

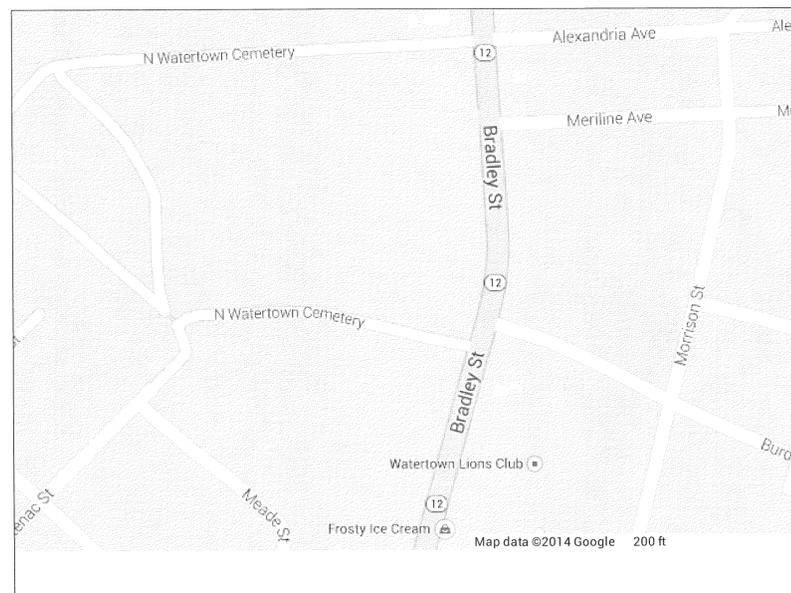
Proposed Car & Dog Wash

800-804 Bradley Street, Watertown, New York 13601

Owner:

AM Tech Service, LLC

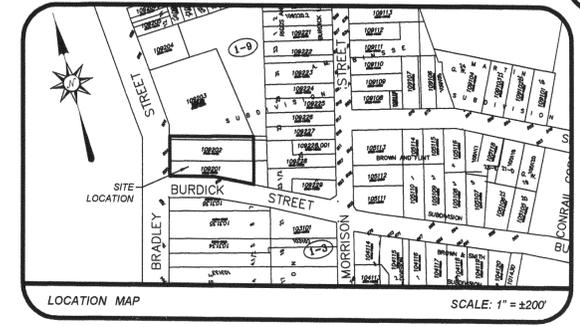
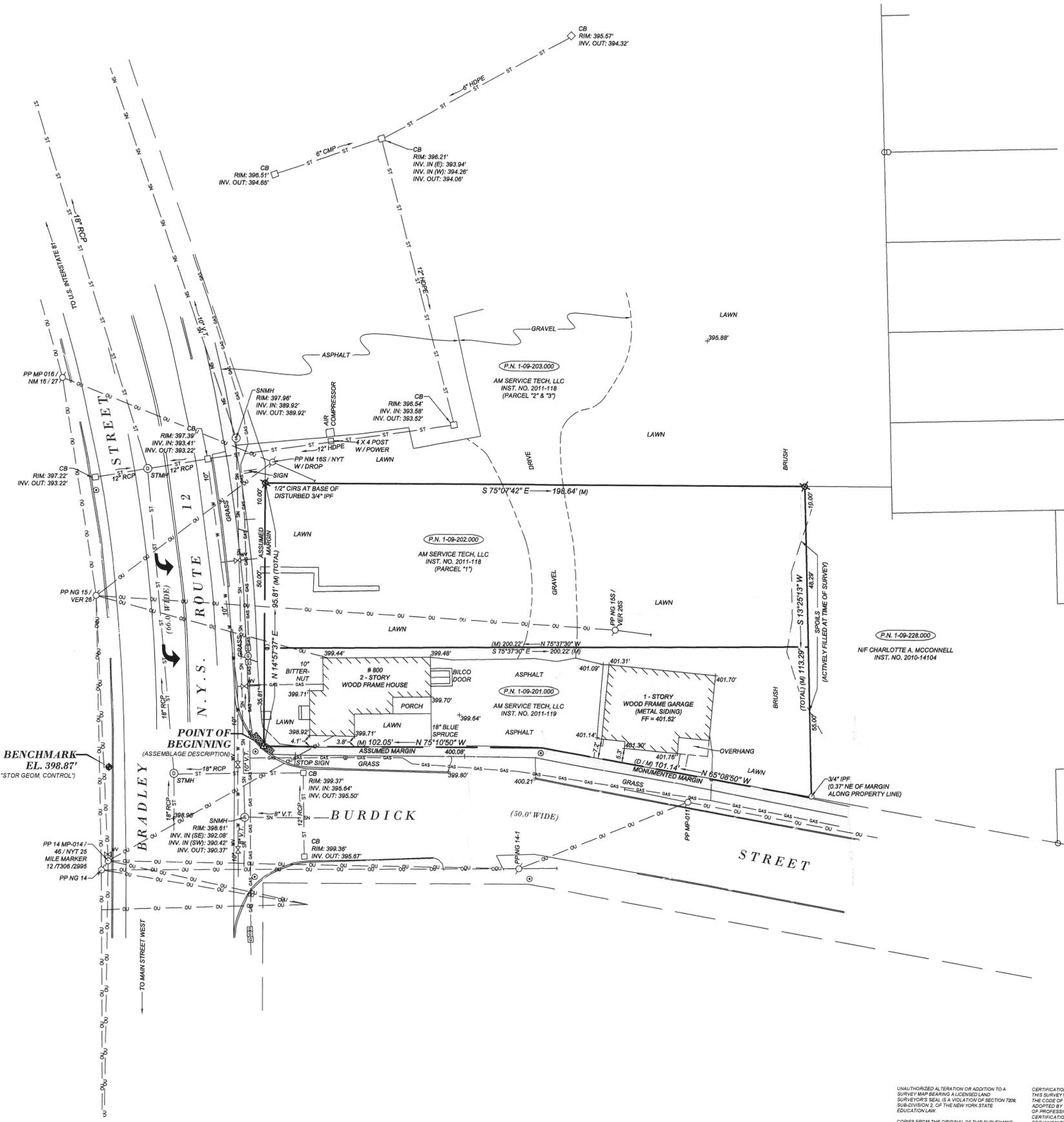
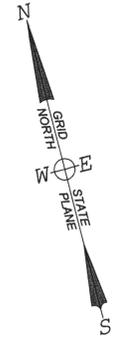
816 Bradley Street, Watertown, New York 13601



