ELEVATION
 ESC - EROSION & SEDIMENT CONTROL
 FF - FINISHED FLOOR
 FG - FINISH GRADE
 GV - GATE VALVE
 HDPE - HIGH DENSITY POLYETHYLENE PIPE
 HYD - HYDRANT
 IPI - IRON PIPE FOUND
 IPS - IRON PIPE SET
 INT - INTERSECTION
 INV - INVERT
 L - LENGTH
 LF - LINEAR FEET
 MAX - MAXIMUM
 MIN - MINIMUM
 N - NORTH
 NO./# - NUMBER
 NTS - NOT TO SCALE
 NYSDEC - NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION
 NYSOT - NEW YORK STATE DEPARTMENT OF TRANSPORTATION
 NYSDOH - NEW YORK STATE DEPARTMENT OF HEALTH
 OHW - OVERHEAD WIRE
 PC - POINT OF CURVATURE
 PCC - POINT OF COMPOUND CURVE
 PT - POINT OF TANGENCY
 PVC - POLYVINYL CHLORIDE PIPE
 R - RADIUS
 RCP - REINFORCED CONCRETE PIPE
 ROC - RUN OF CRUISER
 ROW - RIGHT-OF-WAY
 S - SOUTH
 SAN - SANITARY
 SDR - STANDARD DIMENSION RATIO
 SNMH - SANITARY MANHOLE
 STMH - STORM MANHOLE
 SWPPP - STORM WATER POLLUTION PREVENTION PLAN
 SWLL - SINGLE WHITE LANE LINE
 TC - TIME OF CONCENTRATION
 TL - TANGENT LENGTH
 TYP - TYPICAL
 TW - TOP OF WALL
 TS & V - TAPPING SLEEVE & VALVE
 UNO - UNLESS NOTED OTHERWISE
 W - WEST

PLANNING DATA		
CITY OF WATERTOWN TAX MAP P.N. 7-1-113.00, 7-1-112.001, 7-1-114.00, AND 7-1-116.00 ±0.351 ACRES. CURRENT ZONING CLASSIFICATION - COMMERCIAL		
AREA AND BULK CALCULATIONS		
ITEM	REQUIRED/ALLOWED	PROPOSED
FRONT YARD SETBACK	20'	N/A
SIDE YARD SETBACK	5'	N/A
REAR YARD SETBACK	25'	N/A
PARKING SPACES	N/A	28

SIGN SCHEDULE			
LABEL	SIGNS	LABEL	SIGNS
A		C	
B			

SIGNAGE NOTES

- ALL OUTSIDE SIGNS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH ALL DETAILS WITHIN THE STATE OF NEW YORK DEPARTMENT OF TRANSPORTATION - METRIC STANDARD SHEETS M645-20 THROUGH M645-80. THIS INCLUDES BUT IS NOT LIMITED TO: STANDARD SIGN BLANK DETAILS (M645-50 THROUGH M645-52); STANDARD HEIGHT AND LATERAL LOCATION FOR TRAFFIC SIGNS, TYPICAL REGULATION & WARNING SIGNS ASSEMBLED (M645-55); SIGN PANEL DETAILS FOR GUIDE, INFORMATION AND OTHER SIGNS (M645-70); BI-DIRECTIONAL BREAKAWAY BASE AND HINGE ASSEMBLY (M645-72).
- ALL SIGNS AND PAINT MARKINGS ARE TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS AS OUTLINED IN THE LATEST VERSION OF THE FEDERAL MUTCD AND THE NYS SUPPLEMENT.

PLANT MATERIAL SCHEDULE			
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
TREES			
RP	PYRUS CALLERYANA	'REDSPIRE' PEAR	2 CAL
SH	GLEDTISIA T.J. 'SHADEMASTER'	SHADEMASTER HONEYLOCUST	2 CAL
TT	LIRIODENDRON TULIPIFERA	TULIPTREE	2 CAL
GL	TILIA X FLAVESCENS 'GLENLEVEN'	GLENLEVEN LINDEN	2 CAL
SHRUBS			
AS	SPIREA BULMALDA 'ANTHONY WATERER'	ANTHONY WATERER SPIREA	3 GAL
RB	BERBERIS THUNBERGII 'ATROPURPUEA'	RED BARBERRY	3 GAL
GROUND COVER			
SO	STELLA DE ORO	DAY LILIES	1 GAL

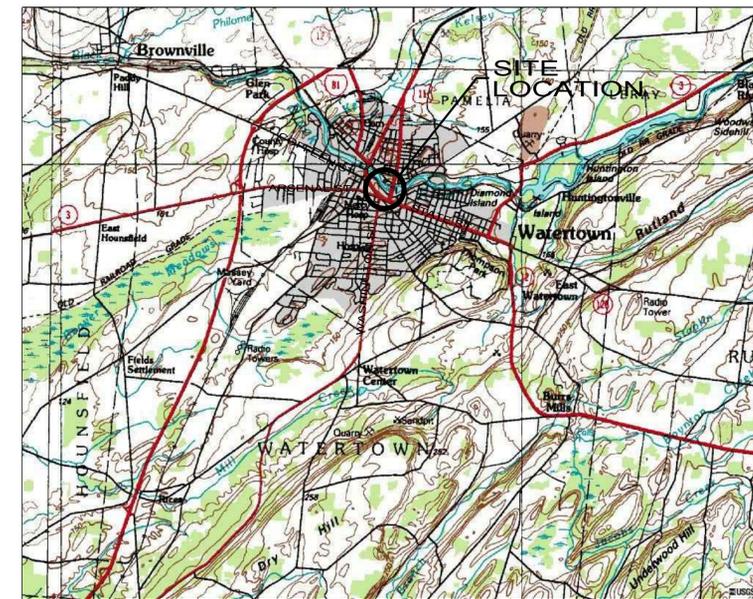
MASTER LEGEND

LEGEND:	EXISTING	PROPOSED
5' CONTOUR		
1' CONTOUR		
BOLLARD		
BUILDING		
CATCH BASIN		
CENTERLINE		
CLEANOUT		
CONCRETE SIDEWALK		
CONIFEROUS TREE		
CURB STOP		
CURB WITH GUTTER		
CURBED ROAD		
DECIDUOUS TREE		
EDGE OF PAVEMENT		
ELECTRICAL BOX		
ELECTRIC MANHOLE		
FENCE		
FIRE HYDRANT		
GAS LINE		
GAS, ELECTRIC, TELEPHONE, CABLE		
GAS MARKER		
1/2" IRON PIPE WITH CAP SET		
LIGHTING		
OVERHEAD UTILITY		
PHASE LINE		
PROPERTY LINE		
PROPERTY LINE (ADJOINERS)		
SEWER LINE		
SEWER MANHOLE		
SHRUB		
SIGNS		
SILT FENCE		
SOLID WHITE LANE LINE		
SPOT ELEVATION		
SPOT ELEVATION (BOTTOM CURB/TOP CURB)		
STORM LINE		
STORM MANHOLE		
TREELINE		
UNDERGROUND ELECTRIC		
UNDERGROUND TELEPHONE		
UTILITY MANHOLE		
UTILITY POLE & GUY WIRE		
WATER LINE		
WATER OUTLINE		
WATER VALVE		
WATERLINE CROSSING		
WETLANDS		

