

ARCHITECTURE  
ENGINEERING  
ENVIRONMENTAL  
LAND SURVEYING

March 22, 2016

Justin Wood  
City of Watertown Engineering Department  
245 Washington Street  
Watertown NY, 13601

Re: New York State Zoo at Thompson Park  
Otter Exhibit Addition Project  
**Site Plan Waiver Application - Resubmittal**  
File: 2006-241.02

Dear Mr. Wood:

On behalf of the New York State Zoo at Thompson Park, enclosed please find our submission request for a waiver of site plan approval for the proposed Otter Exhibit Addition Project. The proposed project is located within the Thompson Park Zoo, on land leased to the New York State Zoo at Thompson Park by the City of Watertown. The project involves repairing some existing building mechanicals, upgrading the electrical service, enlarging the existing off-exhibit holding area by 161 S.F., as well as fencing and minor site and utility work. The purpose of the building addition is to provide a more functional and larger off-exhibit space for the animals. The proposed addition will re-use the fence enclosure that currently serves as the off-exhibit space. The addition will be constructed in a similar architectural style to the existing building.

This project will remedy several current problems affecting care of the animals, accommodation for staff and the future needs of the zoo as a viable and sustainable public amenity in the City of Watertown

Shown on the plan are some of the future improvements being considered, as well as sub-surface disposal proposed for liquid waste from cleaning of the animal spaces. This disposal is an estimated 45 gallons per day of wash water used for hosing down the two animal cages daily. This facility will replace the present surface discharge within the outdoor exhibit space, and will be sufficient until such time as the future sanitary facilities can be constructed. This will also assist with controlling animal health by minimizing cross-contamination of diseases between the animals themselves.

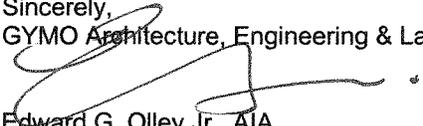
Additionally, with repairs to tank water circulation and filtration, the tanks may only need to be emptied monthly for maintenance using the existing tank drain when necessary and will not require surface or sub-surface discharge.

The future improvements indicated are intended to provide future exhibit growth and public accommodations for the entire zoo compound and are shown for reference only in context with long range planning and development goals for the Thompson Park.

Included in this submission are 10 complete sets of the application including this cover letter, site development plan, site concept plan, site details, floor plan & mechanical/heating plan and exterior elevations & sections. In addition, a pdf copy of this set has been emailed to the Planning Office.

If you have any questions, or require any additional information, please let me know.

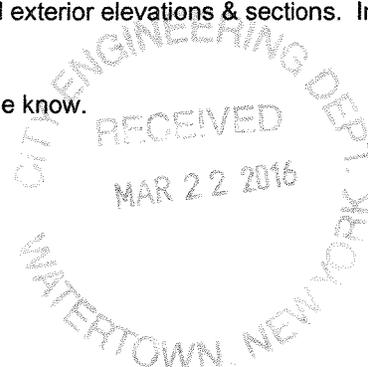
Sincerely,  
GYMO Architecture, Engineering & Land Surveying, D.P.C.

  
Edward G. Olley Jr., AIA  
Principal, Director of Architecture

Edward G. Olley, Jr., AIA  
William P. Plante, PLS  
Patrick J. Scordo, PE  
Ryan G. Churchill, PE  
Scott W. Soules, AIA