PROJECT AREA

LIST OF DRAWINGS:

	COVER PAGE
	Storino Survey Drawing
C-000	Demo Plan
C-100	Site Plan
C-101	Drainage Plan
C-200	Landscaping/ Lighting Plan
D-100	Site Details
A-000	Elevation
A-200	Floor Plan



LEGEND:

- PROPERTY LINE ———
- FORMER PROPERTY LINE - - - - -
- CITY MONUMENT ○
- IRON PIPE FOUND (IPF) (AS NOTED) ⊙
- 1/2" CAPPED IRON REBAR SET (CIRS) ⊗
- MAG NAIL SET ⊠
- MARGIN (AS NOTED) ———
- EDGE OF PAVEMENT ———
- CURBING ———
- EDGE OF GRAVEL - - - - -
- CONCRETE ———
- UTILITY POLE ○
- GUY WIRE ———
- OVERHEAD UTILITY LINE ———
- WATER LINE ———
- WATER VALVE ⊕
- SANITARY PIPE ———
- SANITARY MAN-HOLE (SNMH) ⊙
- STORM PIPE ———
- STORM MANHOLE (STMH) ⊙
- CATCH BASIN (CB) □
- GAS LINE ———
- GAS VALVES ⊕
- SIGN ⊕
- TREES (AS NOTED) ———
- EDGE OF BRUSH ———
- INDEX CONTOUR ———
- CONTOUR ———
- SPOT ELEVATION ±399.48'

NOTES:

1. THE BEARINGS SHOWN ARE REFERENCED TO NEW YORK STATE PLANE CENTRAL ZONE 1102, AS REALIZED FROM OBSERVATIONS REFERENCED TO NAD 83 (CORS 96). COORDINATES WERE DETERMINED FROM STATIC GPS OBSERVATIONS MADE ON JUNE 23, 2014. DISTANCES SHOWN ARE GROUND.
2. THE ELEVATIONS SHOWN ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
3. AREA OF ASSEMBLED PARCELS: 0.459± ACRES (20,010 SQ. FT.) (GROUND).
4. SURVEY DATES: 6/23/2014, 6/30/2014, 7/1/2014, AND 7/9/2014.
5. ALL ADJOINERS AND REFERENCES ARE PER THE CITY OF WATERTOWN ASSESSMENT DEPARTMENT.
6. THIS SURVEY PERFORMED WITHOUT THE BENEFIT OF AN UPDATED ABSTRACT OF TITLE.
7. SURVEYOR HAS MADE NO INVESTIGATION NOR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT ABSTRACT TITLE SEARCH MAY DISCLOSE.
8. STORM MANHOLES AND PIPES SHOWN IN BRADLEY STREET WERE NOT VISIBLE AT THE TIME OF SURVEY AND ARE PRESUMED TO BE UNDER ASPHALT. DATA SHOWN IS FROM AVAILABLE RECORDS AND MAY NOT REPRESENT THE ACTUAL LOCATIONS.
9. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES SHOWN PER FIELD LOCATED ABOVE GROUND VISIBLE FEATURES, FIELD LOCATED PAINT MARKINGS, AND AVAILABLE RECORDS. THEREFORE THEIR LOCATIONS SHOULD BE CONSIDERED APPROXIMATE ONLY. ADDITIONAL UTILITIES MAY EXIST, THE PRESENCE OF WHICH IS NOT CURRENTLY KNOWN. PRIOR TO CONSTRUCTION CONTACT DIG SAFELY NEW YORK FOR LOCATIONS OF UNDERGROUND UTILITIES. (1-800-962-7962 or 811)
10. (M): MEASURED DISTANCE
(D): DEED DISTANCE

DEED REFERENCES:

1. JOSEPHINE L. DOLDO, AS TRUSTEE OF THE DOLDO FAMILY REVOCABLE LIVING TRUST TO AM SERVICE TECH, LLC DEED DATE: DECEMBER 29, 2010 DATE RECORDED: JANUARY 4, 2011 INSTRUMENT NUMBER: 2011-118
2. JOSEPHINE L. DOLDO TO AM SERVICE TECH, LLC DEED DATE: DECEMBER 29, 2010 DATE RECORDED: JANUARY 4, 2011 INSTRUMENT NUMBER: 2011-119

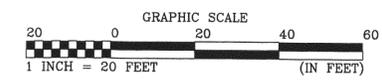
ADJOINER REFERENCE:

- (QUIT CLAIM DEED)
CARL W. MCCONNELL, SYLVIA A. ROLAND, IF R.A. SYLVIA A. MCCONNELL, AND CHARLOTTE A. MCCONNELL TO CHARLOTTE A. MCCONNELL DEED DATE: SEPTEMBER 11, 2010 DATE RECORDED: OCTOBER 1, 2010 INSTRUMENT NUMBER: 2010-14104

MAP REFERENCES:

1. "SURVEY PLAT OF A PARCEL OF LAND KNOWN AS 800 BRADLEY STREET", FILE NO. 98-044-WATN, BY PATSY A. STORINO, DATED APRIL 22, 1998.
2. CITY OF WATERTOWN STREET MONUMENTATION RECORD:
 - SHEET 35, BRADLEY STREET
 - SHEET 49, BURDICK STREET
 - SHEET 269, MORRISON STREET
3. CITY OF WATERTOWN DEPARTMENT OF ASSESSMENT AND TAXATION DISTRICT 1 MAP 9, LAST REVISED JANUARY 5, 2011.

BENCHMARK
EL. 398.87'
(1/2" CIRS MARKED "STOR GEOM. CONTROL")



UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7208, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.

COPIES FROM THE ORIGINAL OF THIS SURVEY MAP NOT MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S INKED SEAL OR HIS EMBOSSED SEAL AND ORIGINAL SIGNATURE IN RED INK SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY.

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CERTIFICATIONS INDICATED HEREIN SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE CODE OF PRACTICE FOR LAND SURVEYORS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS SAID CERTIFICATIONS SHALL RUN ONLY TO THE PARTY FOR WHOM THE SURVEY IS PREPARED, AND IF REQUESTED ON THEIR BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREIN AND TO THE SUCCESSORS BY MERGER OR OPERATION OF LAW TO THE LENDING INSTITUTION AND THE ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

CERTIFICATION VALID AS OF FINAL SURVEY DATE.

BOUNDARY AND TOPOGRAPHIC SURVEY PLAT OF PARCELS OF LAND KNOWN AS TAX MAP P.N. 1-09-201.000 & P.N. 1-09-202.000, LANDS OF AM SERVICE TECH, LLC