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NOT FOR CONSTRUCTION**

GENERAL NOTES

- UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN. PRIOR TO CONSTRUCTION CONTACT UNDERGROUND UTILITIES CALL CENTER OF NEW YORK FOR EXACT LOCATION OF ALL UNDERGROUND UTILITIES, (1-800-962-7962). CONTRACTOR IS RESPONSIBLE FOR LOCATING AND WORKING WITH THE APPROPRIATE UTILITY COMPANIES PRIOR TO CONSTRUCTION.
- THE TOPOGRAPHIC, PLANIMETRIC, AND BOUNDARY SURVEY WAS PERFORMED BY STORING GEOMATICS, PLLC DURING JUNE AND JULY 2013.
- ALL OUT-OF-SCOPE AREAS DISTURBED BY THE CONTRACTOR'S OPERATIONS WILL BE RESTORED TO CONDITIONS EQUAL TO OR BETTER THAN THAT PRIOR TO CONSTRUCTION. OUTSIDE OF PROPERTY BOUNDARIES AND EASEMENT AREAS THE CONTRACTOR IS REMINDED TO OBTAIN WRITTEN AUTHORIZATION TO USE PRIVATE PROPERTY AND ASSUMES ALL LIABILITY WHEN ACCESSING THOSE PROPERTIES.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE CHARACTERISTICS AND EXTENT OF SUBSURFACE SOILS, ROCK, WATER TABLE LEVELS, ETC., PRIOR TO BIDDING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, SECURITY, BONDS, FEES, AND PAYMENTS TO OBTAIN SAID PERMITS WHERE APPLICABLE.
- WHEN THE PERFORMANCE OF THE CONTRACTOR'S WORK REQUIRES THE INTERRUPTION OF UTILITY SERVICES, HE/SHE SHALL ISSUE A 48 HOUR PRIOR NOTICE TO THE GOVERNING MUNICIPALITY.
- SITE CONTRACTOR TO PROVIDE EROSION AND SEDIMENT CONTROL AND DUST CONTROL.
- A LICENSED LAND SURVEYOR SHALL BE RETAINED FOR ALL UTILITY AND FIELD STAKEOUT AND AS-BUILTS AT THE CONTRACTORS EXPENSE.
- CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION UNTIL ESTABLISHMENT OF VEGETATIVE COVER. RUN-OFF CONTAINING SEDIMENTS FROM DISTURBED AREAS OF THE SITE SHALL NOT BE ALLOWED DIRECTLY OFF SITE OR INTO NATURAL STREAM CHANNELS.
- ALL EXISTING TREES TO REMAIN SHALL BE PROTECTED BY THE CONTRACTOR. CONSTRUCTION ACTIVITIES ADJACENT TO TREES SHALL BE CONDUCTED TO REDUCE THE IMPACT TO TREES TO THE MAXIMUM EXTENT PRACTICAL. ANY DAMAGE TO EXISTING TREES SHALL BE REPAIRED OR THE TREE REPLACED, AS DIRECTED BY THE OWNER AT THE CONTRACTORS EXPENSE.
- CONTRACTOR SHALL PERFORM ALL R.O.W. CONNECTION AND/OR ADJACENT WORK IN ACCORDANCE WITH NYSOT SPECIFICATIONS. ALL R.O.W. WORK SHALL BE IN ACCORDANCE WITH NYSOT MAINTENANCE AND PROTECTION OF TRAFFIC REGULATIONS, INCLUDING FLAGMEN, BARRICADES, WARNING SIGNS/LIGHTS, ETC., WHERE WARRANTED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARING, GRUBBING, CUTTING AND DISPOSING OF VEGETATION, TREES AND DEBRIS IN A NYSDEC ACCEPTABLE LOCATION.
- CONTRACTOR SHALL PERFORM ALL NECESSARY EARTHWORK, INCLUDING THE STRIPPING, STOCKPILING AND REPLACING OF TOPSOIL IN ACCORDANCE WITH THE PLANS. EXCESS MATERIAL SHALL BE REMOVED FROM THE SITE.
- EXCAVATIONS SHALL BE TO DEPTHS SHOWN ON DRAWINGS. ALL UNSTABLE OR UNSUITABLE MATERIAL SHALL BE EXCAVATED AND REMOVED TO SUCH DEPTH AS REQUIRED TO PROVIDE SUFFICIENT BEARING CAPACITY. OVER-EXCAVATED AREAS SHALL BE BACKFILLED WITH SUITABLE MATERIAL.
- COMPACTION OF PIPE BEDDING AND BACKFILL MATERIAL SHALL BE BY MEANS OF HAND-GUIDED POWER DRIVEN, DRUM-TYPE, OR PLATE TAMPERS. BACKFILLING SHOULD PROCEED IN ACCORDANCE WITH LIFT THICKNESSES AND COMPACTION REQUIREMENTS AS SHOWN ON THE DRAWINGS. UNLESS OTHERWISE NOTED ON THE DRAWINGS, COMPACTION REQUIREMENTS REFER TO PERCENT OF MAXIMUM DRY DENSITY AS DETERMINED IN ACCORDANCE WITH ASTM-D698, STANDARD PROCTOR. CARE SHALL BE TAKEN TO SHAPE PIPE BEDDING TO FIT THE LOWER PART OF THE PIPE. BACKFILLING AND COMPACTION SHOULD PROGRESS EVENLY ALONG THE PIPE SIDEWALLS AND TO THE TOP OF THE PIPE BEDDING.
- COMPACTION SHALL BE 90% MAXIMUM DRY DENSITY IN GRASS AREAS, 95% MAXIMUM DRY DENSITY IN GRAVEL/PAVED AREAS AND 98% MAXIMUM DRY DENSITY UNDER AND AROUND STRUCTURES. MAXIMUM DRY DENSITY SHALL BE AS DETERMINED BY ASTM-D698, STANDARD PROCTOR. THE CONTRACTOR SHALL HIRE AN INDEPENDENT TESTING AGENCY TO PERFORM PAVEMENT TESTING PER TECHNICAL SPECIFICATIONS AND PROVIDE THE RESULTS TO THE OWNER FOR REVIEW PRIOR TO FINAL PAYMENT.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES OF DIMENSIONS, ELEVATIONS AND LOCATIONS DURING PRECONSTRUCTION FIELD VERIFICATION, SUCH INFORMATION SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR VERIFICATION OR MODIFICATION OF THE PLANS.
- THE CONTRACTOR SHALL DELIVER TO THE OWNER, AN AS-BUILT SURVEY, SIGNED AND SEALED BY A LAND SURVEYOR OR ENGINEER LICENSED IN THE STATE OF NEW YORK. AS-BUILT RECORD DRAWINGS SHALL INCLUDE, AS A MINIMUM, THE FOLLOWING INFORMATION AS WELL AS ALL REQUIREMENTS OF THE SPECIFICATION:
 - RECORD OF ALL UTILITIES ENCOUNTERED IN TRENCH EXCAVATION. INFORMATION SHALL INCLUDE DIAMETER OF UTILITY, DEPTH OF BURIAL AND LOCATION WITH REFERENCE TO NEAREST STRUCTURE SHOWN ON DRAWINGS. THIS INFORMATION SHALL BE KEPT CURRENT ON A WEEKLY BASIS. FAILURE TO DO SO MAY RESULT IN WITHHOLDING OF PAYMENTS.
 - DISTANCE TIES TO ALL MANHOLES, CLEAN OUTS, CATCH BASINS, ETC.
 - UTILITY REPAIRS, SIDEWALK, AND DRIVEWAY REPLACEMENTS CENTERLINE.
 - RIM AND INVERT ELEVATIONS AND HORIZONTAL LOCATION OF MANHOLES, CATCH BASINS, AND CLEANOUTS.
 - STATIONS OF BENDS AND VALVES.
 - FINAL GRADE ELEVATIONS TO NEAREST 0.1-FOOT AND FINISHED FLOOR ELEVATIONS.
 - DENOTED BENCH MARK REFERENCES USED.
 - PERIODIC OFFSETS.
 - NOTATION FROM THE ENGINEER OR SURVEYOR THAT THE GRADES ARE IN CONFORMANCE WITH THE SITE PLANS.
 - RECORD DETAILS NOT SHOWN ON THE ORIGINAL CONTRACT DOCUMENTS. ANY FIELD CHANGES OF DIMENSIONS AND DETAILS AND ANY CHANGES MADE BY CHANGE ORDER OR FIELD ORDER.
 - CERTIFICATE OF SUBSTANTIAL COMPLETION SHALL NOT BE ISSUED UNTIL AS-BUILT INFORMATION IS ACCEPTABLE.
 - TWO (2) SETS OF FINAL COMPLETE RECORD DRAWINGS. CONTRACTOR SHALL FURNISH AS-BUILT DATA ON PLAN SHEETS.
- UPON COMPLETION OF STORM SEWER FACILITIES AND ESTABLISHMENT OF VEGETATION, THE NEW AND EXISTING STORM SYSTEMS RECEIVING RUNOFF FROM THIS SITE SHALL BE CLEANED OF DEBRIS. ONLY AT THIS TIME SHALL THE EROSION AND SEDIMENTATION CONTROL MEASURES BE REMOVED.
- CONTRACTOR SHALL PROVIDE SATISFACTORY DEWATERING AND DRAINAGE OF EXCAVATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR MAKING SURE THAT AREA ROADS AND PARKING FACILITIES ARE CLEAR OF DEBRIS AND MUD ON A DAILY BASIS DURING THE ENTIRE CONSTRUCTION PROCESS.
- EXCAVATIONS AND TRENCHING SHALL BE PERFORMED IN ACCORDANCE WITH STATE OF NEW YORK INDUSTRIAL CODE, RULE 23, O.S.H.A. TITLE 29, PART 1926, NEW YORK STATE DEPARTMENT OF LABOR, TITLE 12, PART 23, AND ALL OTHER APPLICABLE SAFETY STANDARDS AND CODES.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE AWARE OF AND TO CONFORM WITH ALL RULES AND RESPONSIBILITIES ASSOCIATED WITH PROVIDING A SAFE WORK PLACE. THE CONTRACTOR MUST COMPLY WITH OSHA 29 CFR PART 1926, SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION.
- A STORM WATER POLLUTION PREVENTION PLAN HAS NOT BEEN PREPARED FOR THIS PROJECT, AS DISTURBANCE SHALL BE UNDER 1 ACRE.
- ALL WORK TO BE PERFORMED WITHIN THE CITY OF WATERTOWN MARGIN WILL REQUIRE SIGN-OFF FROM A PROFESSIONAL ENGINEER, LICENSED AND CURRENTLY REGISTERED TO PRACTICE IN THE STATE OF NEW YORK, THAT THE WORK WAS BUILT ACCORDING TO THE APPROVED SITE PLAN AND APPLICABLE CITY OF WATERTOWN STANDARDS. COMPACTION TESTING WILL BE REQUIRED FOR ALL WORK TO BE PERFORMED WITHIN THE CITY OF WATERTOWN MARGIN AND MUST BE SUBMITTED TO THE CITY OF WATERTOWN CODES DEPARTMENT.
- PLEASE NOTE THAT ANY CONTRACTOR WORKING WITHIN THE CITY OF WATERTOWN MUST PROVIDE A CURRENT CERTIFICATE OF LIABILITY INSURANCE (ACORD 25). IN ADDITION, NYS ALSO MANDATES PROOF OF WORKER'S COMPENSATION BE SHOWN PRIOR TO THE ENGINEERING DEPARTMENT ISSUING ANY PERMITS.
- UNDERGROUND ELECTRIC BY OTHERS. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY FOR DESIGN.