Gregory F. Ashley, PLS  
Brandy W. Lucas, MBA

In Consultation  
Leo F. Gozalkowski, PLS  
Stephen W. Yaussi, AIA



# OTTER EXHIBIT ADDITION NEW YORK STATE ZOO AT THOMPSON PARK ZOO

WATERTOWN, NEW YORK 13619

MARCH 2016

LIST OF DRAWINGS

SD-101 - SITE DEVELOPMENT PLAN

C-101 - SITE CONCEPT PLAN

A-101 - FLOOR PLAN & MECHANICAL / HEATING

A-201 - EXTERIOR ELEVATIONS & SECTIONS

A-501 - DETAILS

SITE LOCATION PLAN



OTTER EXHIBIT

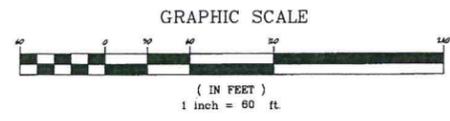
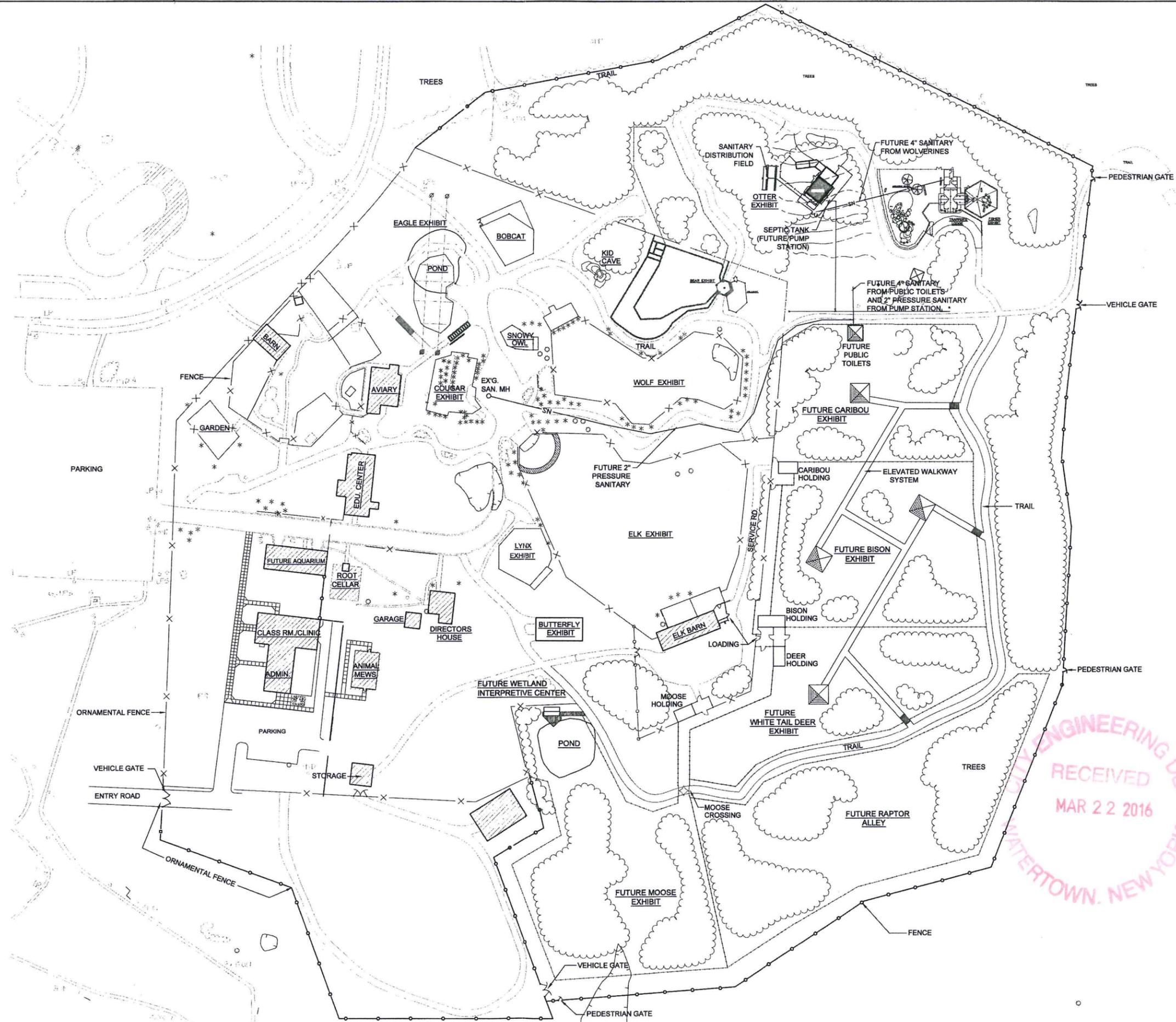


PREPARED BY:

  
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220 Sterling Street, Watertown, New York 13601  
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EDWARD G. OLLEY, A.I.A.



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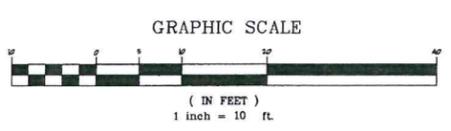
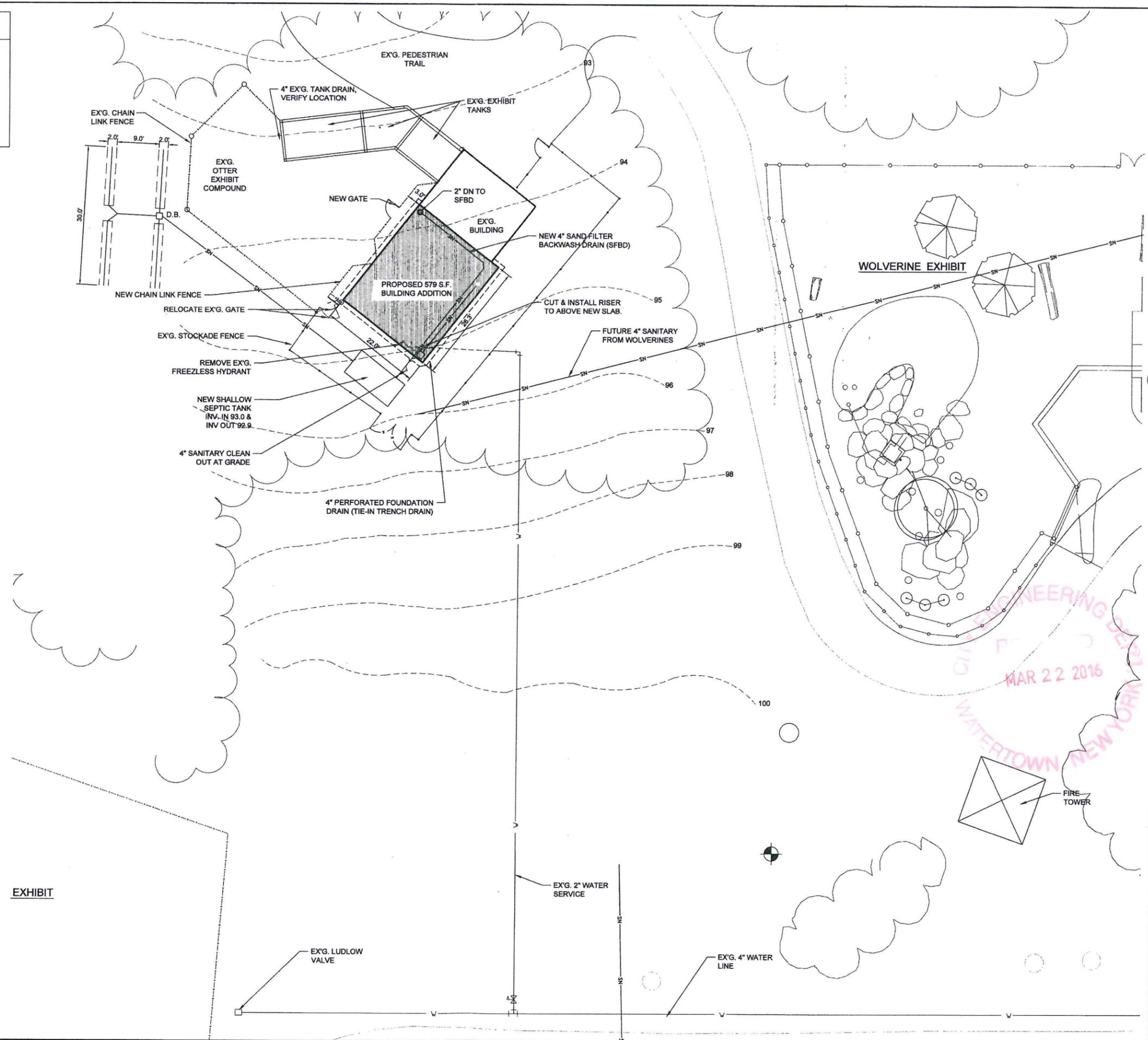
SITE DEVELOPMENT PLAN  
OTTER EXHIBIT ADDITION  
N.Y.S. ZOO AT THOMPSON PARK  
WATERTOWN, NEW YORK 13601