800 - 804 BRADLEY STREET
COUNTY OF JEFFERSON

CITY OF WATERTOWN
STATE OF NEW YORK

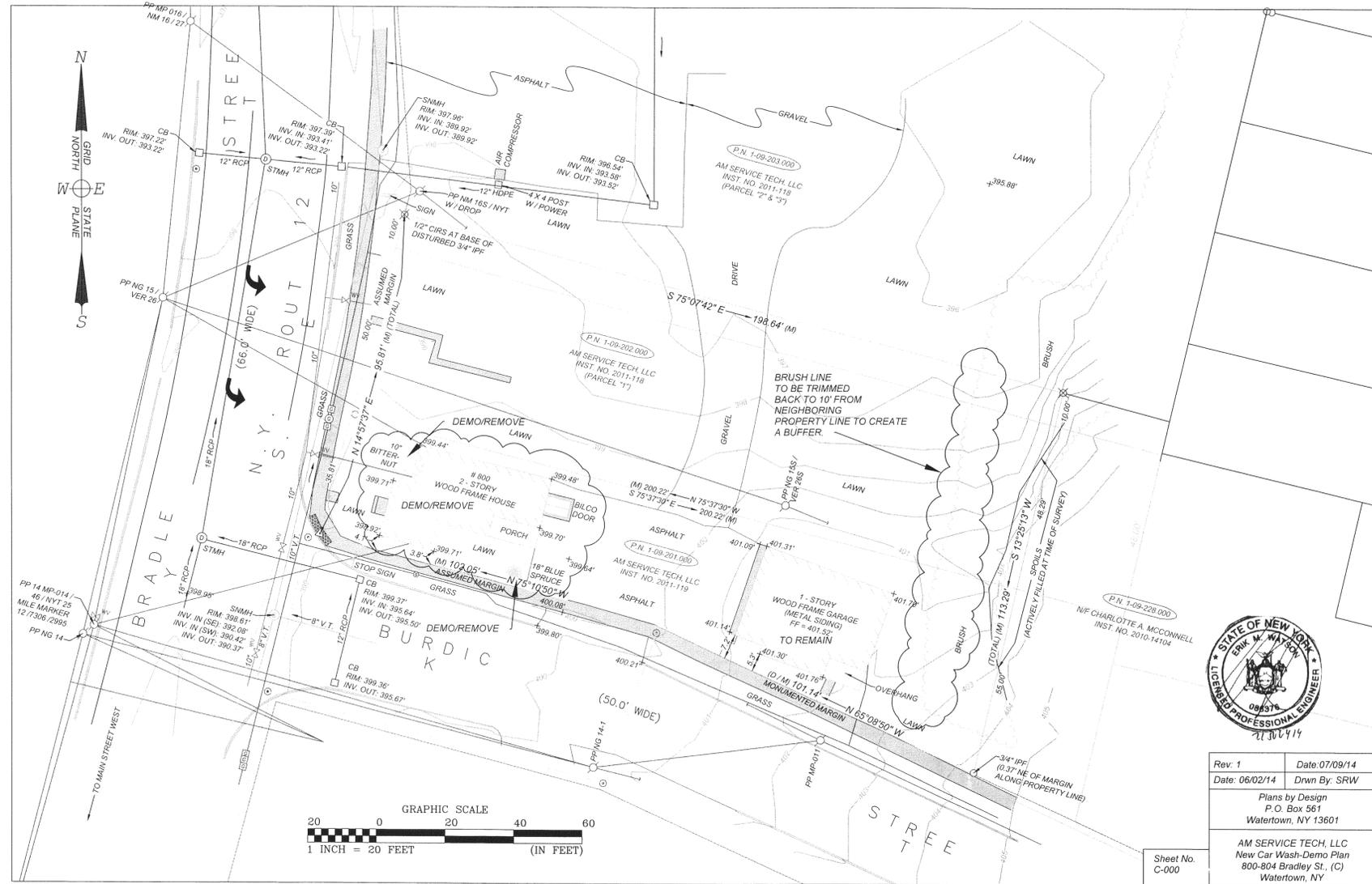


STORINO GEOMATICS
LAND SURVEYING SERVICES & CONSULTING, PLLC
PROFESSIONAL LAND SURVEYORS

179 CONGER AVENUE
WATERTOWN, NY 13601-2318
TEL/FAX: (315) 788-0287
WWW.STORINOGEOMATICS.COM

NEW YORK · VERMONT

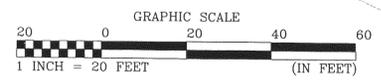
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SCALE: 1" = 20'
DRAWN BY: A.M.S.
CHECKED BY: T.M.S./A.M.S.
FILE NO. 14-018-COW
DWG. NO. V101
1 OF 1





Rev: 1	Date: 07/09/14
Date: 06/02/14	Drwn By: SRW
Plans by Design P.O. Box 561 Watertown, NY 13601	
AM SERVICE TECH, LLC New Car Wash-Drainage Plan 800-804 Bradley St., (C) Watertown, NY	

Sheet No.
C-101



BENCHMARK
EL. 398.87'
TOP GEOM. CONTROL

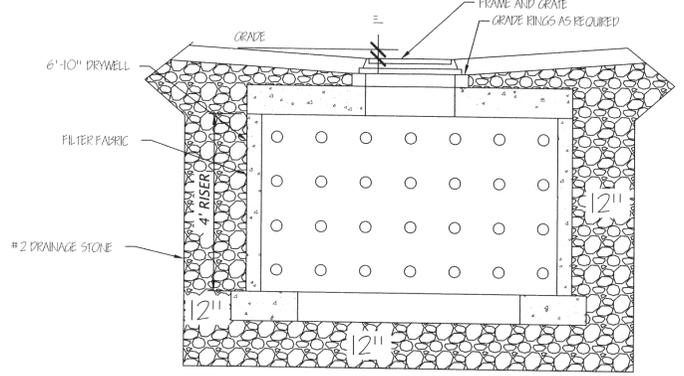
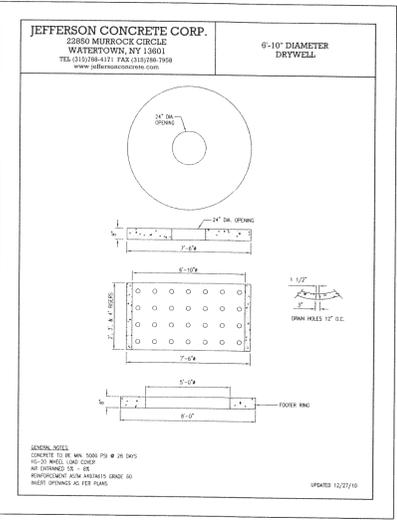
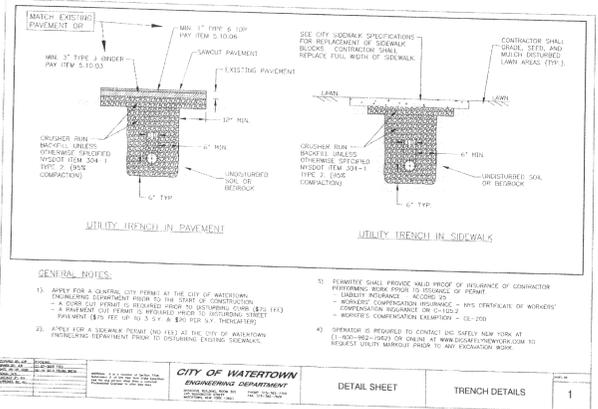
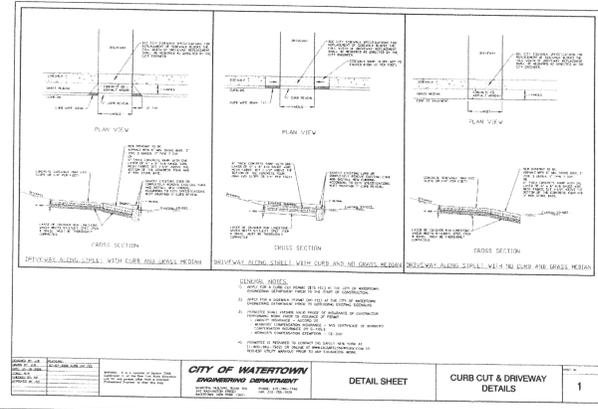
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MILE MARKER
12.7306/2995