**LOCATION MAP
APPROXIMATE SCALE 1" = 2000'**

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 LAND SURVEYING

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 SURVEYOR TO ALTER THIS DOCUMENT
 IN ANY MANNER WITHOUT THE
 LICENSEE'S SIGNATURE AND SEAL.
 ANY SUCH ALTERATION SHALL BE
 FOLLOWED BY HIS OR HER
 SIGNATURE, DATE AND A SPECIFIC
 DESCRIPTION OF ALTERATION.

GENERAL NOTES AND INFORMATION

**WHITE BIRCH ENTERPRISE, LLC PARKING FACILITY
 PUBLIC SQUARE, CITY OF WATERTOWN
 JEFFERSON COUNTY, NEW YORK**

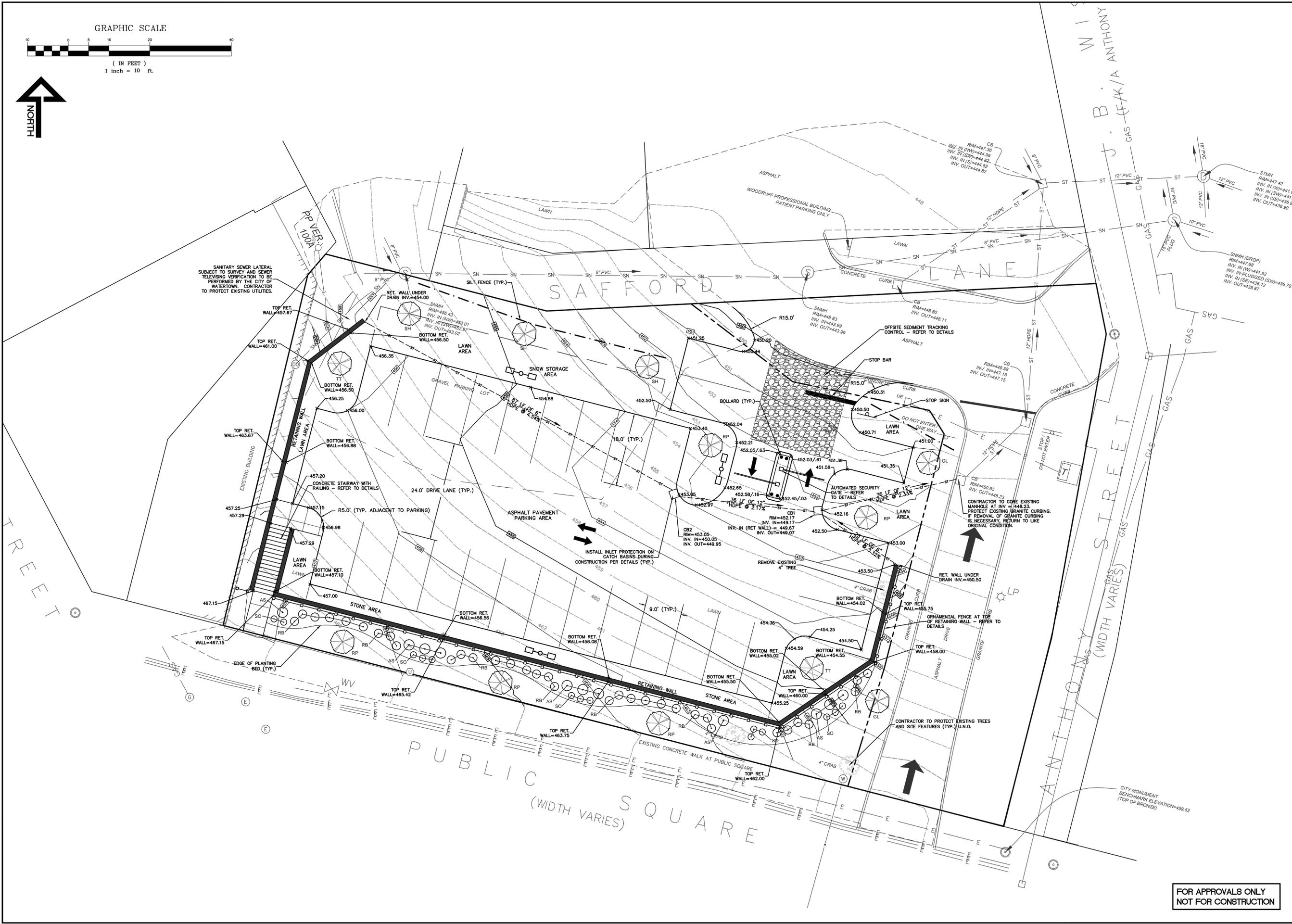
Project No:	2013-133
Scale:	AS NOTED
Date:	7/11/2013
Drawn By:	THR
Designed By:	THR
Checked By:	
Date Issued:	7/17/2013
Dwg. No.	

C001

GRAPHIC SCALE



(IN FEET)
1 inch = 10 ft.



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IT IS A VIOLATION OF SECTION 2209, SUBSECTION 2, OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR TO ALTER THIS DOCUMENT IN ANY WAY. IF ALTERED, SUCH LICENSEE SHALL AFTER HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE, DATE AND A SPECIFIC DESCRIPTION OF ALTERATION.

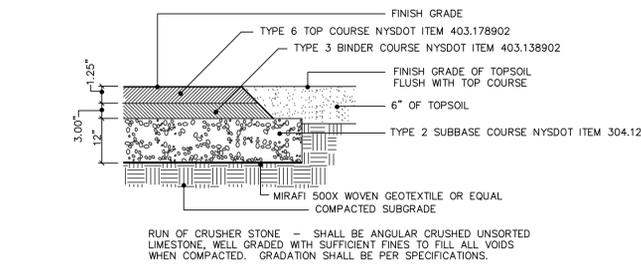
SITE DEVELOPMENT PLAN

WHITE BIRCH ENTERPRISE, LLC PARKING FACILITY
PUBLIC SQUARE, CITY OF WATERTOWN
JEFFERSON COUNTY, NEW YORK

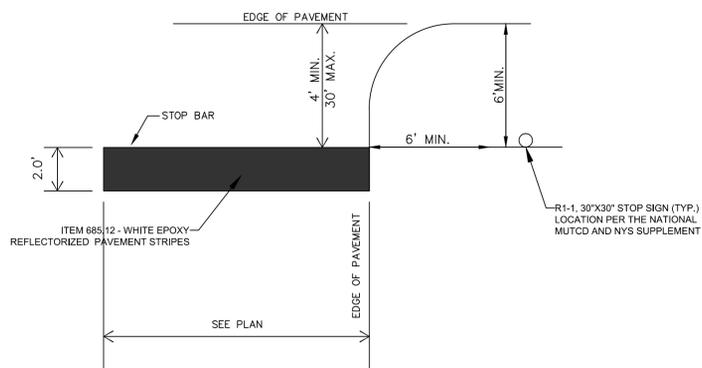
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Scale:	AS NOTED
Date:	7/2/2013
Drawn By:	THR/RCC
Designed By:	THR/RCC
Checked By:	
Date Issued:	7/17/2013
Drwg. No.:	

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C101

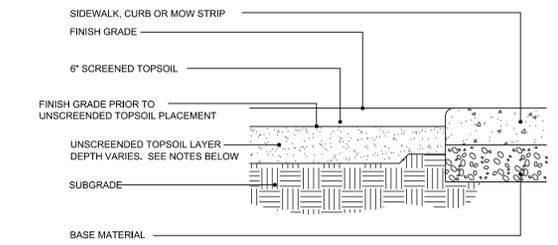


1 TYPICAL PAVEMENT DETAIL
C501 NOT TO SCALE D153-01



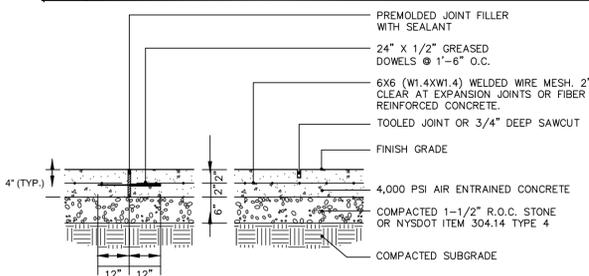
NOTES:
1. WORDS AND ARROWS FOR DRIVEWAYS SHALL BE APPLIED ACCORDING TO REQUIREMENTS AS OUTLINED IN THE 2003 MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
2. THESE MARKINGS ARE TO BE PAINTED REFLECTIVE WHITE.
3. THE STOP LINE OR YIELD LINE SHOULD BE PLACED AT THE DESIRED STOPPING OR YIELDING POINT, BUT SHOULD NOT BE PLACED MORE THAN 30 FEET OR LESS THAN 4 FEET FROM THE NEAREST EDGE OF THE INTERSECTING TRAVEL WAY.