Project No.	2008-241.02
Scale:	AS NOTED
Date:	10-30-15
Drawn By:	MWL
Designed By:	EGO
Checked By:	EGO
Date Issued:	3-22-16
Drawn No.	

SD-101

# PLANNING DATA

LAND USE - PARKLAND / ZOO  
 CURRENT ZONING CLASSIFICATION - RESIDENTIAL A  
 PROPOSED ZONING - SAME  
 TAX PARCEL - # 12-30-101.000



EXHIBIT

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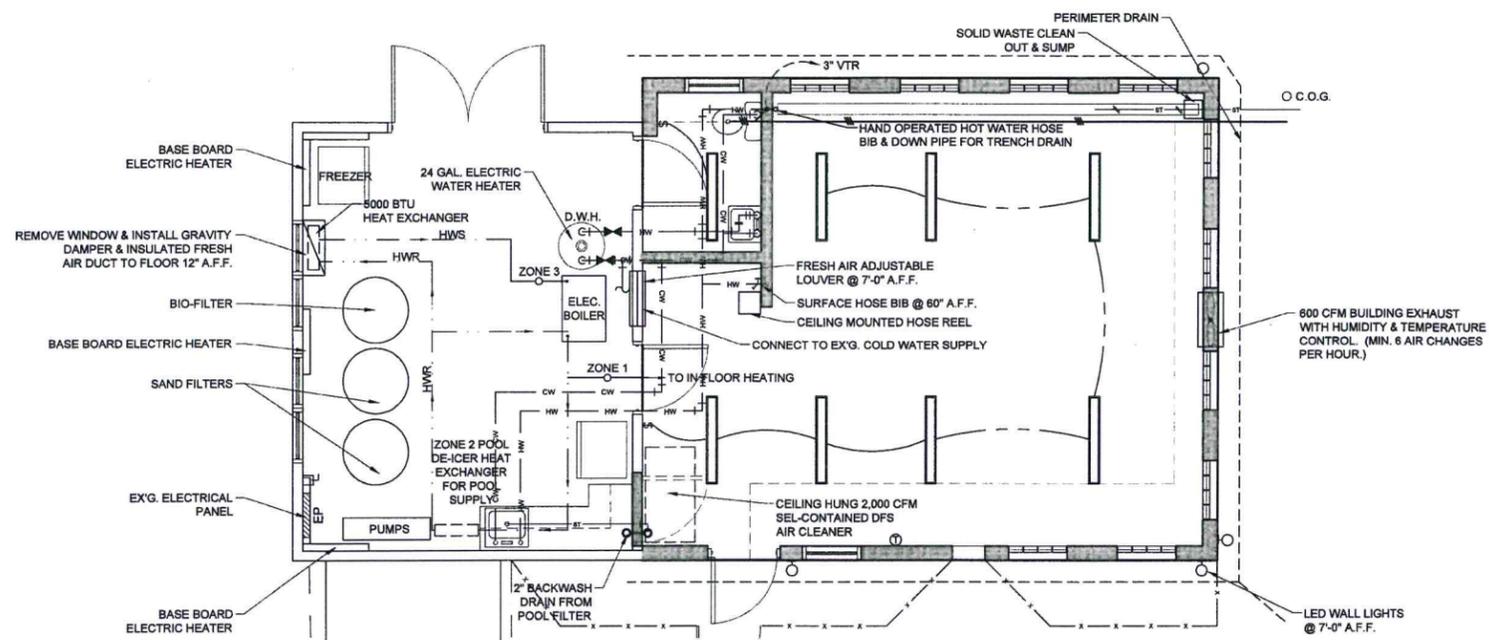
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CIVIL ENGINEERING DESIGN  
 MAR 22 2016  
 WATERTOWN, NEW YORK