PP NG 14

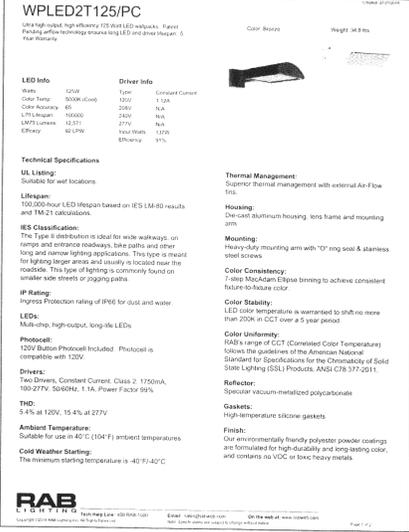
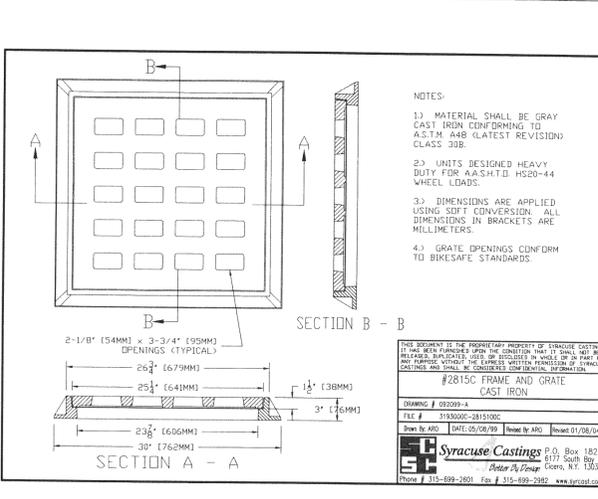
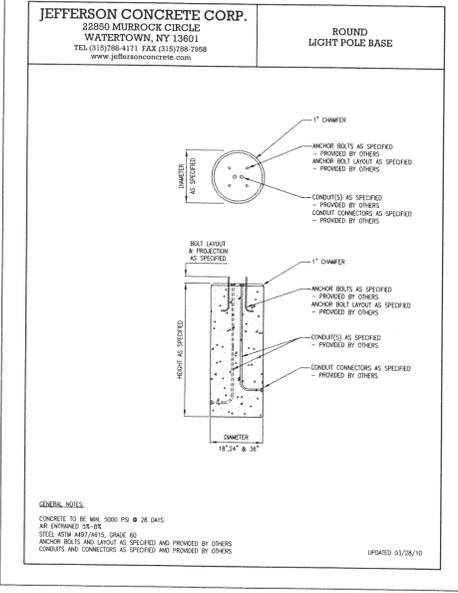
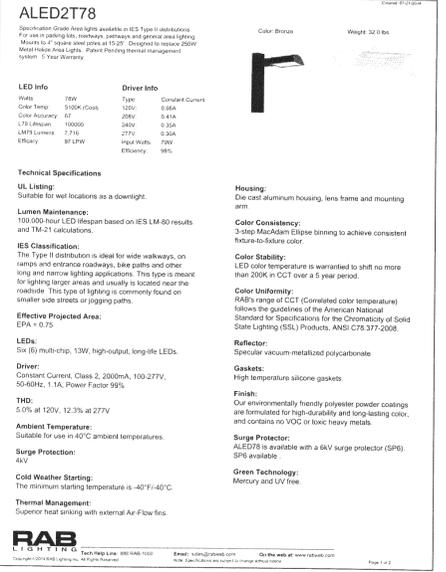
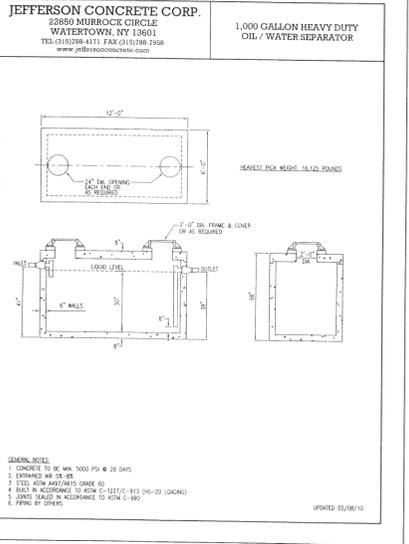
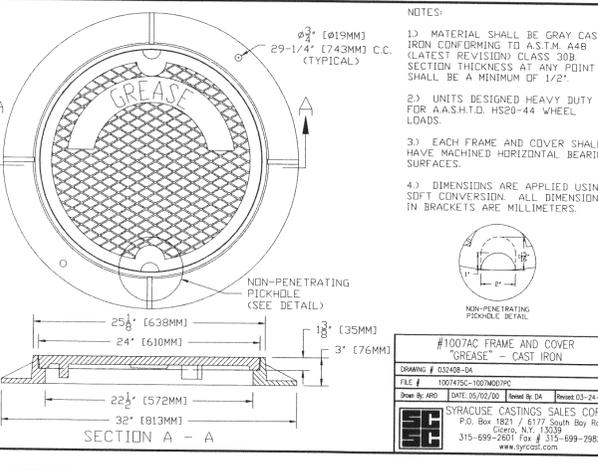
TO MAIN STREET WEST