5 TYPICAL STOP BAR DETAIL
C501 NOT TO SCALE



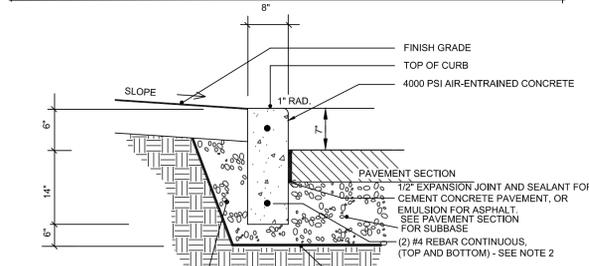
NOTES:
GRASSED AREAS - UNSCREENED TOPSOIL SHALL BE 4" IN DEPTH
PLANTING BED AREAS - UNSCREENED TOPSOIL SHALL BE 8" IN DEPTH
TREE PLANTING AREAS - UNSCREENED TOPSOIL SHALL BE 12" IN DEPTH & 10" IN DIAMETER.

2 SOIL PROFILE - VARIOUS AREAS
C501 NOT TO SCALE D152-02



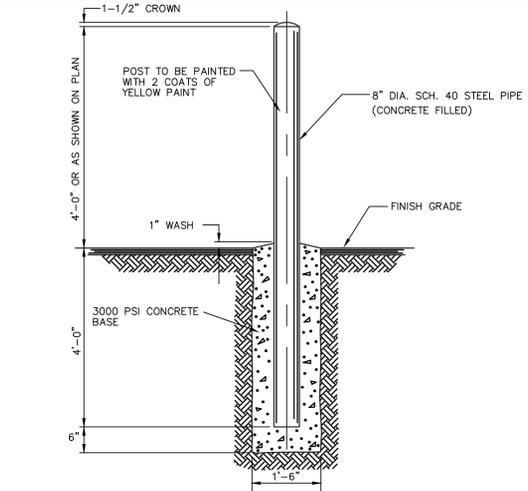
NOTES:
1. CONTRACTION/CONTROL JOINTS TO BE SPACED 5' O.C. MAX., EXPANSION JOINTS TO BE SPACED 20' O.C. MAX.
2. CROSS SLOPE IN SIDEWALK TO BE MIN. 1/4" PER FOOT.
3. WIDTH: PER SITE PLAN

3 TYPICAL CONCRETE WALK SECTION
C501 NOT TO SCALE D154-01

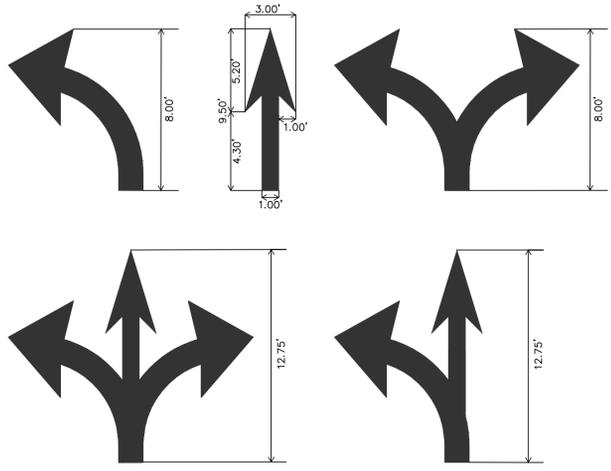


NOTE:
1. CONTROL JOINTS TO BE SPACED 10' O.C. MAX., EXPANSION JOINTS TO BE SPACED 20' O.C. MAX. EXPANSION JOINT TO BE COVERED WITH SEALANT.

4 TYPICAL CAST-IN-PLACE CONCRETE CURB SECTION
C501 NOT TO SCALE D151-01

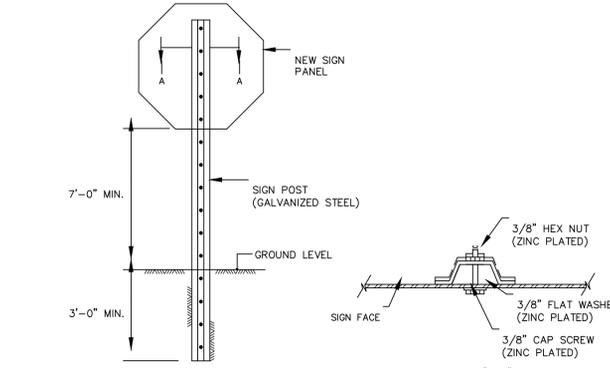


6 CONCRETE BOLLARD DETAIL
C501 NOT TO SCALE

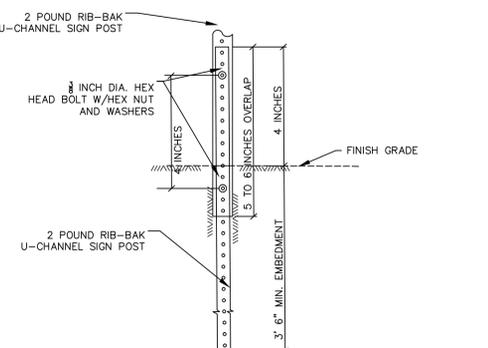


NOTES:
1. WORDS AND ARROWS FOR DRIVEWAYS SHALL BE APPLIED ACCORDING TO REQUIREMENTS AS OUTLINED IN THE 2003 MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
2. THESE MARKINGS ARE TO BE PAINTED REFLECTIVE WHITE.

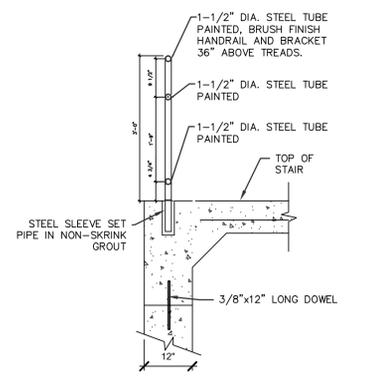
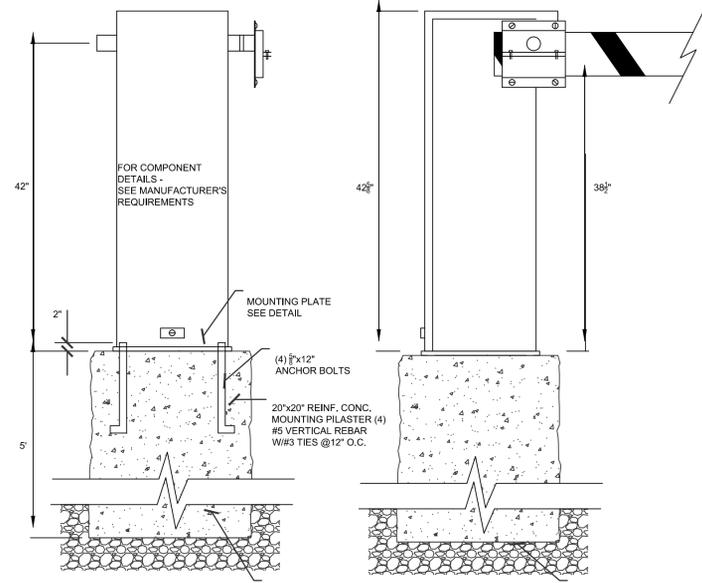
7 TYPICAL TRAFFIC FLOW ARROWS
C501 NOT TO SCALE