**SITE CONCEPT PLAN**  
**OTTER EXHIBIT ADDITION**  
**N.Y.S. ZOO AT THOMPSON PARK**  
**WATERTOWN, NEW YORK 13601**

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**C-101**

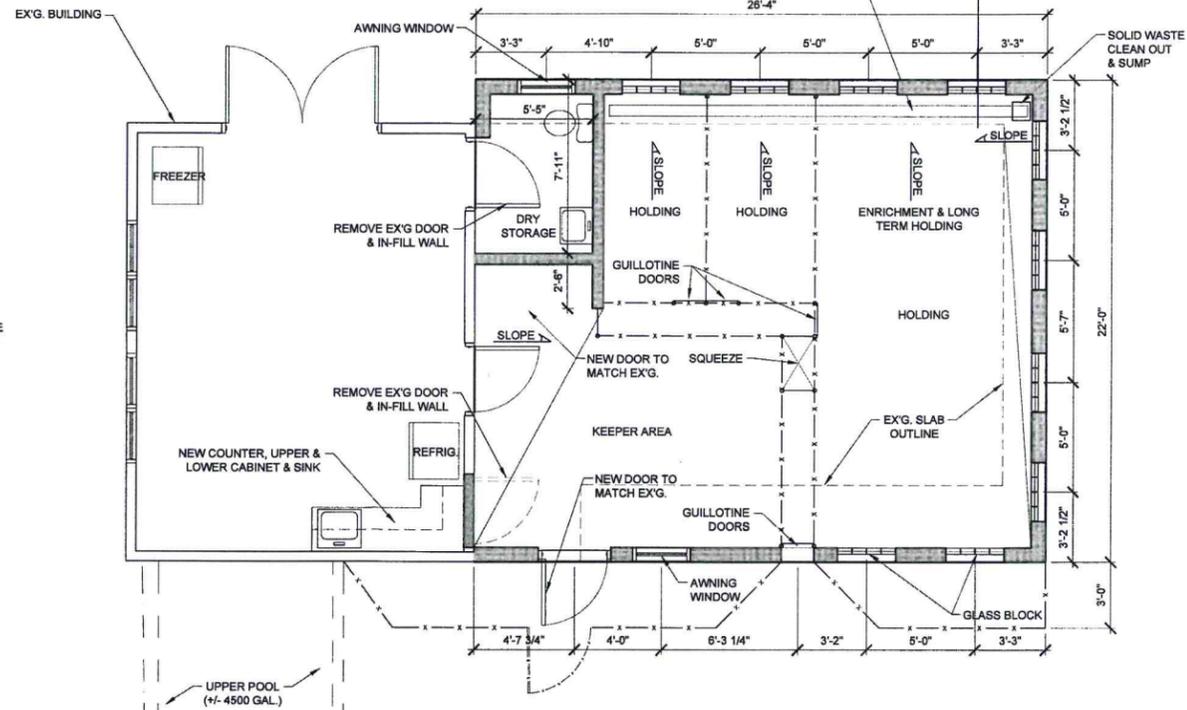


- LEGEND**
- CW — CW — CW — COLD WATER SUPPLY
  - HW — HW — HW — HOT WATER SUPPLY
  - - - - - HOT WATER SUPPLY & RETURN FOR HEATING
  - C.O.G. CLEAN OUT AT GRADE
  - § SWITCH - SINGLE POLE
  - ⊕ THERMOSTAT / HUMIDISTAT (BUILDING EXHAUST)
  - ▭ 1x4" LED, FULL SPECTRUM DIMMING FIXTURE

**MECHANICAL / HEATING PLAN**  
SCALE: 1/4"=1'-0"

**NOTES:**

1. CAREFULLY REMOVE ENTIRE EXISTING STRUCTURE (ROOF) & CHAIN LINK FENCE & CAGES AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION. TURN OVER METAL, WOOD & FENCING COMPONENTS TO THE OWNER. RELOCATE TO STORAGE AREA WHERE DIRECTED.
2. NEW INTERIOR CAGES & FENCING SHOWN ARE BY OTHERS.
3. REPAIR & REPLACE UNDER-POOL PLUMBING VALVES & PIPING AS REQUIRED.
4. REPLACE UNDER POOL PLUMBING SPACE HEATING UNIT WITH NEW 20,000 BTU ELECTRIC HEATER.
5. REPLACE ALL "LOG SIDING" WHERE NEW STRUCTURE ATTACHES TO EXISTING WITH 5/8" EXTERIOR PLYWOOD.
6. TIE-IN SINK DRAIN TO BACKWASH DRAIN.



**GENERAL NOTES**

1. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO STARTING WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO STARTING WORK.
3. THE DETAILED PLANS FOR THIS CONTRACT HAVE BEEN PREPARED WITH CARE AND ARE INTENDED TO SHOW AS CLEARLY AS IS PRACTICABLE TO WORK REQUIRED TO BE DONE. THE CONTRACTOR MUST REALIZE, HOWEVER, THAT CONSTRUCTION DETAILS CAN NOT ALWAYS BE ACCURATELY ANTICIPATED AND THAT IN EXECUTING THE WORK, FIELD CONDITIONS MAY REQUIRE REASONABLE MODIFICATIONS IN THE DETAILS OF PLANS AND QUANTITIES OF WORK INVOLVED. WORK UNDER ALL ITEMS IN THE CONTRACT MUST BE CARRIED OUT TO MEET THESE FIELD CONDITIONS TO THE SATISFACTION OF THE ARCHITECT AND IN ACCORDANCE WITH HIS INSTRUCTIONS AND THE CONTRACT DOCUMENTS.
4. THE CONTRACTOR SHOULD NOTE THAT ADDITIONAL WORK MAY BE REQUIRED AS THE CONTRACT PROGRESSES WHICH IS NOT SHOWN OR NOTED ON THE PLANS. THIS WORK SHALL BE PERFORMED BY THE CONTRACTOR ONLY AFTER BEING AUTHORIZED BY THE ARCHITECT WITH ADDITIONAL PAYMENT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND CONTRACT AGREEMENT WITH THE OWNER.
5. IT IS THE RESPONSIBILITY OF THIS CONTRACTOR TO OBTAIN ALL REQUIRED PERMITS FOR THIS JOB.
6. CONTRACTOR SHALL NOT SCALE THESE DRAWINGS.
7. UNIDENTIFIED AND UN-ASSESSED ASBESTOS: WHEN ANY CONSTRUCTION ACTIVITY, SUCH AS DEMOLITION, REMODELING, RENOVATION OR REPAIR WORK REVEALS PRESUMED ASBESTOS CONTAINING MATERIAL (PACM) OR SUSPECTED MISCELLANEOUS ASBESTOS CONTAINING MATERIAL (ACM), WHICH HAS NOT BEEN IDENTIFIED BY AN ASBESTOS SURVEY PROVIDED BY THE OWNER, OR HAS NOT BEEN IDENTIFIED BY OTHER INSPECTIONS, (FEDERAL, STATE AND LOCAL REGULATIONS) ALL ACTIVITIES SHALL CEASE IN THE AREA WHERE THE PACM OR SUSPECT MISCELLANEOUS ACM IS FOUND. THE ARCHITECT/OWNER WILL BE IMMEDIATELY INFORMED, AND WORK IN THIS AREA SHALL NOT COMMENCE UNTIL SUCH TIME THAT THE MATERIAL HAS BEEN PROPERLY IDENTIFIED EITHER THROUGH SAMPLING AND LABORATORY ANALYSIS OR BY OTHER APPROPRIATE MEANS. IF THE MATERIAL IS POSITIVELY IDENTIFIED AS NOT CONTAINING ASBESTOS, THE CONTRACTORS WORK SHALL CONTINUE. IF THE MATERIAL IS FOUND TO CONTAIN ASBESTOS, A CERTIFIED ASBESTOS ABATEMENT CONTRACTOR MUST REMOVE THIS MATERIAL.