P.N. 1-09-228.000
N/F CHARLOTTE A. MCCONNELL
INST. NO. 2010-14104

P.N. 1-09-203.000
AM SERVICE TECH, LLC
INST. NO. 2011-119
(PARCEL 2 & 3)

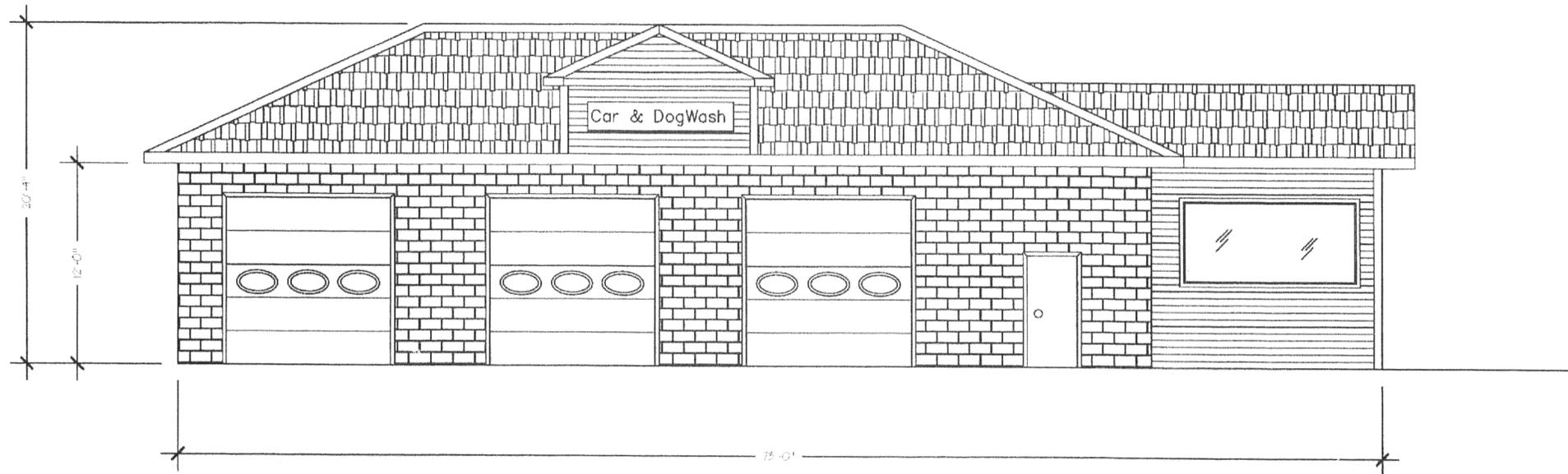


DRAINAGE DRYWELL DETAIL
Scale: NONE

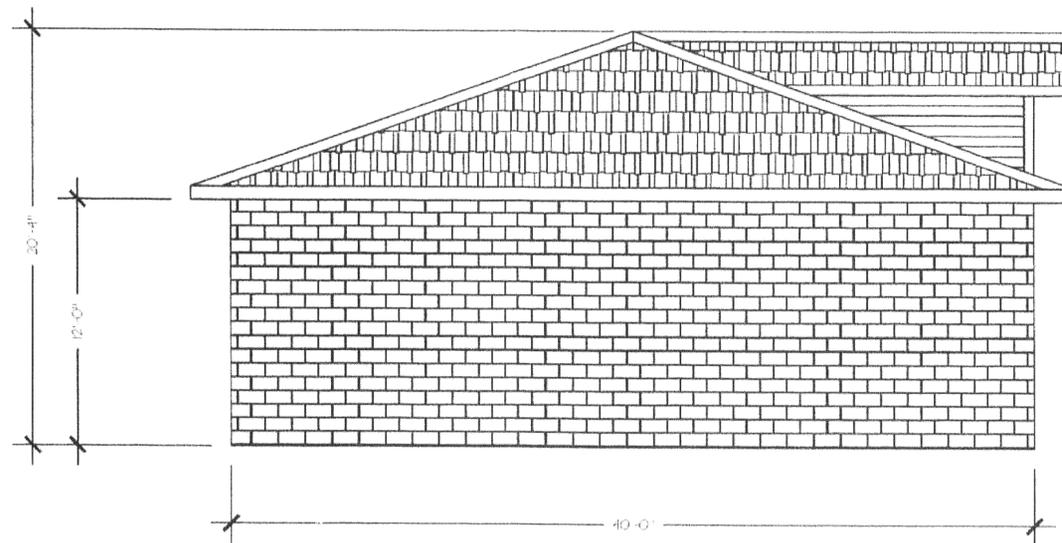


Rev.No. 2	Date: 07/09/14
Rev.No. 1	Date: 07/06/14
Date: 06/24/14	Drw'n By: SRW
315-782-9406	Plans by Design P.O. Box 961 Watertown, New York 13601
scott@plansbydesignus.com www.plansbydesignus.com	Drafting Services AM SERVICE TECH, LLC NEW CAR WASH - SITE DETAILS 800-804 Bradley St., City of Watertown, Jefferson Co., New York