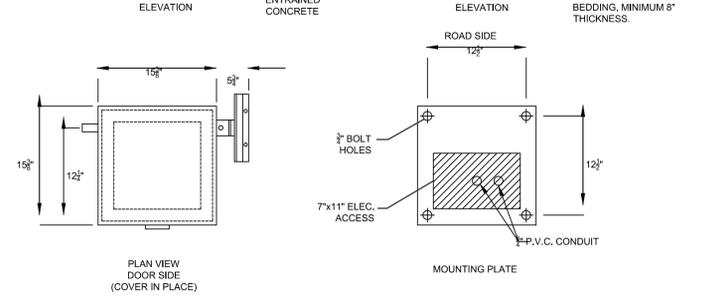
8 TYPICAL SIGN-IN GROUND INSTALLATION DETAIL
C501 NOT TO SCALE SW135-01



10 BREAK-AWAY SIGN POST DETAIL
C501 NOT TO SCALE D135-01

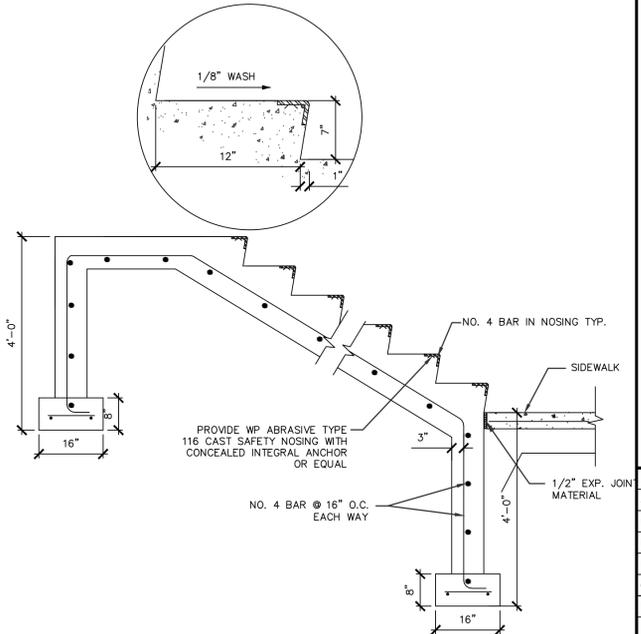


11 CONCRETE STAIR HAND RAIL SECTION
C501 NOT TO SCALE



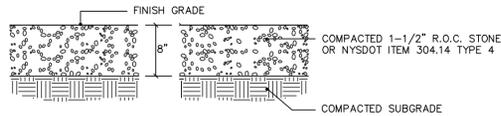
NOTE:
ARM BRACKET CAN ATTACH ON LEFT OR RIGHT SIDE.
NOTE:
1. SECURITY GATE LAYOUT HAS BEEN CREATED PER HY-SECURITY GATE INC., SPECIFICATIONS. THE CARD READER, PHOTO EYES, AND POWER PACK UNIT LOCATIONS MAY HAVE TO BE ADJUSTED PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

9 SINGLE WOOD ARM SECURITY GATE DETAILS
C501 NOT TO SCALE

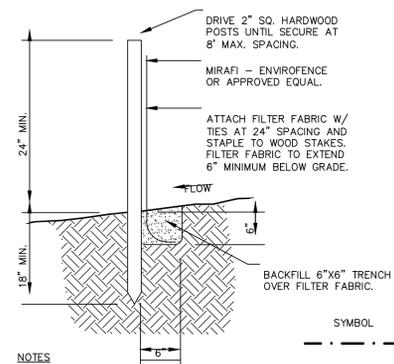


12 CONCRETE STAIR SECTION
C501 NOT TO SCALE

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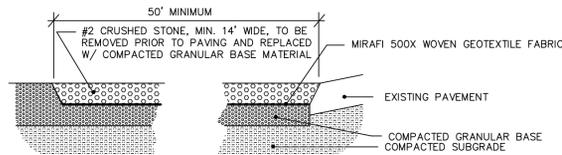


1 STONE AREA DETAIL
C502 NOT TO SCALE D172-01

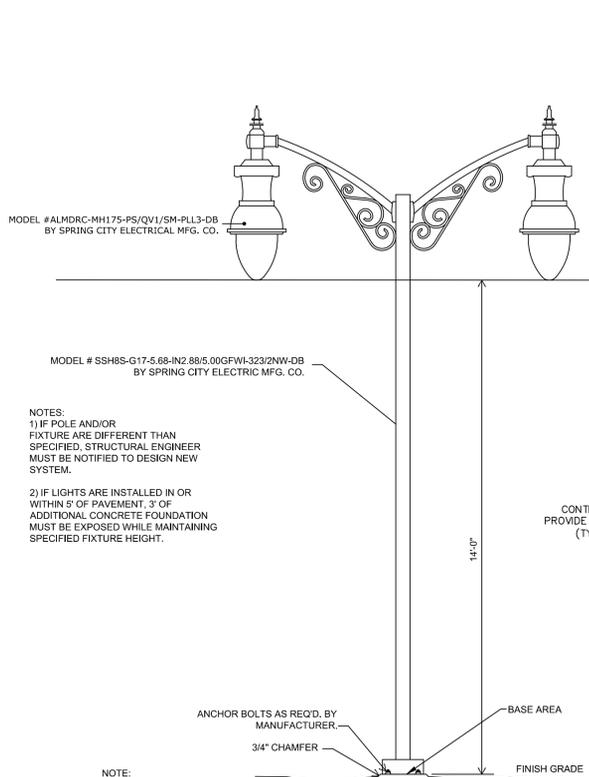


- NOTES**
- SILTATION FENCE TO REMAIN IN PLACE UNTIL LAWNS HAVE BEEN ESTABLISHED AND/OR FINISH SURFACES HAVE BEEN INSTALLED.
 - SILTATION FENCE TO BE CHECKED AND MAINTAINED THROUGHOUT CONSTRUCTION. SILT ACCUMULATIONS SHALL BE REMOVED PERIODICALLY AS REQUIRED.
 - SECTIONS OF FILTER FABRIC TO HAVE 12\"/>

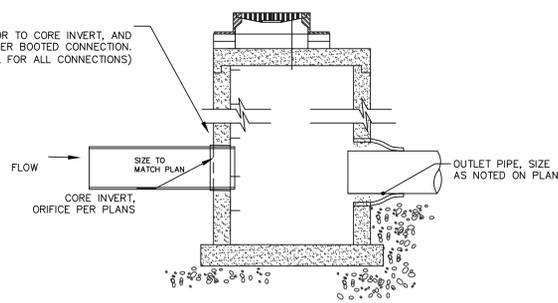
2 TYPICAL SILTATION FENCE DETAIL
C502 NOT TO SCALE D120-01



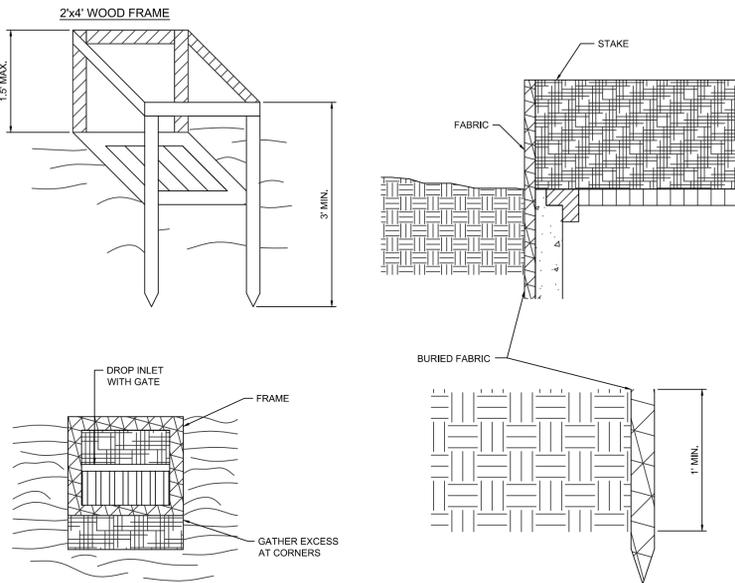
3 TYPICAL OFFSITE SEDIMENT TRACKING CONTROL (CONST. ENTRANCE)
C502 NOT TO SCALE D163-01