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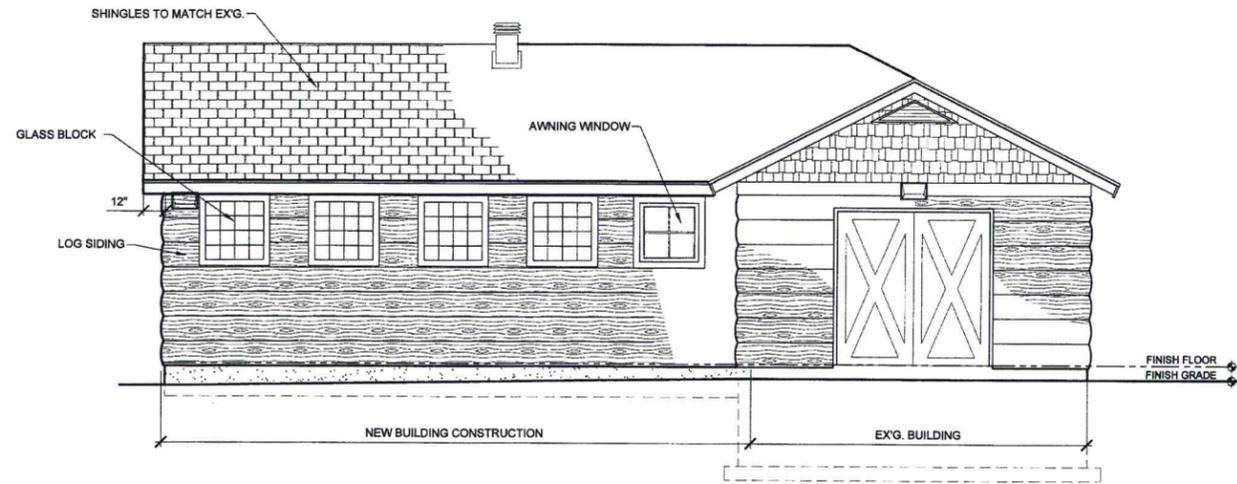
**REGISTERED ARCHITECT**  
EDWARD GEORGE GLENN  
No. 021582  
STATE OF NEW YORK

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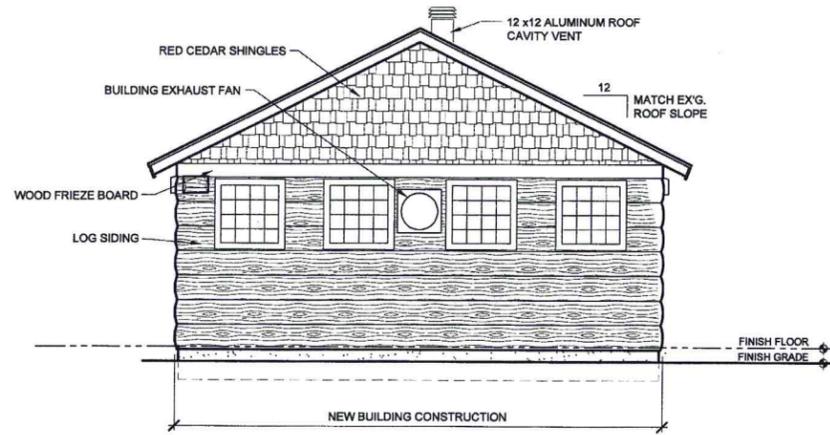
**FLOOR PLAN & MECHANICAL / HEATING  
OTTER EXHIBIT ADDITION  
N.Y.S. ZOO AT THOMPSON PARK  
WATERTOWN, NEW YORK 13601**

Project No: 2006-241A.02  
Scale:  
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Drawn By: MWL  
Designed By: EGO  
Checked By: EGO  
Date Issued: 3-22-16  
Dwg. No.