Sheet No. D-100



Bradlow Street Elevation
Scale 1/4" = 1'-0"



North Elevation
Scale 1/4" = 1'-0"

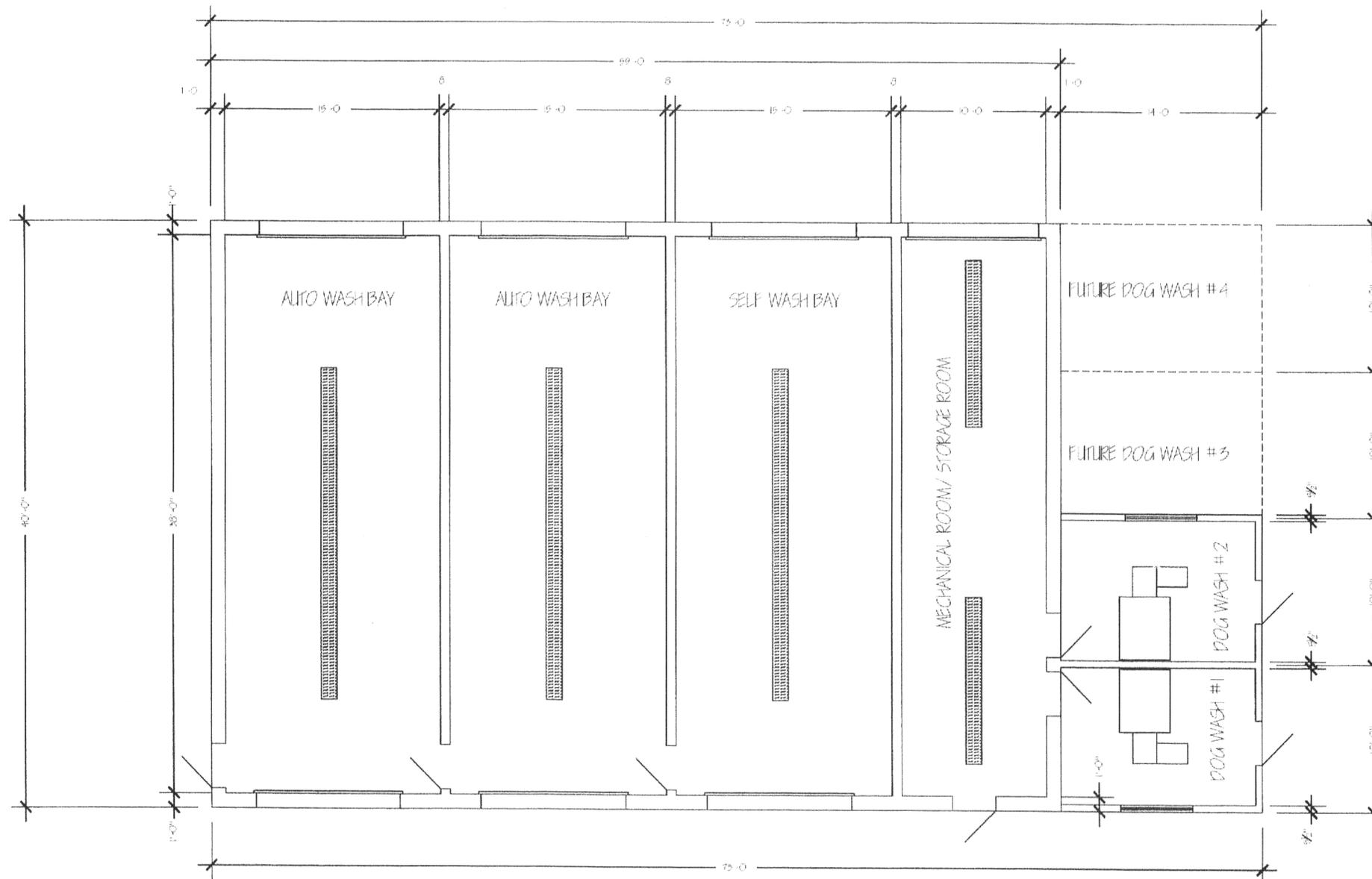


14 July 14

scott@plansbydesign.us
www.plansbydesign.us

Sheet No.
A-000

Rev No. 1	Date 07/15/14
Date 06/02/14	Drawn By SEW
35-782-9406	Plans by Design P.O. Box 561 Watertown, New York, 15601
	AM SERVICE TECH, LLC NEW CAR WASH - ELEVATIONS 800-804-Bradley St., City of Watertown, Jefferson Co., New York