6 LIGHT POLE FOUNDATION DETAIL
C502 NOT TO SCALE

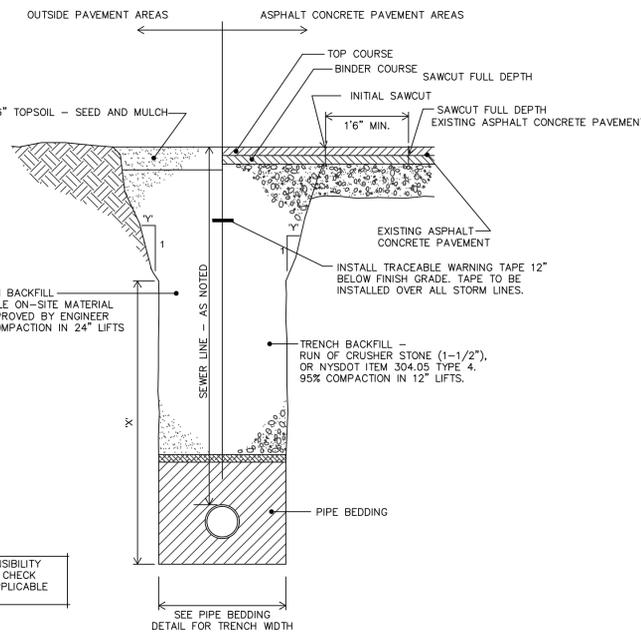


7 TYPICAL EXISTING STORM STRUCTURE CONNECTION DETAIL
C502 NOT TO SCALE



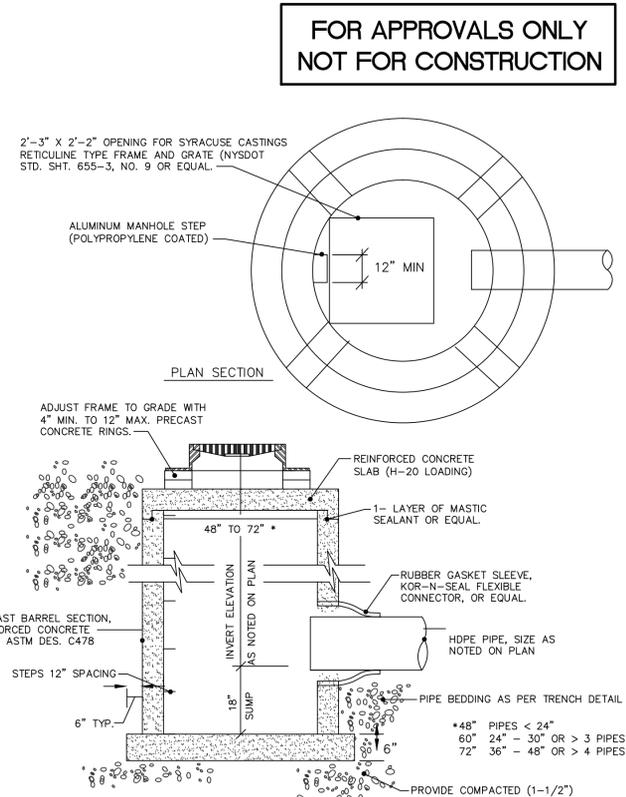
- CONSTRUCTION SPECIFICATIONS**
- FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
 - CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
 - STAKE MATERIALS WILL BE STANDARD 2x4\"/>

5 FILTER FABRIC DROP INLET PROTECTION DETAIL
C502 NOT TO SCALE

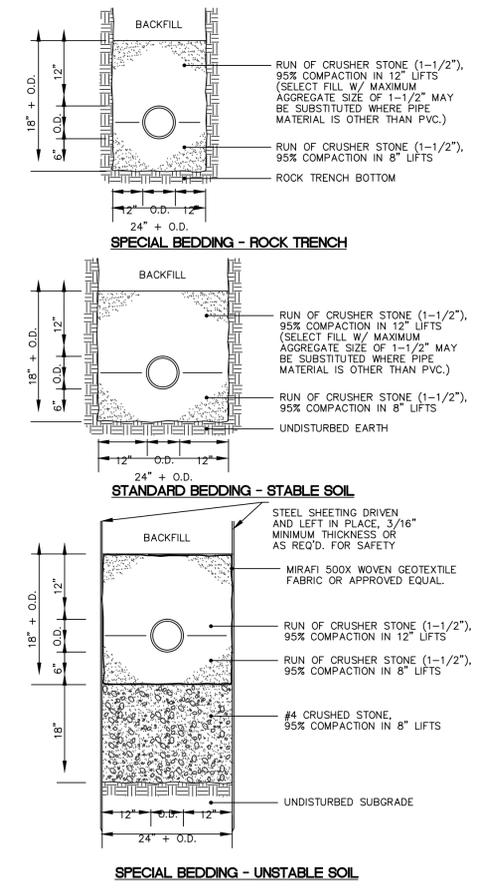


- NOTES**
- DIMENSIONS 'X' AND 'Y' SHOWN ABOVE SHALL BE DETERMINED BY CONTRACTOR TO COMPLY WITH O.S.H.A., NEW YORK STATE DEPARTMENT OF LABOR, NEW YORK STATE INDUSTRIAL CODE AND ALL OTHER APPLICABLE SAFETY STANDARDS.
 - SAFETY SHEETING OR TRENCH BOX MAY BE USED IN PLACE OF SLOPED TRENCH WALLS.
 - SHEETING, WHEN REQUIRED, TO BE CUT OFF AT LEAST 5 FEET BELOW STREET AND A MINIMUM OF 1 FOOT ABOVE TOP OF PIPE. WOOD SHEETING DRIVEN BELOW MID-DIAMETER OF THE PIPE SHALL BE LEFT IN PLACE. STEEL SHEETING DRIVEN BELOW MID-DIAMETER MAY BE WITHDRAWN IF APPROVED IN WRITING BY THE ENGINEER. FOR PVC PIPE ALL SHEETING DRIVEN BELOW MID-DIAMETER SHALL BE LEFT IN PLACE.
 - TRENCHES LOCATED ON ROAD SHOULDERS SHALL BE TREATED THE SAME AS UNDER PAV'T.
 - CONTRACTOR MAY USE NATIVE MATERIAL AS BACKFILL IF APPROVED BY ENGINEER.

8 TYPICAL UTILITY LINE TRENCH DETAIL AND PAYMENT LIMITS
C502 NOT TO SCALE D101-02



9 TYPICAL CATCH BASIN DETAIL (CB)
C502 NOT TO SCALE D102-01



10 TYPICAL PIPE BEDDING DETAILS AND PAYMENT LIMITS
C502 NOT TO SCALE U102-01

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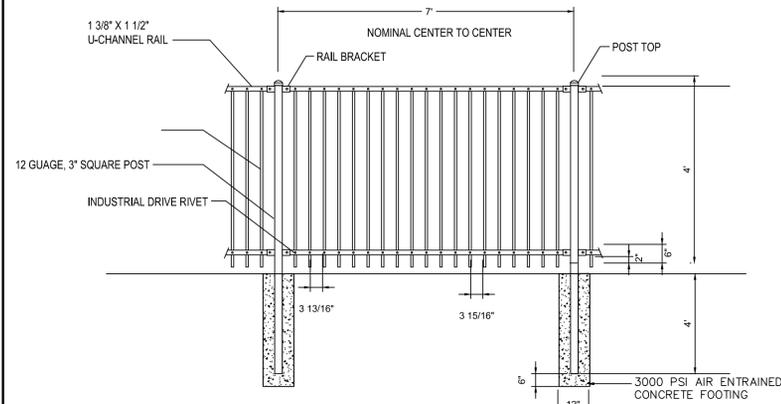
IT IS A VIOLATION OF SECTION 2000
SUBSECTION 2 OF THE NEW YORK
STATE EDUCATION LAW FOR ANY
PERSON, COMPANY, ENTITY OR FIRM
OR INDIVIDUAL TO REPRODUCE OR
REPRODUCE IN ANY MANNER OR
MANNER TO ALTER THIS DOCUMENT
OR ANY PART OF THIS DOCUMENT
WITHOUT THE WRITTEN CONSENT
OF GYMOPC. ANY SUCH VIOLATION
SHALL BE PENALIZED BY HIS OR HER
SIGNATURE, DATE AND A SPECIFIC
DESCRIPTION OF VIOLATION.

SITE DETAILS

**WHITE BIRCH ENTERPRISE, LLC PARKING FACILITY
PUBLIC SQUARE, CITY OF WATERTOWN
JEFFERSON COUNTY, NEW YORK**

Project No: 2013-133
Scale: AS NOTED
Date: 7/11/2013
Drawn By: THR
Designed By: THR
Checked By:
Date Issued: 7/17/2013
Drwg. No.