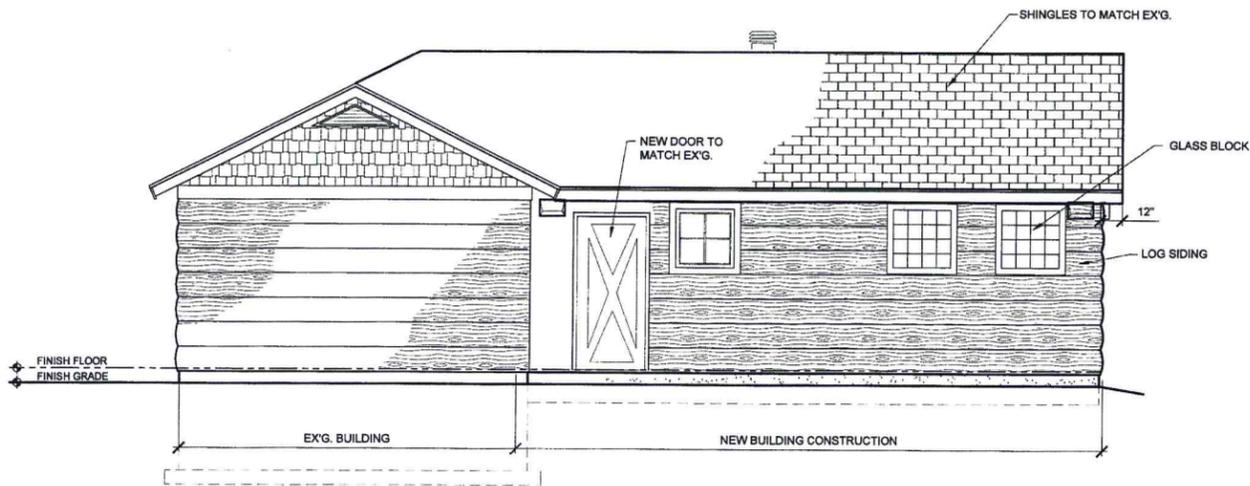
**A-101**



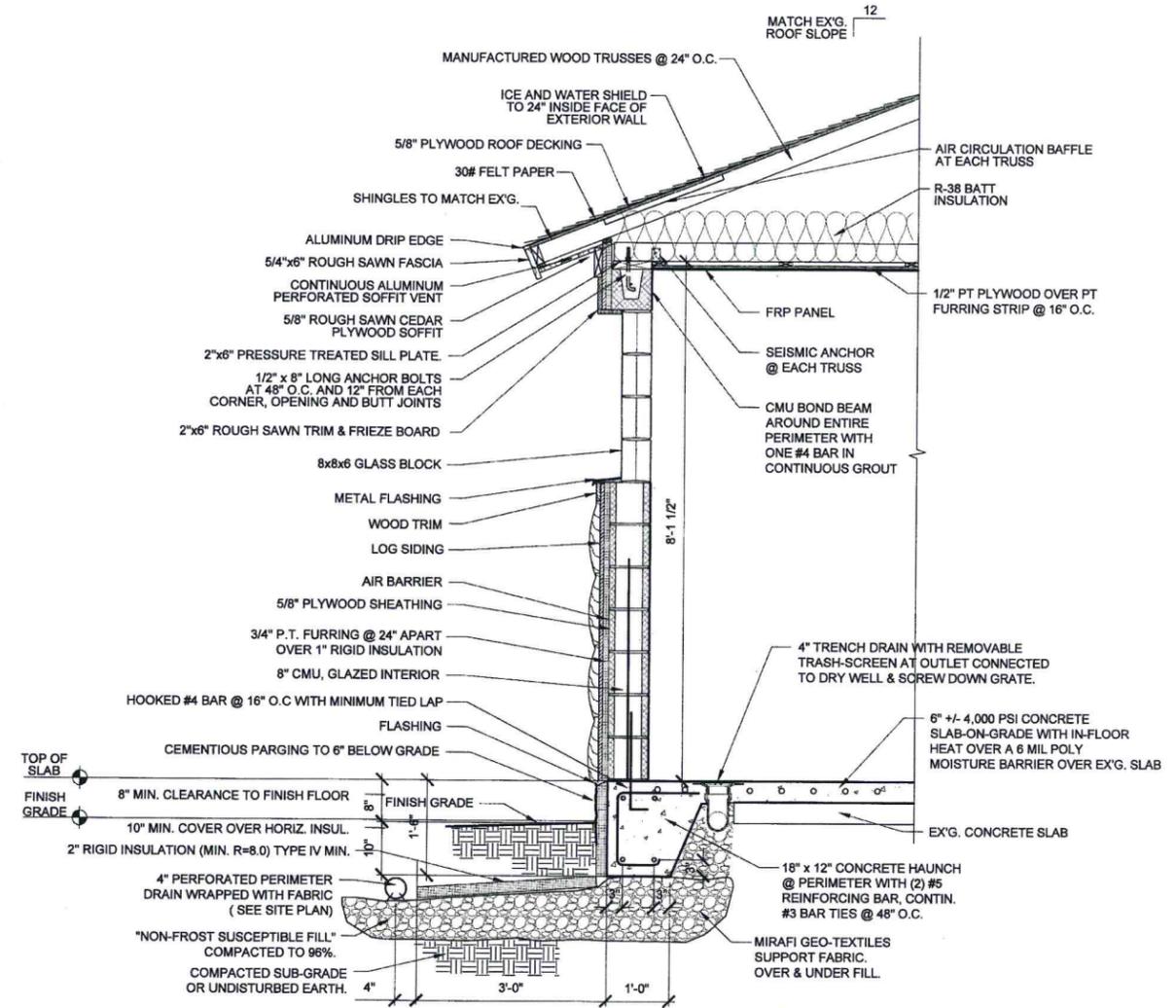
RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"



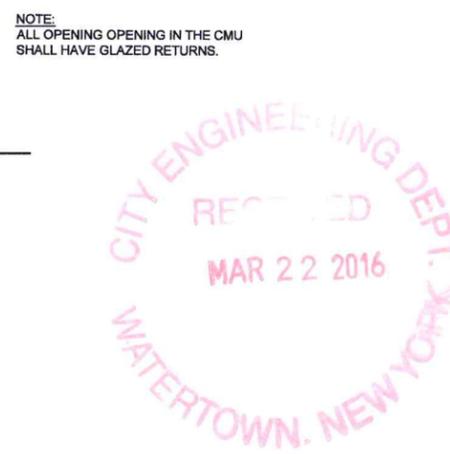
REAR ELEVATION  
SCALE: 1/4" = 1'-0"



LEFT ELEVATION  
SCALE: 1/4" = 1'-0"



A BUILDING SECTION  
A-201 SCALE=3/4"=1'-0"



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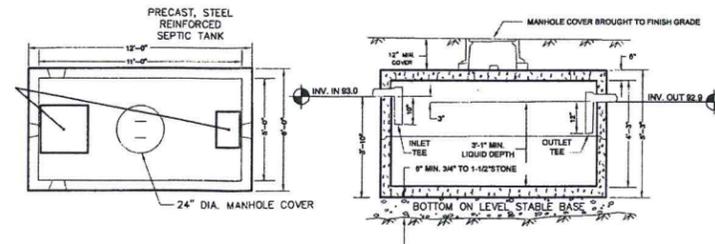


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EXTERIOR ELEVATIONS & SECTIONS  
OTTER EXHIBIT ADDITION  
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WATERTOWN, NEW YORK 13601

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Dwg. No.	