FLOOR PLAN

Scale: 1/4" = 1'-0"



14 JULY 14

scott@plansbydesign.com
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Sheet No.
A-100

Rev No. 2	Date 07/09/14
Rev No. 1	Date 07/06/14
Date 06/24/14	Dwn: BJ, SW
16-782-9A06	Plans by Design P.O. Box 564 Watertown, New York 13601 Drawing Services
AM SERVICE TECH, LLC NEW CAR WASH - FLOOR PLAN 800-804 Bradley St., City of Watertown, Jefferson Co., New York	

Engineering Report

For

Proposed Car & Dog Wash

Location: 800-804 Bradley Street

City of Watertown, New York

Owner:

AM Tech Service, LLC

816 Bradley Street

Watertown, New York 13601

Point of Contact: Anthony Doldo

315-788-6841

Prepared By:

Plans by Design & Watson Engineering

June 17, 2014

Revised July 21, 2014

Proposed Scope of Work:

It is being proposed to construct a New 4 Bay Car Wash (3 automatic and 1 self serve) with equipment room and 2 self serve dog wash stations. Building is approx. 85' long x 40' wide, included in this is the 16' long x 10' wide dog wash stations.

Property Information:

It is being proposed to combine two properties for this project. Parcels number 1-09-202 & 1-09-201 would be combined into one parcel for this project.

Property Owner Parcel 1-09-202

AM Service Tech, LLC

816 Bradley Street

Watertown, New York 13601

Property Owner Parcel 1-09-201

AM Service Tech, LLC

816 Bradley Street

Watertown, New York 13601

Contact Person for both properties:

Anthony Doldo

816 Bradley Street

Watertown, New York 13601

Phone: 315-788-6841

Fax: 315-785-9582

Existing Property Conditions:

There no structures on property 1-09-202. Existing driveway cut is existing leading onto Bradley Street. On Parcel 1-09-201 there are two structures on property, one is an existing approx. 30'x40' garage used for storage by Mr. Doldo. The other structure an existing home, which is not going to be repaired, but removed from property in its entirety. Remove of said existing house will follow all regulations regarding the removal/demo. This property has a road cut on the Burdick Street side. Which will be used for the Dog Wash Stations.

Proposed Underground Utilities:

Proposed Car & Dog Wash will need sanitary and domestic water hooked into the City of Watertown System. As of right now it is being proposed to install a new 6” SDR 35 sanitary sewer to the existing sanitary sewer located on Burdick Street. An oil/water separator will be installed, minimum of 1,000 gallon, before discharge into the City sewer system. Domestic water will need a new 2” Type “K” copper brought into the new building. New domestic line will have a curb stop, all required accessories to meet City requirements. New backflow preventer will be install in the new equipment room located in the proposed building. New heating system will include in-floor radiant with a boiler system, boiler will be feed with a new natural gas service.

Proposed Overhead Utilities:

Electrical service will be supplied by existing power poles located on the property.

Proposed Building Materials:

Proposed building construction will consist of split face concrete masonry units, pre-engineered wooden trusses, either asphalt or painted steel metal roofing. Doors will be overhead doors on the car wash and store front doors on the dog washing stations.

Proposed Driveway Materials:

Proposed driveway will consist of stone sub-base and have asphalt blacktop installed. It is being proposed to utilize the existing road cut driveways. The existing driveway entrance on Burdick Street will serve as an “Entrance & Exit”, the driveway cut on Bradley Street will be used as an “Exit Only”.

Site drainage will be taken care using 3-6’-10” H-20 precast concrete drywells.

Drainage Area:

Paved/Stone Area:	11,300 s.f.
Roof	2,920 s.f.
Total Drainage Area	14,220 s.f. or .32 acres

Existing soil is a gravel/clay mixture.

Stormwater Flow Rate:

$Q=CIA$, Where Q= Flow Rate, in CFS

C= Runoff Coefficient

I= Rainfall Intensity, in IN/HR

A= Area, in Acres

C= 0.85 average for asphalt/roofing

I= 3.8 IN/HR (based on 10 minute duration)

A= 0.32 Acres

$Q= 0.85 \times 3.8 \times 0.32 = 1.03$ CFS

Summary:

System to use 3 – 6'-10' H2O Drywells with each having a 4' riser, #2 stone and filter fabric. Frame and Grate to be cast iron.

Site Lighting:

Site lighting will consist of 5 LED Wall Packs located on building. 5 LED pole mounted lights will be added. 2 locations are double head and 1 location is single. All exterior lighting will night/dark sky compliant. Each fixture will have its own dusk to dawn sensor or be on a timer for energy management.

Proposed Green Space:

Grass space will remain behind and on the sides of the existing garage. New small grass spaces will be constructed on the Bradley Street side. Small growing shrubs and spruce trees will be added to site as needed. On the Burdick Street Property Line where Res. Is zoned a 10' buffer will be left in place, using the existing shrubs/brush.

Proposed Signage:

Signage for building will be attached to building. It will be constructed so it can be viewed from Bradley Street, signage will also be place on the building on the Burdick Street side.