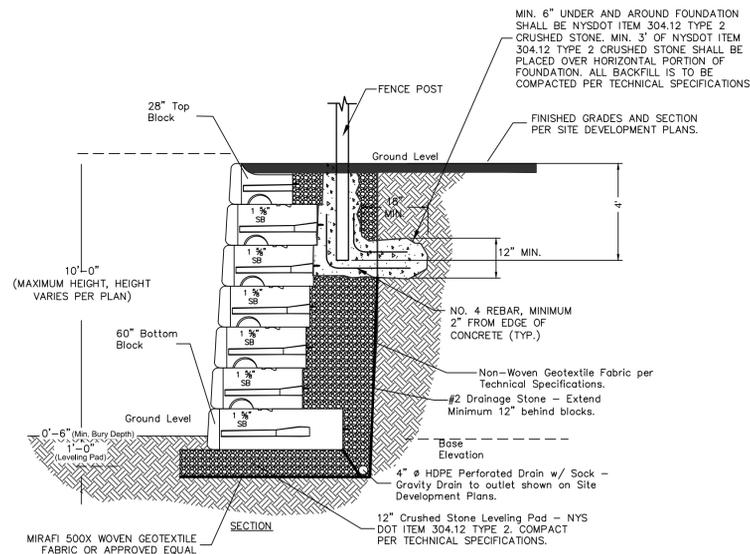
C502



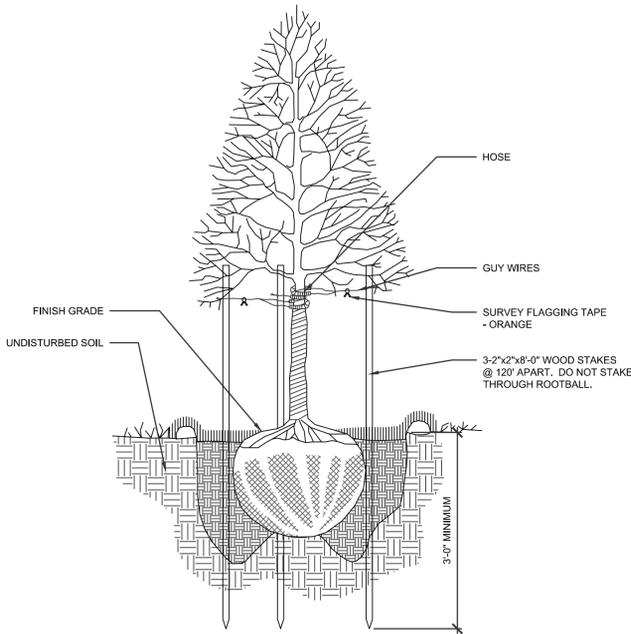
1 ORNAMENTAL FENCE ALONG RETAINING WALL DETAIL
C503 NOT TO SCALE

NOTES:

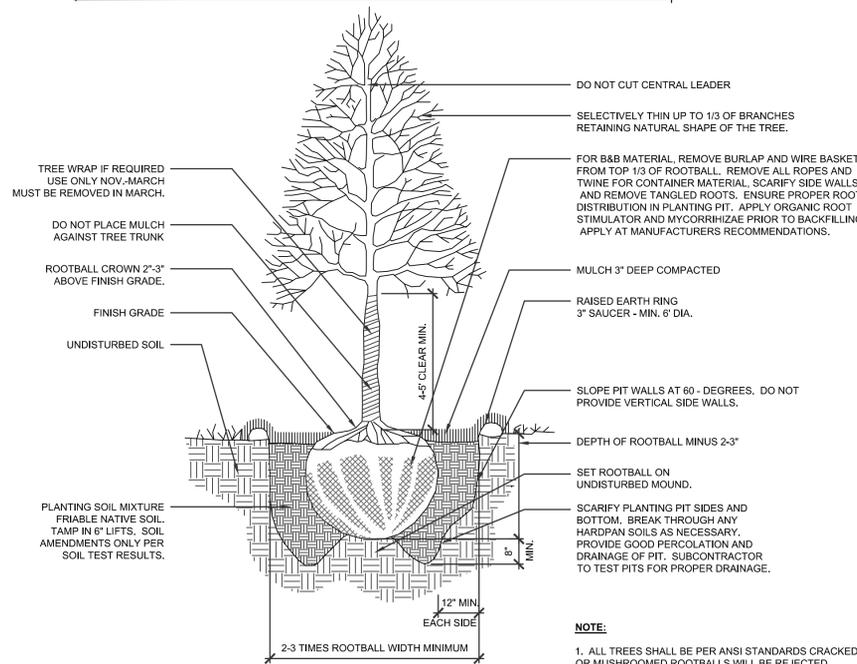
- PICKETS: FABRICATED OF GALVANIZED STEEL TUBULAR MEMBERS INSIDE AND OUTSIDE PER ASTM A787 WITH A G90 ZINC COATING 0.90 OZ./FT². STEEL TO HAVE 45,000 PSI (310 MPA) YIELD STRENGTH. PICKETS SHALL BE ATTACHED TO RAILS USING 1/4" INDUSTRIAL DRIVE RIVETS.
- RAILS: HORIZONTAL U" CHANNELS SHALL BE 1 1/2" X 1 1/4" X 1 1/2" 11 GAUGE WALL THICKNESS (.120") AND GALVANIZED: G90 ZINC COATING 0.90 OZ./FT². MANUFACTURED PER ASTM A653 WITH A 50,000 PSI (344 MPA) YIELD STRENGTH. RAILS SHALL BE MECHANICALLY PUNCHED TO RECEIVE PICKETS AND DRIVE RIVETS. ATTACH RAILS TO BRACKETS USING 2 EACH 1/4" INDUSTRIAL DRIVE RIVETS.
- POSTS: MANUFACTURED USING GALVANIZED STEEL TUBE, INSIDE AND OUTSIDE, PRODUCED PER ASTM A787 WITH A G90 ZINC COATING, 0.90 OZ./ FT². STEEL TO HAVE 45,000 PSI (310 MPA) YIELD STRENGTH.
- FINISH: ALL POSTS, CAPS AND FENCE PANELS SHALL BE POLYESTER COATED TO A BLACK FINISH.
- REFER TO "RETAINING WALL WITH ORNAMENTAL FENCE" DETAIL (2/C503) FOR ADDITIONAL FOUNDATION DETAIL FOR ORNAMENTAL FENCE.



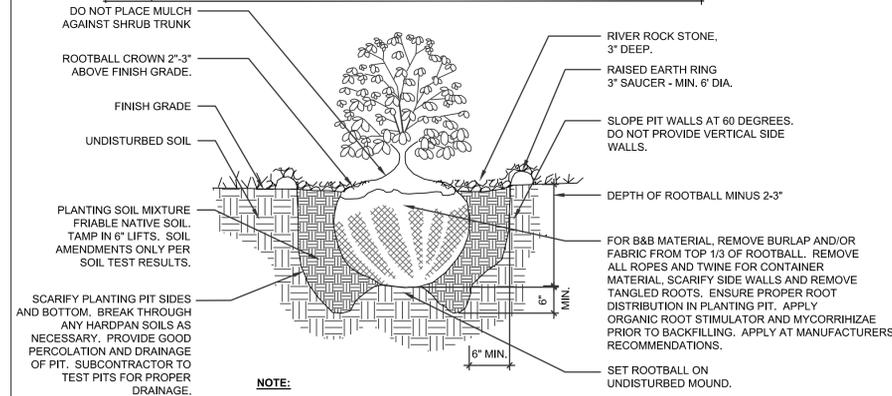
2 RETAINING WALL WITH ORNAMENTAL FENCE DETAIL
C503 NOT TO SCALE



3 TREE STAKING DETAIL
C503 NOT TO SCALE



4 TREE PLANTING DETAIL
C503 NOT TO SCALE



5 SHRUB PLANTING DETAIL
C503 NOT TO SCALE

TREE PLANTING NOTES:

**FOR APPROVALS ONLY
NOT FOR CONSTRUCTION**

THESE NOTES ARE PRESENTED AS A SUMMARY OF THE WRITTEN SPECIFICATIONS ISSUED FOR THE PROJECT. REFER TO THE WRITTEN SPECIFICATIONS FOR ADDITIONAL DETAIL AND FULL PROJECT REQUIREMENTS.