A-201



**PLAN VIEW**

**NOTES**

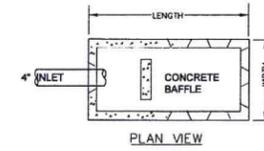
- 1) SEPTIC TANK TO WITHSTAND H-10 LOADING UNLESS UNDER PAVEMENT, DRIVES, OR TRAVELED WAYS, WHERE BY H-20 LOADING SHALL APPLY.
- 2) ALL PIPE CONNECTIONS AND CONCRETE CONSTRUCTION TO BE WATERTIGHT.
- 3) SEPTIC TANK TO BE JEFFERSON CONCRETE OR APPROVED EQUAL.

**CROSS SECTION VIEW**

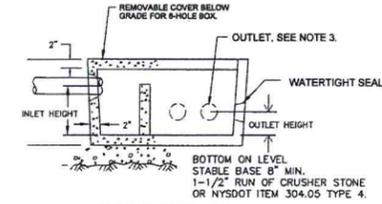
- 4) INLET AND OUTLET TEES TO BE CAST IRON, SCHEDULE 40 PVC OR CAST-IN-PLACE CONCRETE. TEES TO BE CENTERED UNDER MANHOLE COVER.
- 5) CONCRETE TO TEST 4000 psi MIN. AT 28 DAYS REINFORCED WITH 4X4 12X12 GALVANIZED WIRE MESH AND GRADE 60 #3 REBAR.

NO. OF GALLONS: 1000

**1 TYPICAL SEPTIC TANK**  
NOT TO SCALE SP102



**PLAN VIEW**



**CROSS SECTION VIEW**

**NOTES:**

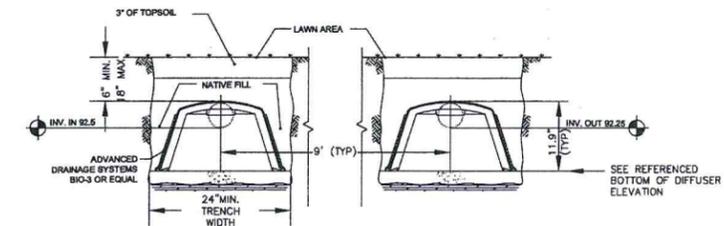
- 1) DISTRIBUTION BOX TO WITHSTAND H-10 LOADING UNLESS UNDER PAVEMENT, DRIVES OR TRAVELED WAYS WHEREBY H-20 LOADING SHALL APPLY.
- 2) RECOMMENDED MANUFACTURER: JEFFERSON CONC. OR APPROVED EQUAL.
- 3) DETAILS ILLUSTRATES 6 HOLE, ONLY 2 ARE NEEDED.

NO. OF OUTLETS	DIAM. OF OUTLETS	LENGTH	WIDTH	OUTLET HEIGHT	INLET HEIGHT
2	4"	1'-10"	1'-4"	6 1/2"	8 1/2"

**2 TYPICAL PRECAST 6-OUTLET DISTRIBUTION BOX DETAIL.**  
NOT TO SCALE SP118

**SEPTIC SYSTEM CONSTRUCTION NOTES:**

1. HEAVY EQUIPMENT IS NOT PERMITTED WITHIN THE SYSTEM AREA.
2. CONTRACTOR SHALL SMOOTH IRREGULARITIES IN THE EXCAVATION. A LEVEL, FLAT SURFACE IS NECESSARY.
3. ASSEMBLE BIODIFFUSER LEACHING CHAMBERS AND UNIVERSAL ENDPLATES TOGETHER IN TRENCH(ES).
4. THE UNIVERSAL END PLATE IS CONSTRUCTED WITH TABS SO THAT THE EARTH FILL ON ONE SIDE WILL HOLD IT SECURELY IN PLACE AGAINST THE BIODIFFUSER.
5. PUNCH OUT PIPE HOLE OPENINGS IN THE END PLATES AS NEEDED AND CONNECT INLET PIPES.
6. FILL SIDEWALL AREA TO TOP CHAMBERS WITH NATIVE SOIL (COARSE SAND OR FINE GRAVEL MAY ALSO BE USED; NO HEAVY CLAY, SILT, OR DEBRIS SHALL BE INCLUDED).
7. "WALK IN" FILL TO COMPACT SOIL ALONG SIDES OF BIODIFFUSER.
8. SYSTEM AREA SHALL BE SEEDED AND MULCHED, USING A LIGHT ROLLER AND SMALL LAWN TRACTOR.



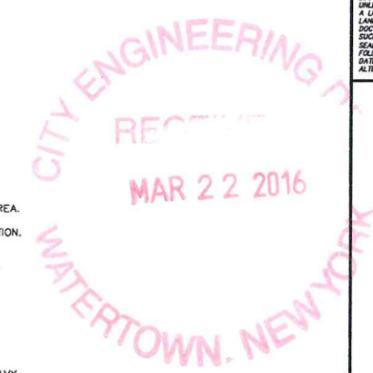
**3 BIODIFFUSER TRENCH INSTALLATION DETAIL.**  
NOT TO SCALE - ENGINEER MUST VERIFY ELEVATIONS SP115

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**SITE DETAILS**  
OTTER EXHIBIT ADDITION  
N.Y.S. ZOO AT THOMPSON PARK  
WATERTOWN, NEW YORK 13601

Project No: 2006-241.02  
Scale: AS NOTED  
Date: 10-30-15  
Drawn By: -  
Designed By: EGO  
Checked By: EGO  
Date Issued: 3-22-16  
Dwg. No.