- ANY QUANTITIES INDICATED ON THE DRAWINGS OR ON THE TREE MATERIAL SCHEDULE ARE PROVIDED FOR THE BENEFIT OF THE LANDSCAPE SUBCONTRACTOR BUT SHOULD NOT BE ASSUMED TO BE CORRECT. THE LANDSCAPE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE QUANTITIES INDICATED. ANY DISCREPANCIES NOTED SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO INSTALLATION. IN THE EVENT OF A DISCREPANCY, THE GRAPHIC REPRESENTATIONS SHOWN ON THE DRAWINGS SHALL GOVERN.
- NO SUBSTITUTIONS AS TO SIZE, TYPE, SPACING, QUANTITY OR QUALITY OF TREE MATERIAL SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER. CHANGES IN TREE MATERIAL MAY CONSTITUTE PLAN RE-APPROVAL.
- TREES SHALL BE SUPPLIED AT THE SIZES SPECIFIED ON THE DRAWINGS. THE SIZES SHOWN ARE THE MINIMUMS FOR EACH CATEGORY (HEIGHT, SPREAD, CALIPER, CONTAINER SIZE, ETC.) WHEN A RANGE OF SIZE IS GIVEN, 75% OF THE PLANTS SUPPLIED MUST MEET THE MAXIMUM RANGE SIZE, AND 25% OF THE PLANTS SUPPLIED SHALL BE THE MINIMUM RANGE SIZE SPECIFIED. THE PLANTS SUPPLIED MUST CONFORM TO ALL OF THE MINIMUM DIMENSIONS INDICATED. PLANTS OF LARGER SIZE MAY BE USED IF ACCEPTABLE TO THE ENGINEER AT NO ADDITIONAL COST AND IF SIZES OF CONTAINER OR ROOT BALLS, HEIGHT, AND SPREAD ARE INCREASED PROPORTIONATELY IN ACCORDANCE WITH ANSI Z60.1. ALL OTHER QUALITY REQUIREMENTS OF THE TREE MATERIAL MUST ALSO BE ADHERED.
- ALL TREES MUST BE NURSERY GROWN, BALL AND BURLAP (B&B) OR CONTAINER GROWN AS-SPECIFIED IN THE MATERIALS SCHEDULE. CONTAINER GROWN MATERIAL CAN BE SUBSTITUTED FOR B&B MATERIAL WITH WRITTEN APPROVAL BY THE D/B CONTRACTOR PRIOR TO INSTALLATION. ALL TREE MATERIALS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z-60.1, LATEST EDITION. ALL TREES SHALL COMPLY WITH ANSI Z-60.1 AND THE URBAN TREE FOUNDATION GUIDELINE FOR NURSERY TREE QUALITY, 2009 EDITION. ALL TREES SHALL BE HIGHEST QUALITY, FIRST CLASS REPRESENTATIVES OF THEIR SPECIES. SECONDS, CULLS, OR PARK GRADE MATERIAL WILL BE REJECTED.
- CALIPER SIZE IS NOT TO BE REDUCED. CALIPER MEASUREMENTS SHALL BE TAKEN IN ACCORDANCE WITH ANSI STANDARDS.
- ALL TREES MUST BE STRAIGHT TRUNK, HAVE A STRONG CENTRAL LEADER, FULL HEADED, AND MEET THE MINIMUM REQUIREMENTS. TREES WITH A "Y" SHAPE ARE NOT ACCEPTABLE. TREES THAT HAVE BEEN FRESHLY PRUNED TO MEET THESE SPECIFICATIONS SHALL BE REJECTED.
- THE TREES VEGETATIVE CANOPY SHOULD BE MOSTLY SYMMETRICAL AND FREE OF LARGE VOIDS OR FLAT SURFACE AREAS ON ONE SIDE.
- ALL STREET AND SHADE TREES SHALL HAVE A MINIMUM SIX FEET (6') CLEAR TRUNK UNLESS OTHERWISE NOTED ON PLANS OR PLANT LISTS.
- TREES MOVED DURING PERIODS OF HIGH TRANSPIRATION SHALL BE SPRAYED WITH AN ANTI-DESSICANT PRIOR TO MOVING. APPLY AND REMOVE ANTI-DESSICANTS AT THE MANUFACTURER'S RECOMMENDATIONS.
- TREES SHALL BE STAKED AND GUYED AS DETAILED AND SPECIFIED ONLY IF THE TREE CANNOT STAND ON ITS OWN AS DETERMINED BY THE PROJECT LANDSCAPE ARCHITECT. STAKE AND GUYED MATERIALS SHALL BE REMOVED BY THE LANDSCAPE SUBCONTRACTOR SIX (6) MONTHS AFTER FINAL ACCEPTANCE.
- ALL TREES ARE SUBJECT TO REVIEW AND APPROVAL BY THE ENGINEER AT ANY TIME PRIOR TO FINAL ACCEPTANCE. REJECTED PLANTS SHALL BE REPLACED IMMEDIATELY AT NO ADDITIONAL COST.
- THE LANDSCAPE SUBCONTRACTOR SHALL FIELD STAKE ALL TREES PRIOR TO INSTALLATION. THE OWNER'S REPRESENTATIVE SHALL APPROVE ALL STAKED LOCATIONS PRIOR TO INSTALLATION. PLANTS INSTALLED PRIOR TO APPROVAL BY THE OWNER'S REPRESENTATIVE ARE SUBJECT TO REJECTION AND REPLACEMENT AT NO ADDITIONAL COST TO THE OWNER.
- PRIOR TO COMMENCEMENT OF INSTALLATION, THE LANDSCAPE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES AND SHALL AVOID DAMAGING UTILITIES DURING INSTALLATION. ANY UTILITIES DAMAGED DURING INSTALLATION SHALL BE REPAIRED BY THE LANDSCAPE SUBCONTRACTOR TO THE SATISFACTION OF THE APPROPRIATE UTILITY COMPANY AND THE ENGINEER. ALL REPAIRS SHALL BE AT NO COST TO THE OWNER.
- NO TREES SHALL BE PLANTED WITHIN 10' OF SITE UTILITY LINES. TREE LOCATIONS PROPOSED WITHIN 10' SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT LANDSCAPE ARCHITECT PRIOR TO EXCAVATING. FIELD ADJUSTMENT OF TREE LOCATIONS SHALL BE DETERMINED BY THE PROJECT LANDSCAPE ARCHITECT. PLANTS RELOCATED AND INSTALLED WITHOUT APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT WILL BE REMOVED, REPLACED, AND RELOCATED AT NO ADDITIONAL COST.
- THE LANDSCAPE CONTRACTOR SHALL UTILIZE ON-SITE TOPSOIL AS AVAILABLE FROM THE EARTHWORK SUBCONTRACTOR. ALL TOPSOIL SHALL BE APPROVED BY THE ENGINEER.
- NO TREES SHALL BE INSTALLED IN POOR DRAINAGE CONDITIONS. LANDSCAPE SUBCONTRACTOR IS RESPONSIBLE FOR TESTING SUSPECT TREE PITS PRIOR TO TREE INSTALLATION. REFER TO THE LANDSCAPE SPECIFICATIONS FOR TREE PIT TESTING PROCEDURES.
- ALL TREES SHALL BE PLACED WITH THE BEST FACE FORWARD, TOWARDS THE STREET WHENEVER POSSIBLE.
- ALL TREES SHOULD BE PRUNED AS NECESSARY PRIOR TO INSTALLATION.
- PRE-EMERGENT HERBICIDES, TRIFLORAL, PREEN, OR APPROVED EQUAL, SHALL BE APPLIED TO ALL TREE PLANTING BEDS PRIOR TO MULCHING. APPLY AT MANUFACTURERS RECOMMENDATIONS. HERBICIDES SHALL BE INCORPORATED INTO THE SOIL AT THE RECOMMENDATION OF THE MANUFACTURER.
- APPLY ORGANIC ROOT STIMULATOR, CONTINUING MYCORRHIZAE, TO ALL TREES PRIOR TO BACKFILLING. APPLY AT MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR TO SUBMIT SAMPLES OF ROOT STIMULATOR TO THE ENGINEER FOR APPROVAL PRIOR TO USE.
- THE LANDSCAPE SUBCONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE PLANT INSTALLATIONS UNTIL ACCEPTED BY THE OWNER. MAINTENANCE SHALL INCLUDE RE-MULCHING, WATERING, APPLICATIONS OF HERBICIDES, FUNGICIDES, INSECTICIDES AND PESTICIDES AS NECESSARY. MAINTENANCE SHALL INCLUDE ALL TREES, SEEDS, SEEDED AREAS AND SOD.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE THAT ALL TREES SHALL BE IN A HEALTHY AND THRIVING CONDITION ACCORDING TO THE NATURAL GROWTH HABITS OF THE INDIVIDUAL SPECIES AT THE TIME OF THE PROJECT COMPLETION.

LANDSCAPE SEED NOTES:

- SCARIFY, LOOSEN, FLOAT AND DRAG THE UPPER FOUR INCHES (4") OF SOIL TO BRING IT TO PROPER CONDITION AND GRADE PRIOR TO SEEDING / SODDING. REMOVE STONES LARGER THAN ONE INCH (1"), STICKS, ROOTS, RUBBISH, ETC. FINISHED GRADE SHALL BE LOOSE AND FREE DRAINING PRIOR TO SEEDING / SODDING.
- STRIP EXISTING GRASS AND WEEDS, INCLUDING ROOTS, PRIOR TO SEEDING. APPLY HERBICIDES AS NECESSARY TO SPOT TREAT UNWANTED SPECIES.
- INSTALL SEED PER THE WRITTEN SPECIFICATIONS. LANDSCAPE SUBCONTRACTOR MUST ADJUST APPLICATION RATES TO PURE LIVE SEED RATES AS INDICATED.
- ALL SEEDED AREAS MUST BE MAINTAINED BY THE LANDSCAPE SUBCONTRACTOR UNTIL ACCEPTANCE BY THE DESIGN BUILD CONTRACTOR.