**C-501**

# PLANNING DATA

LAND USE - PARKLAND / ZOO  
 CURRENT ZONING CLASSIFICATION - RESIDENTIAL A  
 PROPOSED ZONING - SAME  
 TAX PARCEL - # 12-30-101.000

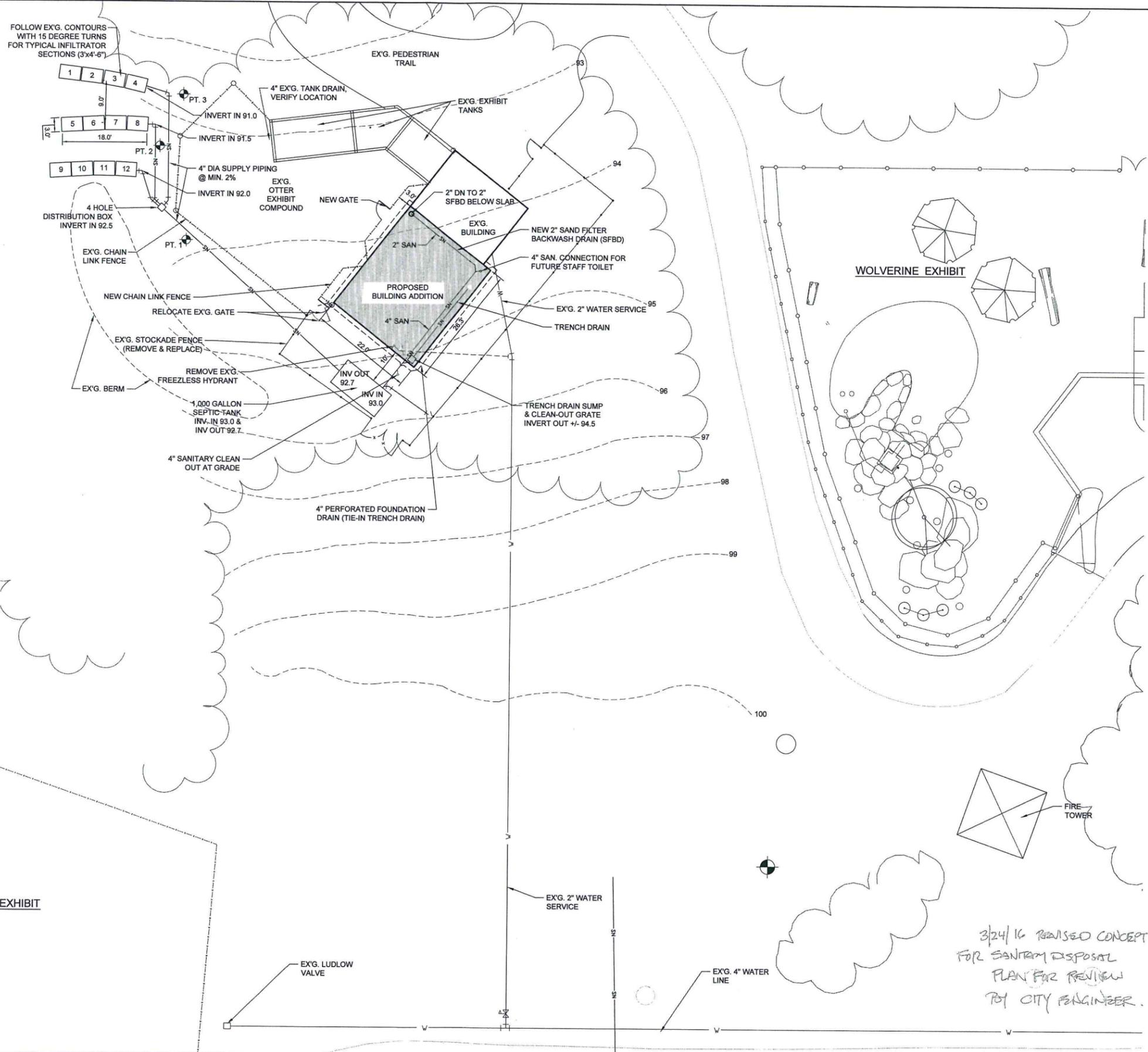
## DESIGN DATA

- OWNER NAME:  
NEW YORK STATE ZOO @ THOMPSON PARK
- PARCEL LOCATION:  
1 THOMPSON PARK  
CITY OF WATERTOWN  
JEFFERSON COUNTY  
TAX PARCEL #12-30-101.00
- DESIGN FLOW: DESIGN BASED ON NYSDOH APPD 75-A  
LOW PROFILE PVC SANITARY WASTE LIQUID DISPOSAL CHAMBERS.
- ABSORPTION SYSTEM CALC.:  
110 GPD LOAD / 1000 GAL. TANK  
0.7 GAL/DAY/SF = 157 SF REQUIRED  
8 INFILTRATOR SECTIONS (3'x4'-6") @ 13.5 SF. EA = 108 S.F.  
TOTAL APPLICATION AREA
- INVERT (TO BE VERIFIED)
- APPLICATION RATES:  
0.7 GAL/DAY/SF

## PERCOLATION TEST RESULTS

TEST CONDUCTED BY:  
AL CUPPERNAL, GYMO, dpc.  
2/5/16

PT 1:	FAILED
PT 2:	1) 15 MIN. 2) 14 MIN. 3) 16 MIN.
PT 3:	1) 3 MIN. 2) 5 MIN. 3) 4 MIN. 4) 4 MIN.



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**SITE CONCEPT PLAN**  
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3/24/16 REVISED CONCEPT  
 FOR SANITARY DISPOSAL  
 PLAN FOR REVIEW  
 BY CITY ENGINEER.

**C-101**